



8-18 EDMONTON AVENUE

BC-CONSTRUCTION-STAGE3

8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061



STAGE 3 OF 3 - BULK OF WORKS, ENCLOSURE,
FIT OUT AND SERVICE



3 16/12/20 BC3 RFI
 2 11/12/20 BC3 CONSENTIUM RFI
 1 20/11/20 BUILDING CONSENT STAGE 3

8-18 EDMONTON AVENUE
 200003

BXG

Homestar Consultant
Level 3 Old Sofrana House, 18 Customs
Street East, Britomart, Auckland 1010
+64 9 889 2190
Contact: Alex Reiche

B&A

Planner
Level 4, Old South British Building, 3-13
Shortland Street, Auckland
admin@barker.co.nz
09 375 0900

Greenwood Associates

Landscape Designer
16-18 Adelaide Street, Freemans Bay
Auckland 1010
Mitch@greenwoodassociates.co.nz
+64 9 309 3600
Contact: Mitch Burn

FireForce Limited

Fire Engineer
PO Box 6341, Upper Riccarton
Christchurch
Will@fireforce.co.nz
+64 3 343 4225
Contact: Will Tsai

Piritahi

Surveyor
Level 8, 139 Quay Street, Auckland 1010
rebecca.coe@piritahi.co.nz
027 311 8350
Contact: Rebecca Coe

Traffic Planning Consultants Ltd

Traffic Engineer
P.O Box 60-255
Level 1, 400 Titirangi Rd, Titirangi,
Auckland 0604
www.trafficplanning.co.nz
+64 9 817 2500

Kirk Roberts Consulting Ltd

Civil & Structural Engineer
Level 1, 61-73 Davis Crescent
Newmarket
Auckland 1023
+64 9 972 9038
Contact: Jan Jobber

Dominion Constructors Ltd.

Client
107 Marua Road, Ellerslie
Auckland, 1051
+64 9 526 5808
Contact: Chris Basset

Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444

Kainga Ora

Senior Development Manager
PO Box 74598
Greenlane
Auckland 1546
021 195 0331
Contact: Gideon Van Tonder

© 2020 Young + Richards Ltd.

BC3 - SHEET INDEX

Sheet Number	Sheet Name	Current Revision
A5-A0000	COVERSHEET	3
A5-A0001	DRAWING INDEX	2
A5-A0002	VICINITY, LOCATION, PROJECT INFORMATION	1
A5-A0090	CONVENTIONS / LEGENDS / ABBREVIATIONS	1
A5-A0091	STD ABBREVIATIONS, GEN NOTES, SYMBOLS	1
A5-A2010	EXISTING SITE PLAN	1
A5-A2030	PROPOSED OVERALL SITE PLAN	2
A5-A2031	PROPOSED OVERALL SITE PLAN - FIRST FLOOR	2
A5-A2032	PROPOSED OVERALL SITE PLAN - SECOND FLOOR	1
A5-A2033	PROPOSED OVERALL SITE PLAN - ROOF	1
A5-A2040	PROPOSED BLOCK A SITE PLAN	2
A5-A2050	PROPOSED BLOCK B SITE PLAN	2
A5-A2060	PROPOSED BLOCK C SITE PLAN	2
A5-A2065	PROPOSED SITE ELEVATIONS	1
A5-A2070	PROPOSED SITE DRAINAGE PLAN	3
A5-A2080	PROPOSED FENCING PLAN	1
A5-A2330	OVERALL GROUND FLOOR SLAB SETOUT PLAN	1
A5-A2340	PROPOSED BLOCK A GROUND FLOOR SLAB SETOUT PLANS	1
A5-A2341	PROPOSED BLOCK A FIRST FLOOR SLAB SETOUT PLANS	2
A5-A2342	PROPOSED BLOCK A SECOND FLOOR SLAB SETOUT PLANS	2
A5-A2350	PROPOSED BLOCK B GROUND FLOOR SLAB SETOUT PLANS	1
A5-A2351	PROPOSED BLOCK B FIRST FLOOR SLAB SETOUT PLANS	2
A5-A2352	PROPOSED BLOCK B SECOND FLOOR SLAB SETOUT PLANS	2
A5-A2360	PROPOSED BLOCK C GROUND FLOOR SLAB SETOUT PLANS	1
A5-A2361	PROPOSED BLOCK C FIRST FLOOR SLAB SETOUT PLANS	2
A5-A2362	PROPOSED BLOCK C SECOND FLOOR SLAB SETOUT PLANS	2
A5-A3040	PROPOSED BLOCK A GROUND FLOOR CONSTRUCTION PLAN	2
A5-A3041	PROPOSED BLOCK A FIRST FLOOR CONSTRUCTION PLAN	2
A5-A3042	PROPOSED BLOCK A SECOND FLOOR CONSTRUCTION PLAN	2
A5-A3043	PROPOSED BLOCK A ROOF CONSTRUCTION PLAN	1
A5-A3050	PROPOSED BLOCK B GROUND FLOOR CONSTRUCTION PLAN	2
A5-A3051	PROPOSED BLOCK B FIRST FLOOR CONSTRUCTION PLAN	2
A5-A3052	PROPOSED BLOCK B SECOND FLOOR CONSTRUCTION PLAN	2
A5-A3053	PROPOSED BLOCK B ROOF CONSTRUCTION PLAN	1
A5-A3060	PROPOSED BLOCK C GROUND FLOOR CONSTRUCTION PLAN	2
A5-A3061	PROPOSED BLOCK C FIRST FLOOR CONSTRUCTION PLAN	2
A5-A3062	PROPOSED BLOCK C SECOND FLOOR CONSTRUCTION PLAN	2
A5-A3063	PROPOSED BLOCK C ROOF CONSTRUCTION PLAN	1
A5-A3840	PROPOSED BLOCK A GROUND FLOOR FRAMING PLAN	1
A5-A3841	PROPOSED BLOCK A FIRST FLOOR FRAMING PLAN	1
A5-A3842	PROPOSED BLOCK A SECOND FLOOR FRAMING PLAN	1
A5-A3850	PROPOSED BLOCK B GROUND FLOOR FRAMING PLAN	1
A5-A3851	PROPOSED BLOCK B FIRST FLOOR FRAMING PLAN	1
A5-A3852	PROPOSED BLOCK B SECOND FLOOR FRAMING PLAN	1
A5-A3860	PROPOSED BLOCK C GROUND FLOOR FRAMING PLAN	1
A5-A3861	PROPOSED BLOCK C FIRST FLOOR FRAMING PLAN	1
A5-A3862	PROPOSED BLOCK C SECOND FLOOR FRAMING PLAN	1
A5-A4040	PROPOSED BLOCK A ELEVATIONS (NORTH & EAST)	2
A5-A4041	PROPOSED BLOCK A ELEVATIONS (SOUTH & WEST)	2
A5-A4050	PROPOSED BLOCK B ELEVATIONS (NORTH & EAST)	2
A5-A4051	PROPOSED BLOCK B ELEVATIONS (SOUTH & WEST)	2
A5-A4060	PROPOSED BLOCK C ELEVATIONS (NORTH & EAST)	2
A5-A4061	PROPOSED BLOCK C ELEVATIONS (SOUTH & WEST)	2
A5-A4070	RISK MATRIX-E2	1
A5-A4240	PROPOSED BUILDING SECTIONS	1
A5-A4270	PROPOSED WALL SECTIONS	1
A5-A4271	PROPOSED WALL SECTIONS	1
A5-A4272	PROPOSED WALL SECTIONS	1
A5-A4273	PROPOSED WALL SECTIONS	1
A5-A5040	BLOCK A&C GL STAIR SETOUT PLAN	1
A5-A5041	BLOCK A&C L1 & L2 STAIR SETOUT PLAN	1
A5-A5042	BLOCK A&C STAIR SECTIONS	1
A5-A5050	BLOCK A&C GL SERVICE ROOM PLAN	1
A5-A5080	TYPICAL BIKE AND BIN STORAGE PLAN	2
A5-A5140	BLOCK A ENTRY PLAN	1
A5-A5150	BLOCK B ENTRY PLAN	1
A5-A5160	BLOCK C ENTRY PLAN	1
A5-A5240	INTERIOR ELEVATIONS	1
A5-A5241	INTERIOR ELEVATIONS	1

BC3 - SHEET INDEX

Sheet Number	Sheet Name	Current Revision
A5-A5242	INTERIOR ELEVATIONS	1
A5-A5243	INTERIOR ELEVATIONS	1
A5-A7440	PROPOSED BLOCK A GROUND FLOOR PLUMBING & DRAINAGE PLAN	2
A5-A7441	PROPOSED BLOCK A FIRST FLOOR PLUMBING & DRAINAGE PLAN	2
A5-A7442	PROPOSED BLOCK A SECOND FLOOR PLUMBING & DRAINAGE PLAN	2
A5-A7450	PROPOSED BLOCK B GROUND FLOOR PLUMBING & DRAINAGE PLAN	2
A5-A7451	PROPOSED BLOCK B FIRST FLOOR PLUMBING & DRAINAGE PLAN	2
A5-A7452	PROPOSED BLOCK B SECOND FLOOR PLUMBING & DRAINAGE PLAN	2
A5-A7460	PROPOSED BLOCK C GROUND FLOOR PLUMBING & DRAINAGE PLAN	2
A5-A7461	PROPOSED BLOCK C FIRST FLOOR PLUMBING & DRAINAGE PLAN	2
A5-A7462	PROPOSED BLOCK C SECOND FLOOR PLUMBING & DRAINAGE PLAN	2
A5-A7480	DRAINAGE SCHEMATICS	3
A5-A7740	PROPOSED BLOCK A GROUND FLOOR DATA & ELECTRICAL PLAN	3
A5-A7741	PROPOSED BLOCK A FIRST FLOOR DATA & ELECTRICAL PLAN	3
A5-A7742	PROPOSED BLOCK A SECOND FLOOR DATA & ELECTRICAL PLAN	3
A5-A7750	PROPOSED BLOCK B GROUND FLOOR DATA & ELECTRICAL PLAN	3
A5-A7751	PROPOSED BLOCK B FIRST FLOOR DATA & ELECTRICAL PLAN	3
A5-A7752	PROPOSED BLOCK B SECOND FLOOR DATA & ELECTRICAL PLAN	3
A5-A7760	PROPOSED BLOCK C GROUND FLOOR DATA & ELECTRICAL PLAN	3
A5-A7761	PROPOSED BLOCK C FIRST FLOOR DATA & ELECTRICAL PLAN	3
A5-A7762	PROPOSED BLOCK C SECOND FLOOR DATA & ELECTRICAL PLAN	3
A5-D2300	DETAILS - FOUNDATION	1
A5-D2301	DETAILS - FOUNDATION	1
A5-D2302	DETAILS - FOUNDATION	1
A5-D3100	DETAILS - EXTERIOR WALLS	1
A5-D3101	DETAILS - EXTERIOR WALLS	1
A5-D3102	DETAILS - EXTERIOR WALLS	1
A5-D3103	DETAILS - EXTERIOR WALLS	1
A5-D3110	DETAILS - INTERIOR WALLS	1
A5-D3130	DETAILS - PRECAST BALCONY	1
A5-D3131	DETAILS - PRECAST BALCONY	2
A5-D4271	DETAILS - BALUSTRADE	2
A5-D4272	DETAILS - BALUSTRADE	2
A5-D4273	DETAILS - ENTRY BALUSTRADE	1
A5-D4330	DETAILS - ROOF	2
A5-D4331	DETAILS - ROOF	2
A5-D4332	DETAILS - ROOF	2
A5-D4333	DETAILS - ROOF	1
A5-D4334	DETAILS - ROOF	1
A5-D4335	DETAILS - ROOF	1
A5-D4336	DETAILS - ROOF	1
A5-D4340	DETAILS - ROOF	3
A5-D4341	DETAILS - ROOF	1
A5-D4530	DETAILS - EXTERIOR DOORS	1
A5-D4531	DETAILS - INTERIOR DOORS	1
A5-D4540	DETAILS - EXTERIOR WINDOWS	1
A5-D5430	DETAILS - INTERIOR WATERPROOFING	1
A5-D5431	DETAILS - INTERIOR WATERPROOFING	1
A5-D5630	DETAILS - FIRE/INTERTENANCY WALLS	1
A5-D5631	DETAILS - INTERNAL WALLS	1
A5-D5632	DETAILS - INTERNAL WALLS	1
A5-D5634	DETAILS - FIRE WINDOW	2
A5-D5635	DETAILS - FIRE DOOR	2
A5-D5636	DETAILS - FIRE DOOR	1
A5-D5637	DETAILS - FIRE DOOR	3
A5-D5638	DETAILS - BREEZEWAY	2
A5-D5640	DETAILS - SERVICE ROOM	1
A5-D6510	DETAILS - FINISH/ TRANSITION	1
A5-D7130	DETAILS - HWC	1
A5-D9000	SPECIFICATION KEY NOTES	1
A5-X0010	COLOUR SCHEME BLOCK A	1
A5-X0011	COLOUR SCHEME BLOCK B	1
A5-X0012	COLOUR SCHEME BLOCK C	1
A5-X4501	DOOR SCHEDULES, ASSEMBLY TYPES, HARDWARE GROUPS	2
A5-X4502	WINDOW SCHEDULES, ASSEMBLY TYPES, HARDWARE GROUPS	1

Grand total: 134

Young+Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

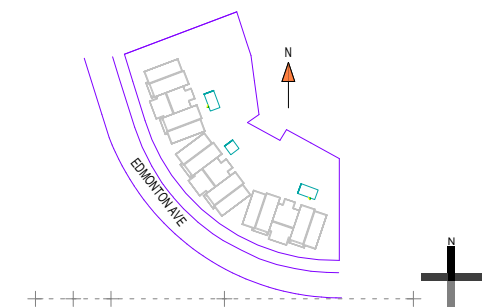
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DRAWING INDEX

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

None

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A0001

REVISION

2



4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

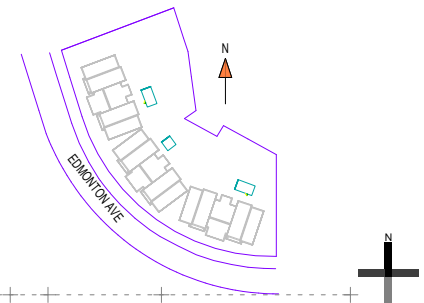
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

VICINITY, LOCATION, PROJECT INFORMATION

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

None

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A0002

REVISION

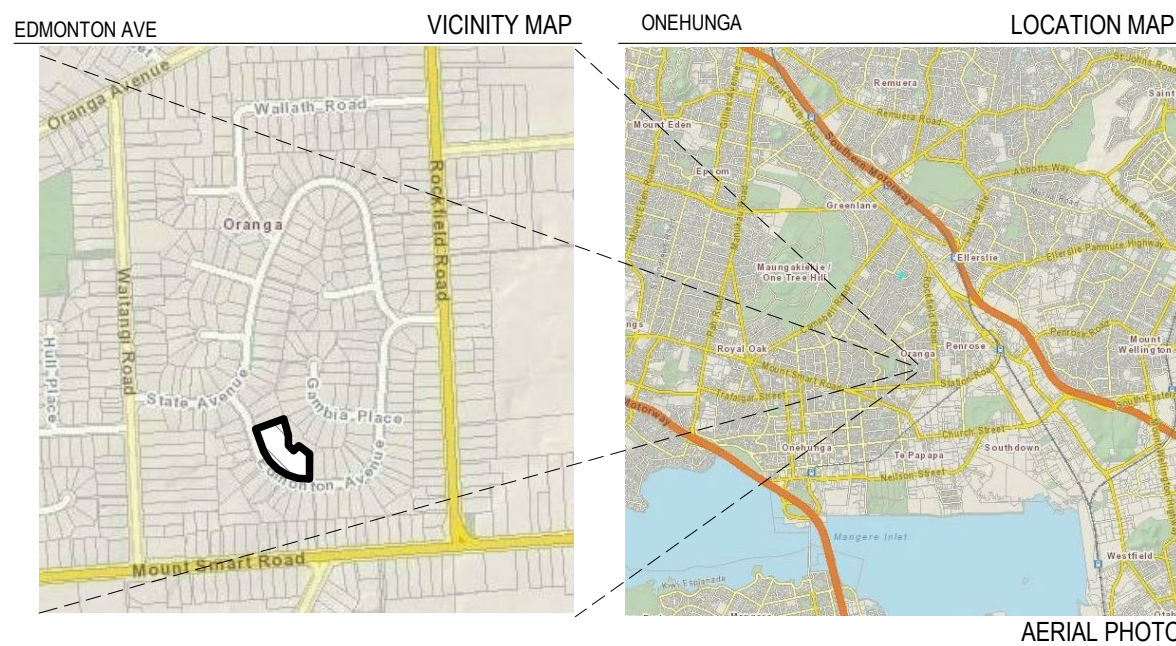
1

LEGAL DESCRIPTION

SITE ADDRESS	8-18 EDMONTON AVE AUCKLAND 1061	ONEHUNGA
TERRITORIAL AUTHORITY FORMER AUTHORITY	AUCKLAND COUNCIL	
LOT/DEPOSIT PLAN	LOT 3, 4, 144, 145 & 146/ DP55308, LOT 147/DP 37889	
CERTIFICATE OF TITLE	CT-1597/83	
SITE AREA	3167M ² (LOT3 = 395M ² + LOT 4 = 519M ² + LOT144 = 546M ² + LOT 145 = 554M ² + LOT 146 = 584 M ² + LOT 147 = 569M ²)	
ZONE	RESIDENTIAL: MIXED -HOUSING URBAN ZONE	
WIND ZONE	LOW WIND ZONE	
EARTHQUAKE ZONE	ZONE 1	
EXPOSURE ZONE	ZONE C (NZS 3604:2011 Fig 5.4)	
STORMWATER MANAGEMENT AREA	SMA4	

PLANNING CONTROLS

MAX HEIGHT	11M (16.6.1.2) 12M ROOF
HEIGHT-TO-BOUNDARY	3M+45° (STANDARD) , 3.6M + 0° (1M HORIZONTAL) + 73° (1M HORIZONTAL) + 45°
BUILDING COVERAGE MAX IMPERVIOUS AREA	45% 60%
DENSITY	
YARDS	FRONT:2.5M REAR:1M SIDE:1M
OUTDOOR LIVING SPACE	NOT LESS THAN 20 M ² , NO DIMENSION LESS THAN 4M 60M ² IF ADJACENT TO LIVING ROOM CONTAIN 6M Ø CIRCLE GRADIENT NO GREATER THAN 20% (16.6.2.4)
SERVICE COURT	NOT LESS THAN 20M ² NO DIMENSION LESS THAN 3M MAY BE SITUATED IMMEDIATELY ADJACENT TO OUTDOOR LIVING SPACE (16.6.2.5)
BUILDING LENGTH	FIT WITHIN 130° ANGLE FROM BOUNDARY (16.6.1.10)
VEHICLE ACCESS	3.0M ENTRY STRIP MIN 2.5M CARRIAGE WAY MIN (16.6.1.13)



FROM AUCKLAND GEOMAPS

AV	Audio-Visual Consultant	LA	Landscape Consultant
CE	Civil Engineer	ME	Mechanical Engineer
CL	Cladding Consultant	QS	Quantity Surveyor
CN	Council	RW	Roofing & Waterproofing
CO	Contractor	SE	Structural Engineer
EL	Electrician	SS	Site Surveyor
EE	Electrical Engineer + Lighting	TN	Tenderers
FE	Fire Engineer	SRP	Client
GE	Geotechnical Engineer		

CONSTRUCTION NOTES

- ALL TIMBER FRAMING SHALL BE MINIMUM SG8 GRADE AS REQUIRED BY NZS3604:2011 AND TREATED AS PER NZS3640:2003 AND WHERE SPECIFIED AS PER NZS3602:2003 OUTLINED IN BRANZ FRAMING GUIDE.
- ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'.
- CONNECTIONS BETWEEN FRAMING MEMBERS SHALL BE PER NZS3604:2011 OR AS SPECIFIED BY THE ENGINEER.
- ALL TIMBER TO BE SEPARATED FROM CONCRETE OR MASONRY BY DAMP PROOF COURSE.
- PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
- COORDINATE AND PROVIDE BACKING / ADDITIONAL NOGS FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- REFER TO PLANS FOR BRACING REQUIRING EXTRA BOTTOM PLATE FIXINGS TO REQUIREMENTS OF GIB BRACING STANDARD.
- WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.

DEMOLITION NOTES

- COMPLY WITH APPLICABLE CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOBSITE. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, ISOLATE THE AFFECTED AREA AND CONTACT THE OWNER FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
- PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- ARRANGE AND PAY FOR DISCONNECTING, REMOVING, AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECTION AND CAPPING OF ANY SERVICE TO COMPLY WITH APPROPRIATE REGULATIONS. NOTIFY THE AFFECTED UTILITY COMPANY AND OWNER / TENANT IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THE WORK.
- REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK.
- REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCT WORK.
- REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES, UNLESS NOTED OTHERWISE.
- REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR TO MEET MANUFACTURER'S REQUIREMENTS FOR NEW FLOOR FINISHES, UNLESS NOTED OTHERWISE.
- EXCEPT WHERE OTHERWISE NOTED, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED, REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURES. PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE, OR INJURY.

DEMOLITION NOTES CON.

- CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- PATCH REPAIR AND CLEAN ALL AREAS OF DEMOLITION TO CREATE A SMOOTH SURFACE TO ACCEPT SPECIFIED FINISH MATERIAL.
- IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
- REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF DEMOLITION. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND ACCEPTABLE FOR NEW CONSTRUCTION.
- BURNING OF MATERIALS ON SITE IS NOT PERMITTED.

GENERAL NOTES

- THE CONTRACTOR IS PRIMARILY RESPONSIBLE FOR THE HEALTH AND SAFETY PROTECTION OF THEIR EMPLOYEES, SUBCONTRACTORS AND INDIVIDUALS ON THE BUILDING SITE. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE CONDITION AND COMPLY WITH ALL SAFETY STANDARDS.
- THE CONTRACTOR SHALL COMPLY WITH THE STANDARDS SET OUT IN THE APPLICABLE CODES AND GUIDELINES INCLUDING THE NEW ZEALAND BUILDING CODE, NEW ZEALAND STANDARDS, AND INDUSTRY CODES OF PRACTICE.
- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDES THE DRAWINGS, SPECIFICATIONS, ADDENDA, AND ADDITIONAL MODIFICATIONS ISSUED BY THE ARCHITECT.
- ALL INFORMATION RECORDED IN THE CONTRACT DOCUMENTS RELATIVE TO EXISTING CONDITIONS IS PRESENTED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT SO THAT APPROPRIATE REVISIONS CAN BE MADE TO THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS, AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN PRIOR TO THE START OF ANY WORK ON SITE.
- THE CONTRACT DOCUMENTS SHOW THE EXTENT OF THE WORK BUT THERE IS NO WARRANTY, EXPRESS OR IMPLIED, THAT IT SHOWS EACH AND EVERY MINOR DETAIL. SHOULD ANY DESIGN INTENTION, MATERIAL SELECTION, STRUCTURAL MEMBER APPEAR TO BE INADEQUATELY DESCRIBED YET OBVIOUSLY NECESSARY FOR THE SAFE, STRONG, AND SATISFACTORY COMPLETION OF THE WORK THE ARCHITECT SHALL BE NOTIFIED.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- THE CONTRACTOR SHALL REPORT ANY CONFLICTS BETWEEN THE ARCHITECT'S AND CONSULTANTS' DOCUMENTS TO THE ARCHITECT PRIOR TO PERFORMING ANY WORK IN QUESTION.
- THE CONTRACTOR SHALL REPORT ANY OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- THE CONTRACTOR SHALL SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW. APPROVAL MUST BE OBTAINED PRIOR TO PURCHASE, FABRICATION, OR INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, SITE/BUILDING ACCESS, AND USE OF SITE/BUILDING SERVICES AND FACILITIES. MINIMIZE DISTURBANCE OF SITE/BUILDING FUNCTIONS AND OCCUPANTS.

GENERAL NOTES CON.

- THE OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. THE CONTRACTOR SHALL INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE, COORDINATE DELIVERY OF, AND OVERSEE THE INSTALLATION OF ITEMS SUPPLIED BY OTHERS TO ASSURE AN ORDERLY SEQUENCE OF INSTALLATION.
- THE CONTRACTOR SHALL PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- THE CONTRACTOR SHALL MAINTAIN SECURE AND LOCKABLE WORK AREAS DURING CONSTRUCTION. CONTRACTOR TO COORDINATE WITH TENANT AND / OR OWNER TO ENSURE SECURITY.
- WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED IN THE CONTRACT DOCUMENTS, WHETHER IN CONTRACT OR NOT IN CONTRACT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOSS AND / OR DAMAGE TO THESE ITEMS.
- THE CONTRACTOR SHALL ENSURE THAT ALL TRADES KEEP THE SITE FREE FROM THE ACCUMULATION OF RUBBISH CAUSED BY THEIR WORK AT ALL TIMES. AT THE COMPLETION OF THE WORK ALL TOOLS, SURPLUS MATERIAL, AND RUBBISH IS TO BE REMOVED AND THE SITE LEFT IN A BROOM CLEAN AND TIDY CONDITION. ALL INTERNAL WORKS TO BE LEFT IN A VACUUM CLEAN CONDITION SUITABLE FOR OCCUPATION BY THE OWNER.

PLUMBING NOTES

- BUILDING LOCATION & MEASUREMENTS INDICATIVE ONLY. LOCATIONS & MEASUREMENTS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK.
- ALL DRAINAGE TO COMPLY WITH THE NEW ZEALAND BUILDING CODE G13 / AS1 AND AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.
- DRAINLAYER CONTRACTOR IS TO CONFIRM ALL LOCATIONS OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE.

FENCING NOTES

- FENCING SHOULD BE COMPLETE AND SECURE. AND OF A DESIGN WHICH DISCOURAGES CLIMBING BY CHILDREN UNDER 5 YEARS.
- ACCEPTABLE SOLUTION - 1200MM MINIMUM HIGH (PREFERRED). CONTINUOUS AND COMPLETE FENCING DESIGNED TO ELIMINATE ENTRAPMENT (100 MAX SPACE BETWEEN VERTICAL ELEMENTS). AND PREVENTS CLIMBING TOEHOLDS (50MM MAX DIAMETER FOR MESH OPENINGS).
- GATES TO BE SELF CLOSING.
- ACCEPTABLE SOLUTION - ANY GATE SHALL HAVE A SELF CLOSING HINGE, SPRING OR MECHANISM THAT AUTOMATICALLY SWINGS SHUT AND LATCHES ITSELF. LATCH TO BE OVER 120MM HIGH AND NOT EASY FOR CHILDREN TO ACCESS OR OPEN.

SITE VISIT (HNZC)

- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR MAY VIEW THE SITE(S) FROM THE STREET ONLY. IF A CONTRACTOR WISHES TO ACCESS THE SITE, THE CONTRACTOR MUST MAKE AN APPOINTMENT WITH THE HOUSING NEW ZEALAND TENANT LIAISON OFFICER TO DO SO.
- A CONTRACTOR HAVING MADE AN APPOINTMENT WITH HOUSING NEW ZEALAND TO VISIT THE SITE(S):
 - MAY ONLY ACCESS THE SITE(S) WHEN ACCOMPANIED BY AN APPROVED REPRESENTATIVE OF HOUSING NEW ZEALAND;
 - AGREES TO RESPECT THE PRIVACY AND RIGHTS OF ANY TENANTS OF THE SITE(S);
 - MUST BEHAVE IN A RESPECTFUL AND PROFESSIONAL MANNER;
 - MUST BE PREPARED TO PRESENT SUITABLE IDENTIFICATION (SUCH AS A CORPORATE BUSINESS CARD) ON REQUEST IF APPROACHED BY A HOUSING NEW ZEALAND TENANT.
- SHOULD ANY CONTRACTOR REQUIRE ACCESS TO A DWELLING ON THE SITE, THE CONTRACTOR MUST REQUEST SUCH ACCESS THROUGH THE TENANT LIAISON OFFICER WHO WILL ENDEAVOUR TO ARRANGE AN APPOINTMENT TIME.

Young+ Richards+

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

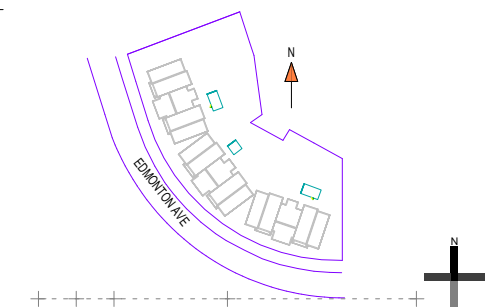
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
 18/12/2020 BCO10313722-3 APPROVED BUILDING CONSENT PLANS				

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**STD ABBREVIATIONS, GEN NOTES,
SYMBOLS**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 1

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A0091

REVISION

1



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

AUCKLAND COUNCIL
Reviewed
 By: Kishore Rana Date: 14/12/2020
DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

EXISTING SITE PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 400

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A2010

REVISION

1

KEYNOTE

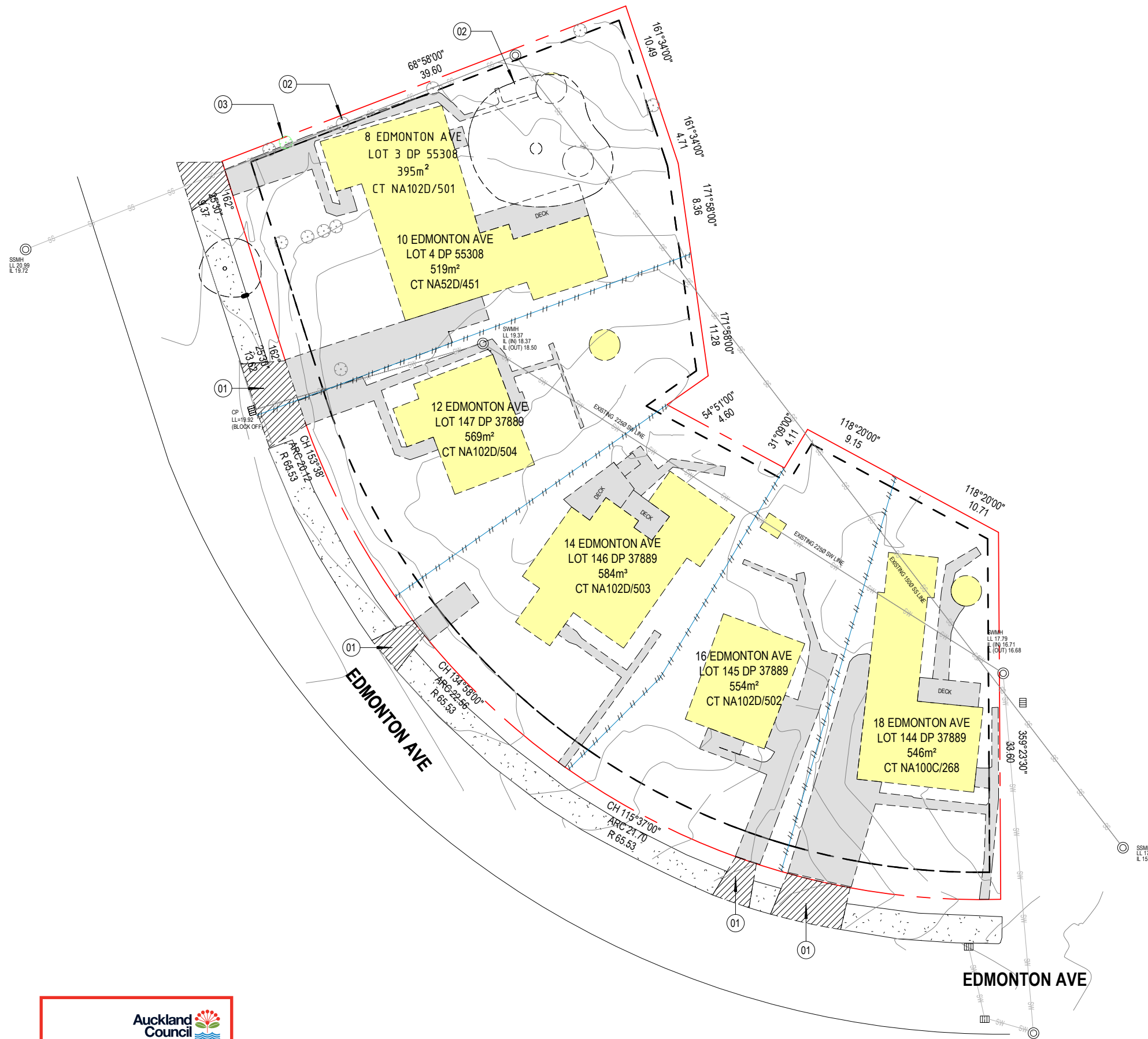
- 01 EXISTING VEHICLE CROSSING REMOVED
- 02 EXISTING TREE REMOVED
- 03 EXISTING TREE RETAINED

SHEET NOTES

1. SITE SURVEY INFORMATION AS PROVIDED BY PIRITAHU ON 20/03/2019
2. ALL PIPED SERVICES INFORMATION OBTAINED FROM CCTV SURVEY BY PIRITAHU. CONTRACTOR TO VERIFY LOCATIONS, DEPTHS AND CONDITONS OF PIPED SERVICES PRIOR TO ANY WORK ON SITE.

LEGEND

- SITE BOUNDARY
- YARD SETBACK
- OUTLINES OF DEMOLISHED BUILDINGS
- EXISTING ROAD BERM, FOOTPATHS AND KERB TO BE REINSTATED
- EXISTING DRIVEWAY, PATHWAYS, DECKS REMOVED
- EXISTING PUBLIC STORMWATER LINE
- EXISTING PUBLIC SANITARY SEWER LINE
- EXISTING FENCE REMOVED
- EXISTING TREES REMOVED
- EXISTING KAURI TREE TO BE RETAINED



Auckland Council
 18/12/2020
 BCO10313722-3
APPROVED
 BUILDING CONSENT PLANS



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

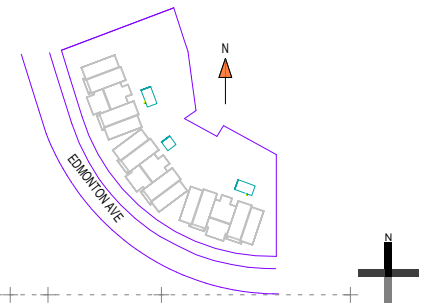
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

AUCKLAND COUNCIL
Reviewed
By: Kishore Rana Date: 14/12/2020
DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT
 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

PROPOSED OVERALL SITE PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 400

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A2030

REVISION

2

UNIT OVERVIEW

	3 BEDROOM (GL)	2 BEDROOM	1 BEDROOM
BLOCK A	2	4	2
BLOCK B	2	4	2
BLOCK C	2	4	2
TOTAL	6	12	6

KEYNOTE

- 01 PROPOSED CLOTHESLINE
- 02 PROPOSED BIN STORAGE
- 03 LETTERBOXES
- 04 BIKE HOOPS
- 05 HOSE TAPS
- 06 KERB
- 07 PEDESTRIANS ACCESS
- 08 EXISTING BOUNDARIES
- 09 LITHG POLE WITH CAMERA & TWO CABLES FOR FUTURE 2ND CCTV FACING BUILDING

SHEET NOTES

- SITE SURVEY INFORMATION AS PROVIDED BY PIRITAIHI CONSULTING ON 20/03/2019.
- LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES.
- REFER TO CIVIL INFRASTRUCTURE REPORT FOR PROPOSED SERVICES.
- JOAL LIGHTING REFER TO J.A. RUSSELL LTD DRAWINGS.

CONSTRUCTION:

(ASAP) CONTRACTOR TO DEVELOP A SITE ENVIRONMENTAL MANAGEMENT PLAN AND A SITE WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE REBRI GUIDELINES AS PART OF THEIR CONTRACT. EITHER 60% CONSTRUCTION WASTE TO BE RECYCLED OR LESS THAN 15KG OF CONSTRUCTION WASTE IS SENT TO LANDFILL PER M² OF NET FLOOR AREA FOR THE WHOLE CONSTRUCTION PROJECT.

HOMESTAR NOTE:

HOME USER GUIDE WILL BE DEVELOPED USING THE NZGBC TEMPLATE OR APPROVED EQUIVALENT.

LEGEND

- SITE BOUNDARY
- EXISTING SITE BOUNDARY
- YARD SETBACK
- DIM DIMENSIONS FROM BOUNDARY TO CLADDING
- PROPOSED SITE LANDSCAPING
- PROPOSED DRIVEWAY/ FOOTPATH STANDARD CONCRETE BRUSH FINISH
- PROPOSED DRIVEWAY / PEDESTRIANS ACCESS EXPOSED AGGREGATE CONCRETE
- PROPOSED DRIVEWAY SETT PAVERS
- PROPOSED RETAINING WALL
- PROPOSED NIB WALL
- EXISTING POWERPOLE
- PROPOSED LED LIGHT POLE
- PROPOSED BOLLARD LIGHT

DAMP PROOF MEMBRANE AND PROTECTIVE COVER TO CONCRETE BLOCK RATAINING WALLS TO FOLLOW NZ CONCRETE MASONRY MANUAL. REFER TO ARCHITECTURAL SPECIFICATION FOR PRODUCT SELECTION.

**BLOCK A
A2040**

**BLOCK B
A2050**

**BLOCK C
A2060**



18/12/2020
BCO10313722-3
APPROVED
BUILDING CONSENT PLANS

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
 CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

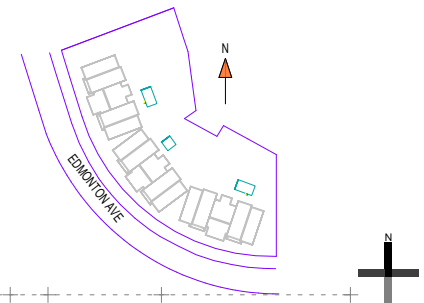
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP



SHEET NOTES

1. SITE SURVEY INFORMATION AS PROVIDED BY PIRITAHU CONSULTING ON 20/03/2019.
2. LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES.
3. REFER TO CIVIL INFRASTRUCTURE REPORT FOR PROPOSED SERVICES.

CONSTRUCTION:
 (ASAP) CONTRACTOR TO DEVELOP A SITE ENVIRONMENTAL MANAGEMENT PLAN AND A SITE WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE REBRI GUIDELINES AS PART OF THEIR CONTRACT. EITHER 60% CONSTRUCTION WASTE TO BE RECYCLED OR LESS THAN 15KG OF CONSTRUCTION WASTE IS SENT TO LANDFILL PER M² OF NET FLOOR AREA FOR THE WHOLE CONSTRUCTION PROJECT.

HOMESTAR NOTE:
 HOME USER GUIDE WILL BE DEVELOPED USING THE NZGBC TEMPLATE OR APPROVED EQUIVALENT.

LEGEND

- - - SITE BOUNDARY
- - - YARD SETBACK
- + DIM + DIMENSIONS FROM BOUNDARY TO CLADDING

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

PROPOSED OVERALL SITE PLAN - FIRST FLOOR

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 400

SHEET SIZE

A3=100%

PRINT IN COLOUR

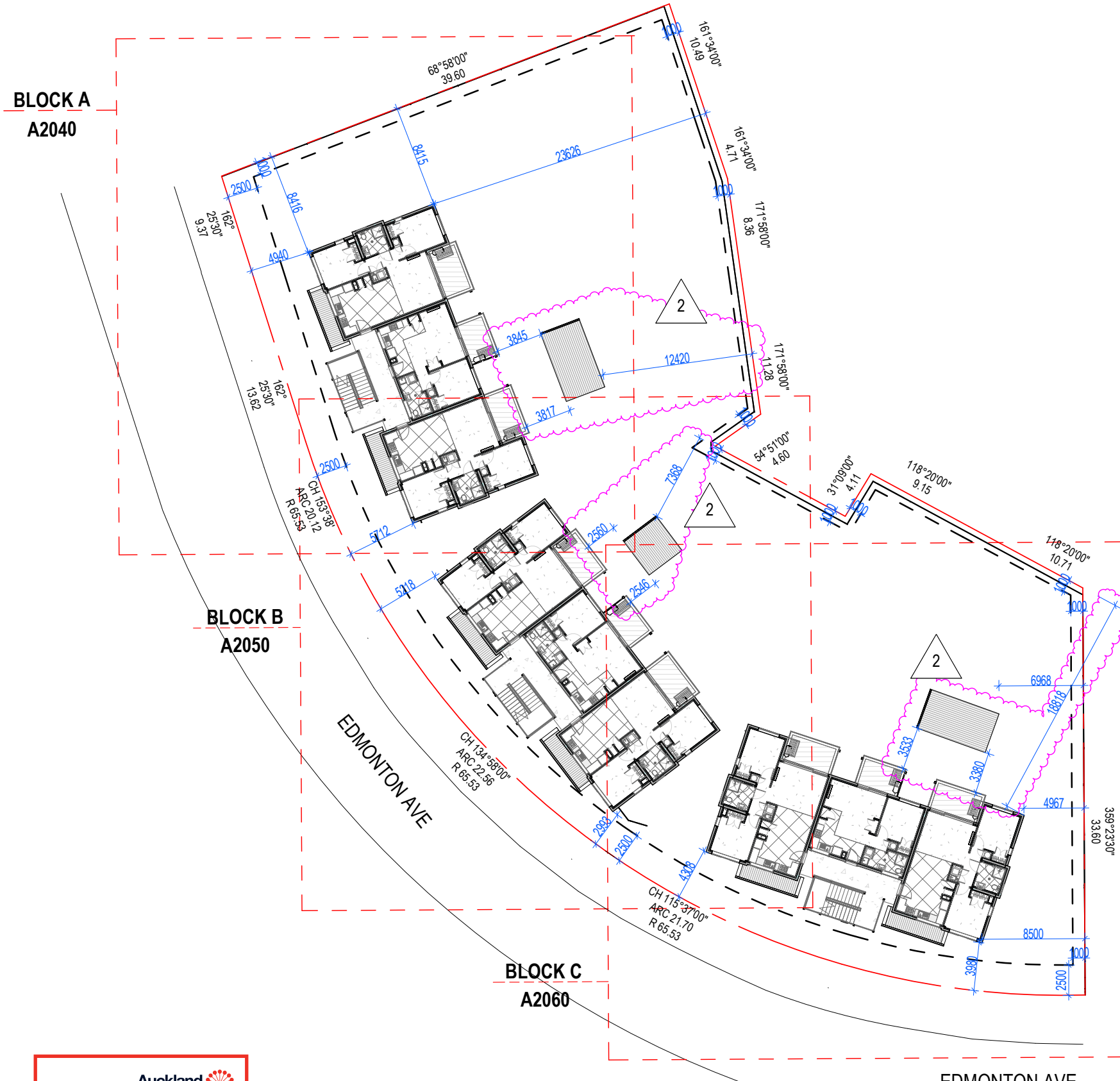


SHEET NUMBER

A5-A2031

REVISION

2



File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
 Printed: 17/12/2020 3:35:52 pm



4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

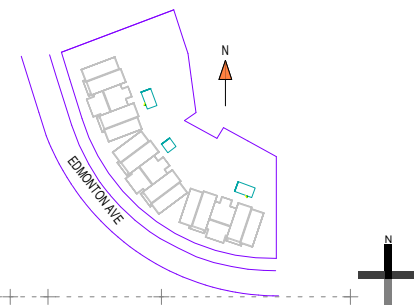
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



SHEET NOTES

- SITE SURVEY INFORMATION AS PROVIDED BY PIRITAHU CONSULTING ON 20/03/2019.
- LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES.
- REFER TO CIVIL INFRASTRUCTURE REPORT FOR PROPOSED SERVICES.

CONSTRUCTION:
 (ASAP) CONTRACTOR TO DEVELOP A SITE ENVIRONMENTAL MANAGEMENT PLAN AND A SITE WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE REBRI GUIDELINES AS PART OF THEIR CONTRACT. EITHER 60% CONSTRUCTION WASTE TO BE RECYCLED OR LESS THAN 15KG OF CONSTRUCTION WASTE IS SENT TO LANDFILL PER M² OF NET FLOOR AREA FOR THE WHOLE CONSTRUCTION PROJECT.

HOMESTAR NOTE:
 HOME USER GUIDE WILL BE DEVELOPED USING THE NZGBC TEMPLATE OR APPROVED EQUIVALENT.

LEGEND

- SITE BOUNDARY
- - - YARD SETBACK
- + DIM + DIMENSIONS FROM BOUNDARY TO CLADDING

STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED OVERALL SITE PLAN -
SECOND FLOOR**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 400

SHEET SIZE

A3=100%

PRINT IN COLOUR

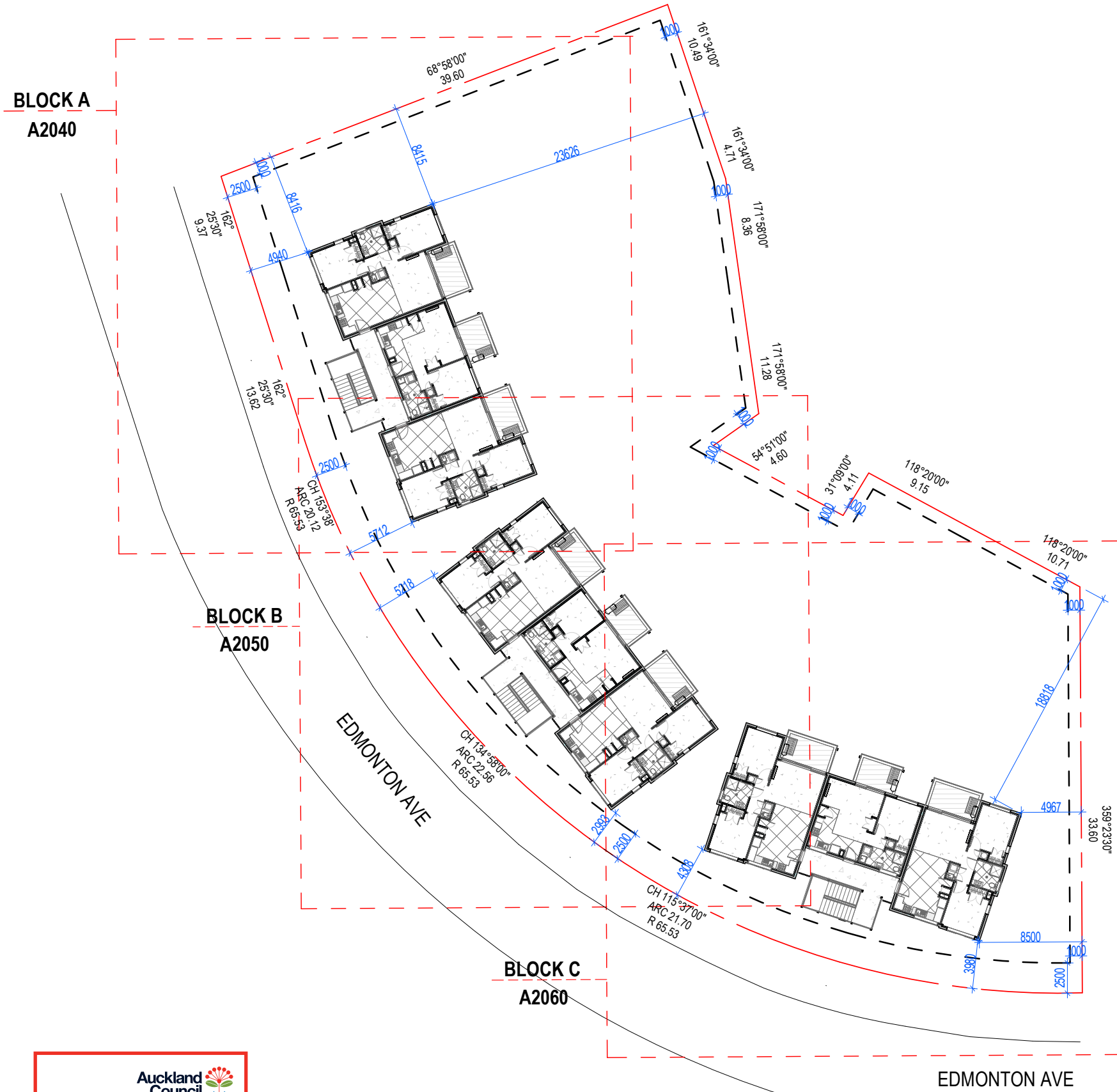


SHEET NUMBER

A5-A2032

REVISION

1



Auckland Council

18/12/2020
 BCO10313722-3
APPROVED
 BUILDING CONSENT PLANS

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

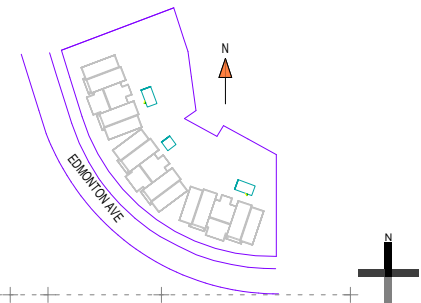
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



SHEET NOTES

- SITE SURVEY INFORMATION AS PROVIDED BY PIRITAIHI CONSULTING ON 20/03/2019.
- LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES.
- REFER TO CIVIL INFRASTRUCTURE REPORT FOR PROPOSED SERVICES.

CONSTRUCTION:
 (ASAP) CONTRACTOR TO DEVELOP A SITE ENVIRONMENTAL MANAGEMENT PLAN AND A SITE WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE REBRI GUIDELINES AS PART OF THEIR CONTRACT. EITHER 60% CONSTRUCTION WASTE TO BE RECYCLED OR LESS THAN 15KG OF CONSTRUCTION WASTE IS SENT TO LANDFILL PER M² OF NET FLOOR AREA FOR THE WHOLE CONSTRUCTION PROJECT.

HOMESTAR NOTE:
 HOME USER GUIDE WILL BE DEVELOPED USING THE NZGBC TEMPLATE OR APPROVED EQUIVALENT.

LEGEND

- SITE BOUNDARY
- - - YARD SETBACK
- DIM DIMENSIONS TO BOUNDARY
- ROOFING INDUSTRIES TRIM RIB COLORSTEEL
ENDURA ROOF
- GUTTER

STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

PROPOSED OVERALL SITE PLAN - ROOF

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 400

SHEET SIZE

A3=100%

PRINT IN COLOUR

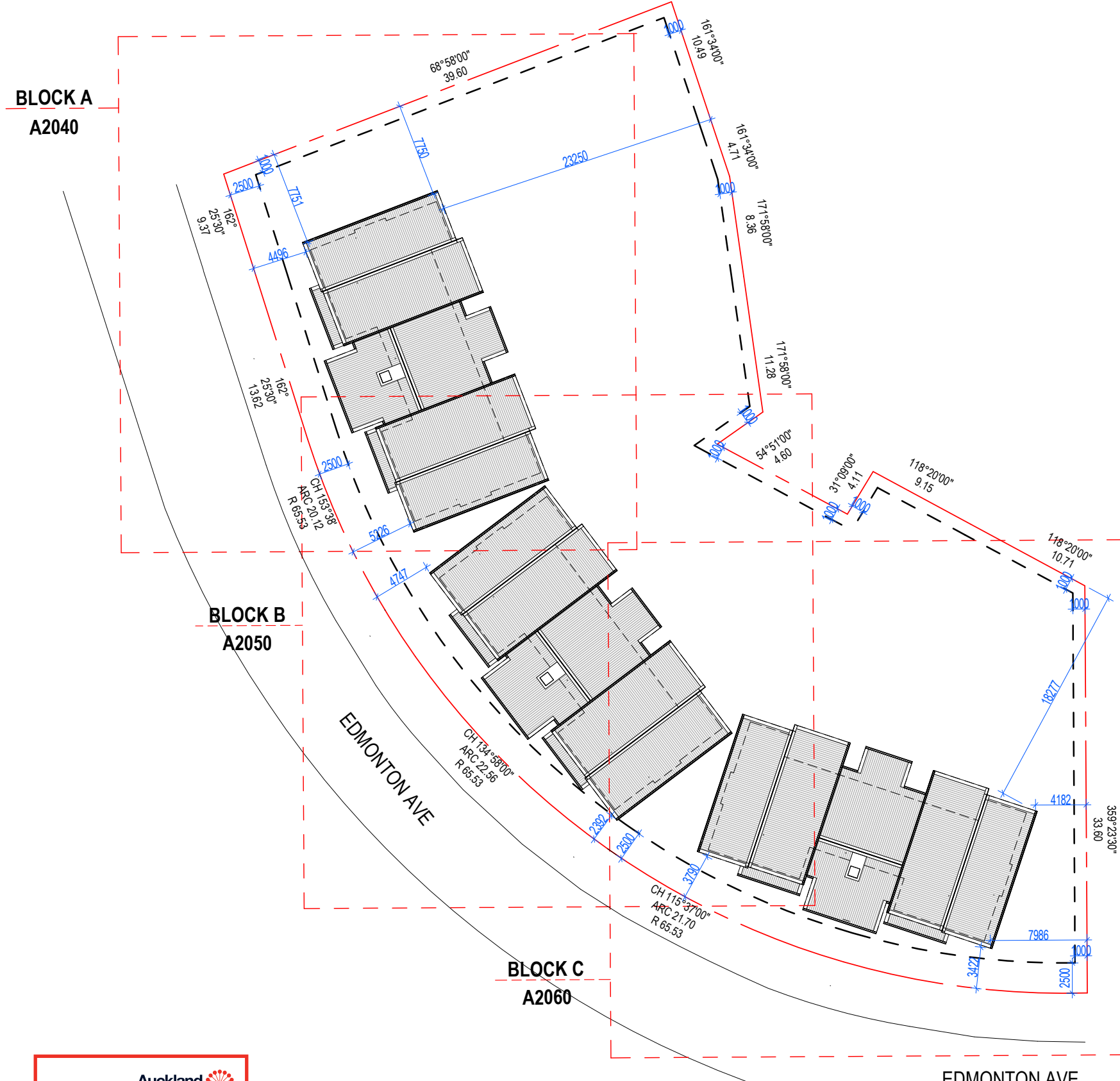


SHEET NUMBER

A5-A2033

REVISION

1



File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
 Plot: 17/12/2020 3:36:02 pm

18/12/2020
 BCO10313722-3
APPROVED
 BUILDING CONSENT PLANS



KEYNOTE

- 01 PROPOSED CLOTHESLINE
- 02 PROPOSED BIN STORAGE
- 03 LETTERBOXES
- 04 BIKE HOOPS
- 05 HOSE TAPS
- 06 KERB
- 07 PEDESTRIANS ACCESS
- 08 EXISTING BOUNDARIES

SHEET NOTES

1. SITE SURVEY INFORMATION AS PROVIDED BY PIRITAHU CONSULTING ON 20/03/2019.
2. LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES.
3. REFER TO CIVIL INFRASTRUCTURE REPORT FOR PROPOSED SERVICES.
4. JOAL LIGHTING REFER TO J.A. RUSSELL LTD DRAWINGS.

CONSTRUCTION:
 (ASAP) CONTRACTOR TO DEVELOP A SITE ENVIRONMENTAL MANAGEMENT PLAN AND A SITE WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE REBRI GUIDELINES AS PART OF THEIR CONTRACT. EITHER 60% CONSTRUCTION WASTE TO BE RECYCLED OR LESS THAN 15KG OF CONSTRUCTION WASTE IS SENT TO LANDFILL PER M² OF NET FLOOR AREA FOR THE WHOLE CONSTRUCTION PROJECT.

HOMESTAR NOTE:
 HOME USER GUIDE WILL BE DEVELOPED USING THE NZGBC TEMPLATE OR APPROVED EQUIVALENT.

LEGEND

- SITE BOUNDARY
- EXISTING SITE BOUNDARY
- YARD SETBACK
- DIMENSIONS FROM BOUNDARY TO CLADDING
- PROPOSED SITE LANDSCAPING
- PROPOSED DRIVEWAY/ FOOTPATH STANDARD CONCRETE BRUSH FINISH
- PROPOSED DRIVEWAY / PEDESTRIANS ACCESS EXPOSED AGGREGATE CONCRETE
- PROPOSED DRIVEWAY SETT PAVERS
- PROPOSED RETAINING WALL, DETAIL REFRE TO STRUCTURAL DOCUMENTATION
- PROPOSED NIB WALL
- EXISTING POWERPOLE
- ACCESSIBLE ROUTE
- PROPOSED LED LIGHT POLE
- PROPOSED BOLLARD LIGHT

Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
 CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

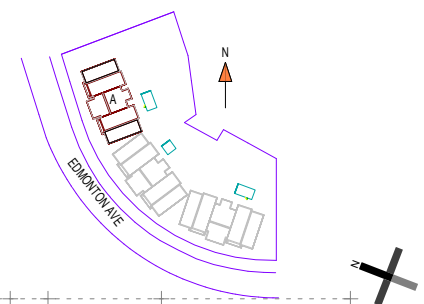
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

AUCKLAND COUNCIL
Reviewed
 By: Kishore Rana Date: 14/12/2020
DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

PROPOSED BLOCK A SITE PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 200

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A2040

REVISION

2

Auckland Council
 18/12/2020
 BCO10313722-3
APPROVED
 BUILDING CONSENT PLANS

Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

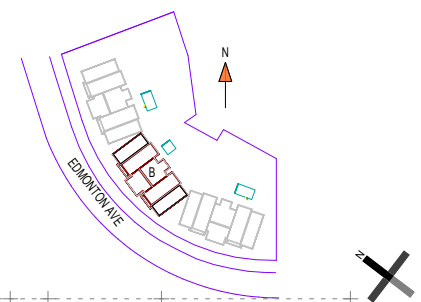
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



KEYNOTE

- 01 PROPOSED CLOTHESLINE
- 02 PROPOSED BIN STORAGE
- 03 LETTERBOXES
- 04 BIKE HOOPS
- 05 HOSE TAPS
- 06 KERB
- 07 PEDESTRIANS ACCESS
- 08 EXISTING BOUNDARIES

SHEET NOTES

1. SITE SURVEY INFORMATION AS PROVIDED BY PIRITAHU CONSULTING ON 20/03/2019.
2. LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES.
3. REFER TO CIVIL INFRASTRUCTURE REPORT FOR PROPOSED SERVICES.
4. JOAL LIGHTING REFER TO J.A. RUSSELL LTD DRAWINGS.

CONSTRUCTION:
 (ASAP) CONTRACTOR TO DEVELOP A SITE ENVIRONMENTAL MANAGEMENT PLAN AND A SITE WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE REBRI GUIDELINES AS PART OF THEIR CONTRACT. EITHER 60% CONSTRUCTION WASTE TO BE RECYCLED OR LESS THAN 15KG OF CONSTRUCTION WASTE IS SENT TO LANDFILL PER M² OF NET FLOOR AREA FOR THE WHOLE CONSTRUCTION PROJECT.

HOMESTAR NOTE:
 HOME USER GUIDE WILL BE DEVELOPED USING THE NZGBC TEMPLATE OR APPROVED EQUIVALENT.

LEGEND

- SITE BOUNDARY
- EXISTING SITE BOUNDARY
- YARD SETBACK
- DIM DIMENSIONS FROM BOUNDARY TO CLADDING
- PROPOSED SITE LANDSCAPING
- PROPOSED DRIVEWAY/ FOOTPATH STANDARD CONCRETE BRUSH FINISH
- PROPOSED DRIVEWAY / PEDESTRIANS ACCESS EXPOSED AGGREGATE CONCRETE
- PROPOSED DRIVEWAY SETT PAVERS
- PROPOSED RETAINING WALL, DETAIL REFRE TO STRUCTURAL DOCUMENTATION
- PROPOSED NIB WALL
- EXISTING POWERPOLE
- ACCESSIBLE ROUTE
- PROPOSED LED LIGHT POLE
- PROPOSED BOLLARD LIGHT

STAMP

AUCKLAND COUNCIL
Reviewed
 By: Kishore Rana Date: 14/12/2020
DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

PROPOSED BLOCK B SITE PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 200

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A2050

REVISION

2



File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
 Printed: 17/12/2020 3:36:35 pm

Auckland Council

18/12/2020
BCO10313722-3
APPROVED
BUILDING CONSENT PLANS

Young+Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

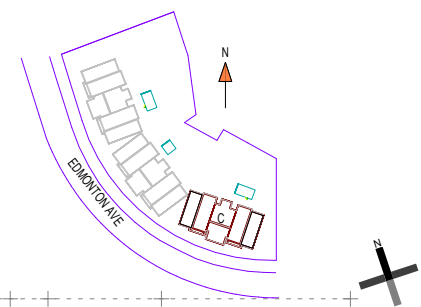
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



KEYNOTE

- 01 PROPOSED CLOTHESLINE
- 02 PROPOSED BIN STORAGE
- 03 LETTERBOXES
- 04 BIKE HOOPS
- 05 HOSE TAPS
- 06 KERB
- 07 PEDESTRIANS ACCESS
- 08 EXISTING BOUNDARIES

SHEET NOTES

1. SITE SURVEY INFORMATION AS PROVIDED BY PIRITAHU CONSULTING ON 20/03/2019.
2. LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES.
3. REFER TO CIVIL INFRASTRUCTURE REPORT FOR PROPOSED SERVICES.
4. JOAL LIGHTING REFER TO J.A. RUSSELL LTD DRAWINGS.

CONSTRUCTION:
 (ASAP) CONTRACTOR TO DEVELOP A SITE ENVIRONMENTAL MANAGEMENT PLAN AND A SITE WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE REBRI GUIDELINES AS PART OF THEIR CONTRACT. EITHER 60% CONSTRUCTION WASTE TO BE RECYCLED OR LESS THAN 15KG OF CONSTRUCTION WASTE IS SENT TO LANDFILL PER M² OF NET FLOOR AREA FOR THE WHOLE CONSTRUCTION PROJECT.

HOMESTAR NOTE:
 HOME USER GUIDE WILL BE DEVELOPED USING THE NZGBC TEMPLATE OR APPROVED EQUIVALENT.

LEGEND

- SITE BOUNDARY
- EXISTING SITE BOUNDARY
- YARD SETBACK
- DIMENSIONS FROM BOUNDARY TO CLADDING
- PROPOSED SITE LANDSCAPING
- PROPOSED DRIVEWAY/ FOOTPATH STANDARD CONCRETE BRUSH FINISH
- PROPOSED DRIVEWAY / PEDESTRIANS ACCESS EXPOSED AGGREGATE CONCRETE
- PROPOSED DRIVEWAY SETT PAVERS
- PROPOSED RETAINING WALL, DETAIL REFRE TO STRUCTURAL DOCUMENTATION
- PROPOSED NIB WALL
- EXISTING POWERPOLE
- ACCESSIBLE ROUTE
- PROPOSED LED LIGHT POLE
- PROPOSED BOLLARD LIGHT

STAMP

AUCKLAND COUNCIL
Reviewed
 By: Kishore Rana Date: 14/12/2020
DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

PROPOSED BLOCK C SITE PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 200

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A2060

REVISION

2



File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt

Printed: 17/12/2020 3:36:49 pm

Auckland Council

18/12/2020
 BC010313722-3
APPROVED
 BUILDING CONSENT PLANS

Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
 CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

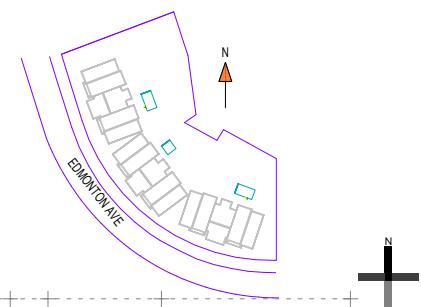
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



SCALE: 1 : 200

OVERALL SITE EAST ELEVATION **02**



SCALE: 1 : 200

OVERALL SITE SOUTH ELEVATION **01**

STAMP

AUCKLAND COUNCIL
Reviewed
 By: Kishore Rana Date: 14/12/2020
DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
PROPOSED SITE ELEVATIONS

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE: **1 : 200** SHEET SIZE: **A3=100%** PRINT IN COLOUR

SHEET NUMBER: **A5-A2065** REVISION: **1**

Auckland Council
 18/12/2020
 BCO10313722-3
APPROVED
 BUILDING CONSENT PLANS

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



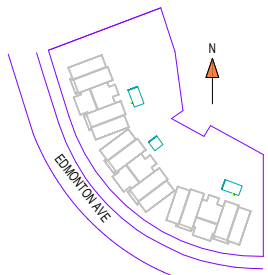
CLIENT
DOMINION CONSTRUCTORS LTD

PROJECT NAME
8-18 EDMONTON AVENUE

PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER
200003

KEY PLAN



STAMP

AUCKLAND COUNCIL
Reviewed
 By: Kishore Rana Date: 14/12/2020
DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
PROPOSED SITE DRAINAGE PLAN

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

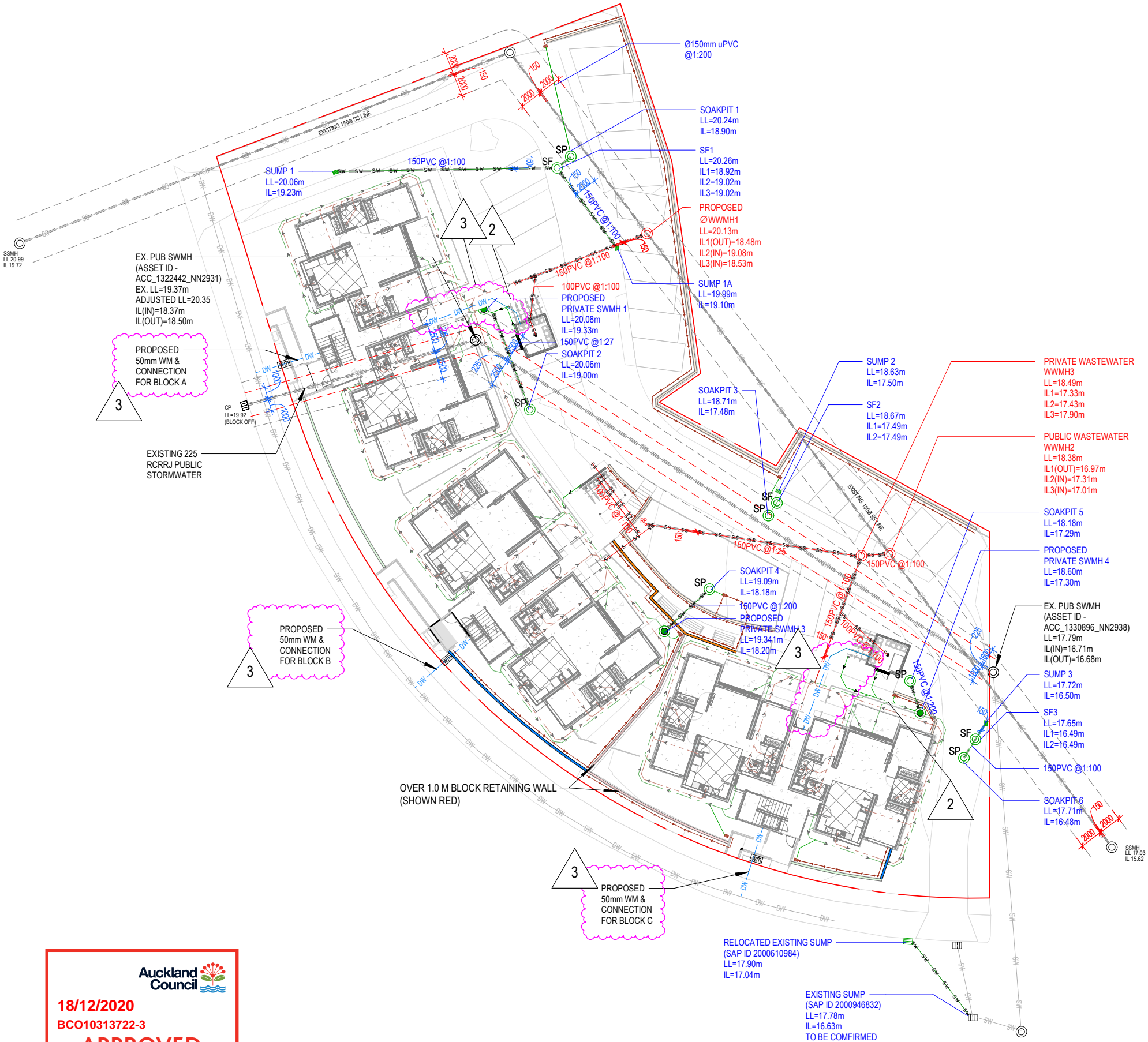
SHEET SCALE
1 : 400

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-A2070

REVISION
3



SHEET NOTES

- REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR FOUNDATION DESIGN.
- REFER TO PLUMBING NOTES, SHEET A5-A0091
- REFER TO FINISHES NOTES, SHEET A5-X0010
- ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY. DRAINLAYER OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE.

LEGEND

- SITE BOUNDARY
- YARD SETBACK
- DIM DIMENSIONS FROM BOUNDARY TO CLADDING
- SW SW SW STORMWATER LINE
- SS SS SS WASTEWATER LINE
- DW DW DW WATER LINE
- SUBSOIL DRAINAGE
- EXISTING PUBLIC STORMWATER LINE
- EXISTING PUBLIC SANITARY SEWER LINE
- EXISTING WATER LINE
- PUBLIC LINE 1.0M BOUNDARY
- PUBLIC LINE INFLUENCE LINE
- EXISTING SUMP
- SUMP - TYPE 1
- RETAINING WALL SUMP
- SF STORMFILTER
- SP SOAKPIT
- STORMWATER MANHOLE
- WASTEWATER MANHOLE
- WATER METER

Auckland Council
 18/12/2020
 BCO10313722-3
APPROVED
 BUILDING CONSENT PLANS

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

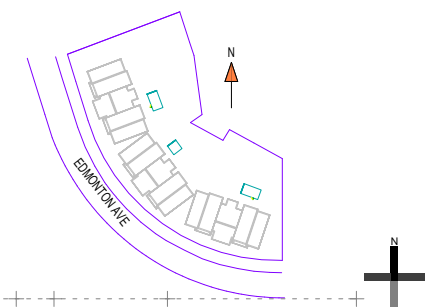
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

PROPOSED FENCING PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 400

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A2080

REVISION

1



RETAINED WALL	
WALL	HEIGHT TO GL(mm)
RH4	850
RH5	770
RH6	370
RH7	460
RH8	370
RH9	560
RH10	610
RH11	150
RH12	600
RH13	370
RH14	110
RH15	20
RH16	520
RH17	150
RH18	780
RH19	560
RH20	940
RH21	1460
RH21A	300
RH21B	1220
RH21C	1410
RH22	290
RH23	600
RH24	650
RH25	380
RH26	160

NOTE:
 RETAINING WALL HEIGHT ABOVE TABLE IS PROPOSED GROUND LEVEL DIFFERENCE. TOTAL RATAINING WALL HEIGHT REFER TO STRUCTURAL DOCUMENTATION.



4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

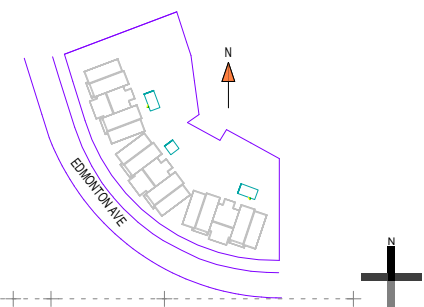
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

SHEET NOTES

1. SITE SURVEY INFORMATION AS PROVIDED BY PIRITAIHI CONSULTING ON 20/03/2019.
2. LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES.
3. REFER TO CIVIL INFRASTRUCTURE REPORT FOR PROPOSED SERVICES.

CONSTRUCTION:
 (ASAP) CONTRACTOR TO DEVELOP A SITE ENVIRONMENTAL MANAGEMENT PLAN AND A SITE WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE REBRI GUIDELINES AS PART OF THEIR CONTRACT. EITHER 60% CONSTRUCTION WASTE TO BE RECYCLED OR LESS THAN 15KG OF CONSTRUCTION WASTE IS SENT TO LANDFILL PER M² OF NET FLOOR AREA FOR THE WHOLE CONSTRUCTION PROJECT.

HOMESTAR NOTE:
 HOME USER GUIDE WILL BE DEVELOPED USING THE NZGBC TEMPLATE OR APPROVED EQUIVALENT.

LEGEND

- SITE BOUNDARY
- - - YARD SETBACK
- DIM SLAB SETOUT DIMENSIONS FROM BOUNDARY

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

OVERALL GROUND FLOOR SLAB SETOUT PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 400

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A2330

REVISION

1





CLIENT

DOMINION
 CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

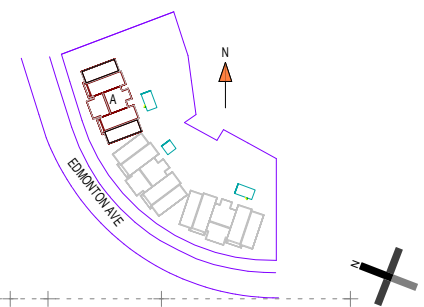
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED BLOCK A GROUND FLOOR
 SLAB SETOUT PLANS**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR

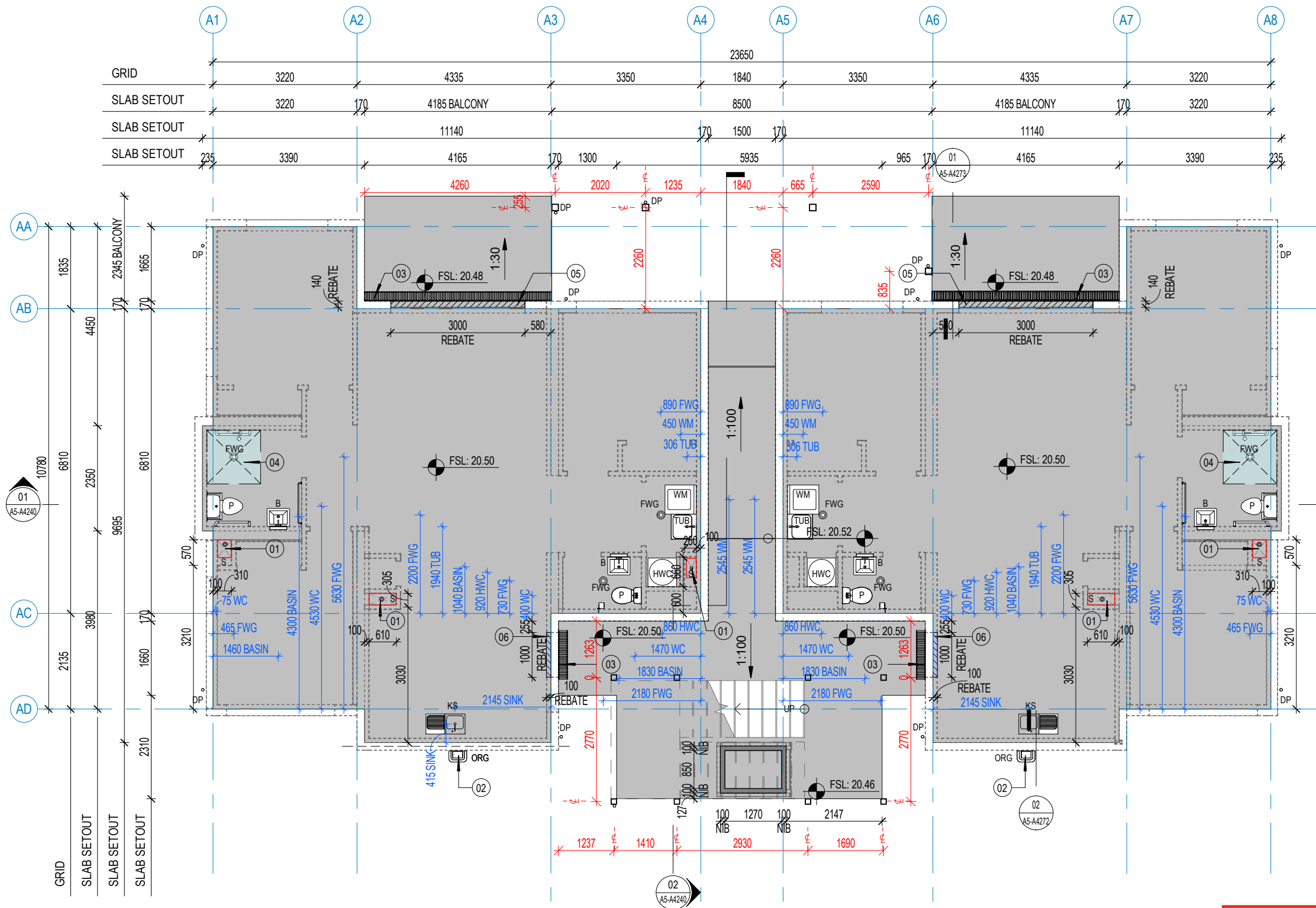


SHEET NUMBER

A5-A2340

REVISION

1



File: BIM_360//200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
 Plot: 17/12/2020 3:37:46 pm

KEY NOTES & LEGEND

- (01) STACK FROM LEVEL ABOVE
- (02) TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- (04) REBATE FOR USER FRIENDLY SHOWER 1200X1200X30 DEEP
- (05) 30mm DEPTH REBATE
- (06) 60mm DEPTH REBATE

SHEET NOTES

1. READ IN CONJUNCTION WITH KIRK ROBERTS STRUCTURAL ENGINEERING DRAWINGS.
2. REFER TO SHEETS A7440 - A7480 FOR PLUMBING SCHEMATICS.
3. REFER TO PLUMBING NOTES, SHEET A0091
4. REFER TO FINISHES NOTES, SHEET A0091
5. ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.

LEGEND

- PROPOSED WALLS
- CONCRETE SLAB
- SERVICE RISER ZONE
- CONCRETE FOOTING BELOW
- PLUMBING AND DRAINAGE PENETRATIONS
- SLAB SETOUT DIMENSIONS
- STRUCTURAL SETOUT DIMENSIONS
- HWC HOT WATER CYLINDER, WITH SAFE TRAY UNDER
- DP DOWNPIPE
- ORG OVERFLOW RELIF GULLY
- SS SEWER STACK
- FWG FLOOR WASTE GULLY
- P TOILET PANS
- B BASIN
- SHR SHOWER
- WM WASHING MACHINE
- KS KITCHEN SINK
- S STACK 100Ø





CLIENT

DOMINION CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

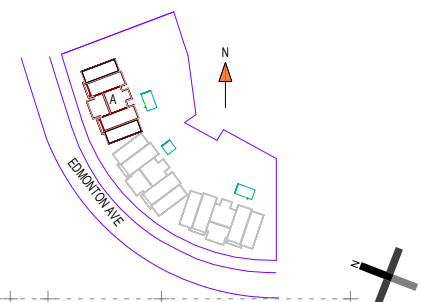
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
• ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
• BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
• FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
• FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
• THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
• THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
• DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
PROPOSED BLOCK A FIRST FLOOR SLAB SETOUT PLANS

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

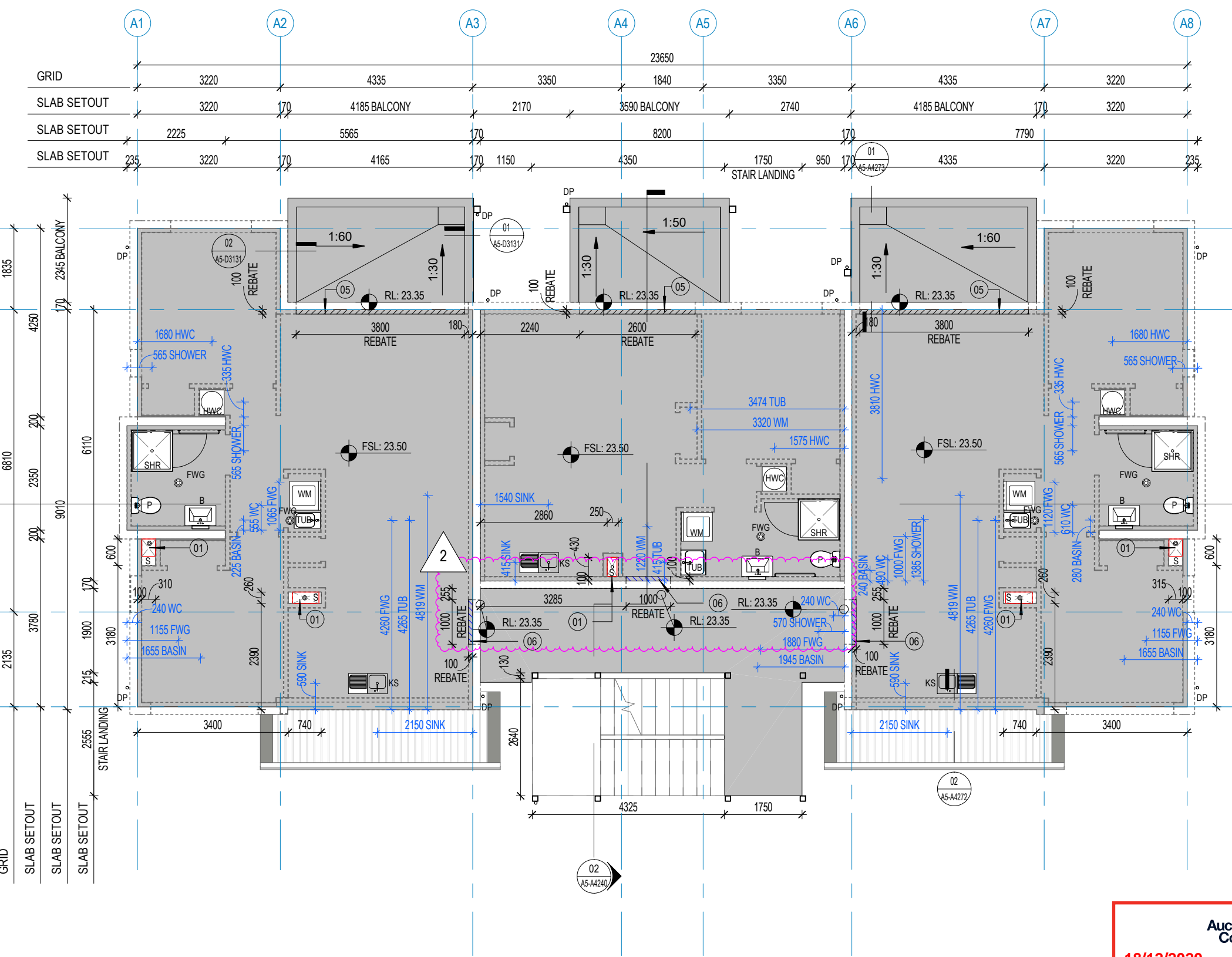
SHEET SCALE
1:100

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-A2341

REVISION
2



File: BIM 360//200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
Plot: 17/12/2020 3:37:49 pm

KEY NOTES & LEGEND

- (01) STACK FROM LEVEL ABOVE
- (02) TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- (04) REBATE FOR USER FRIENDLY SHOWER 1200X1200X30 DEEP
- (05) 30mm DEPTH REBATE
- (06) 60mm DEPTH REBATE

SHEET NOTES

1. READ IN CONJUNCTION WITH KIRK ROBERTS STRUCTURAL ENGINEERING DRAWINGS.
2. REFER TO SHEETS A7440 - A7480 FOR PLUMBING SCHEMATICS.
3. REFER TO PLUMBING NOTES, SHEET A0091
4. REFER TO FINISHES NOTES, SHEET A0091
5. ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.

LEGEND

- PROPOSED WALLS
- CONCRETE SLAB
- - - SERVICE RISER ZONE
- CONCRETE FOOTING BELOW
- + DIMS + PLUMBING AND DRAINAGE PENETRATIONS
- * DIMS * SLAB SETOUT DIMENSIONS
- * DIMS * STRUCTURAL SETOUT DIMENSIONS
- HWC HOT WATER CYLINDER, WITH SAFE TRAY UNDER
- DP DOWNPIPE
- ORG OVERFLOW RELIF GULLY
- SS SEWER STACK
- FWG FLOOR WASTE GULLY
- P TOILET PANS
- B BASIN
- SHR SHOWER
- WM WASHING MACHINE
- KS KITCHEN SINK
- S STACK 100Ø

4d Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



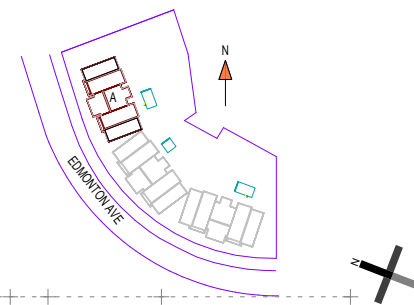
CLIENT
DOMINION CONSTRUCTORS LTD

PROJECT NAME
8-18 EDMONTON AVENUE

PROJECT ADDRESS
**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER
200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT

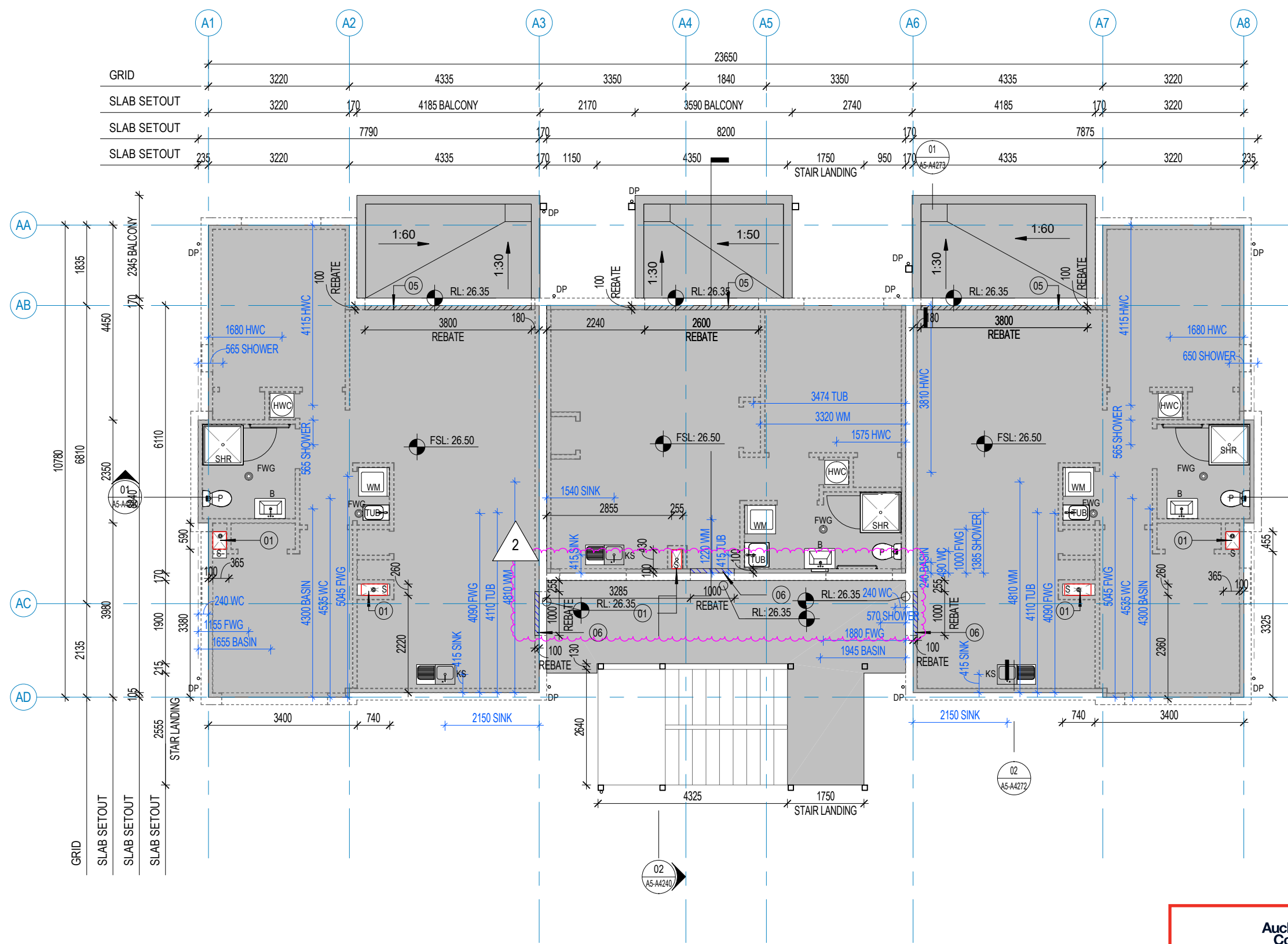
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
**PROPOSED BLOCK A SECOND FLOOR
SLAB SETOUT PLANS**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE: **1:100** SHEET SIZE: **A3=100%** PRINT IN COLOUR

SHEET NUMBER
A5-A2342 REVISION **2**



File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Aven.rvt
Printed: 17/12/2020 3:37:50 pm

KEY NOTES & LEGEND

- (01) STACK FROM LEVEL ABOVE
- (02) TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- (04) REBATE FOR USER FRIENDLY SHOWER 1200X1200X30 DEEP
- (05) 30mm DEPTH REBATE
- (06) 60mm DEPTH REBATE

SHEET NOTES

1. READ IN CONJUNCTION WITH KIRK ROBERTS STRUCTURAL ENGINEERING DRAWINGS.
2. REFER TO SHEETS A7440 - A7480 FOR PLUMBING SCHEMATICS.
3. REFER TO PLUMBING NOTES, SHEET A0091
4. REFER TO FINISHES NOTES, SHEET A0091
5. ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.

LEGEND

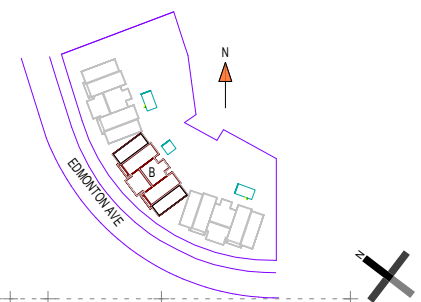
- PROPOSED WALLS
- CONCRETE SLAB
- SERVICE RISER ZONE
- CONCRETE FOOTING BELOW
- + DIMS - PLUMBING AND DRAINAGE PENETRATIONS
- + DIMS - SLAB SETOUT DIMENSIONS
- + DIMS - STRUCTURAL SETOUT DIMENSIONS
- HWC HOT WATER CYLINDER, WITH SAFE TRAY UNDER
- DP DOWNPIPE
- ORG OVERFLOW RELIF GULLY
- SS SEWER STACK
- FWG FLOOR WASTE GULLY
- P TOILET PANS
- B BASIN
- SHR SHOWER
- WM WASHING MACHINE
- KS KITCHEN SINK
- S STACK 100Ø



CLIENT
DOMINION
CONSTRUCTORS LTD
PROJECT NAME
8-18 EDMONTON AVENUE
PROJECT ADDRESS
**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER
200003

KEY PLAN



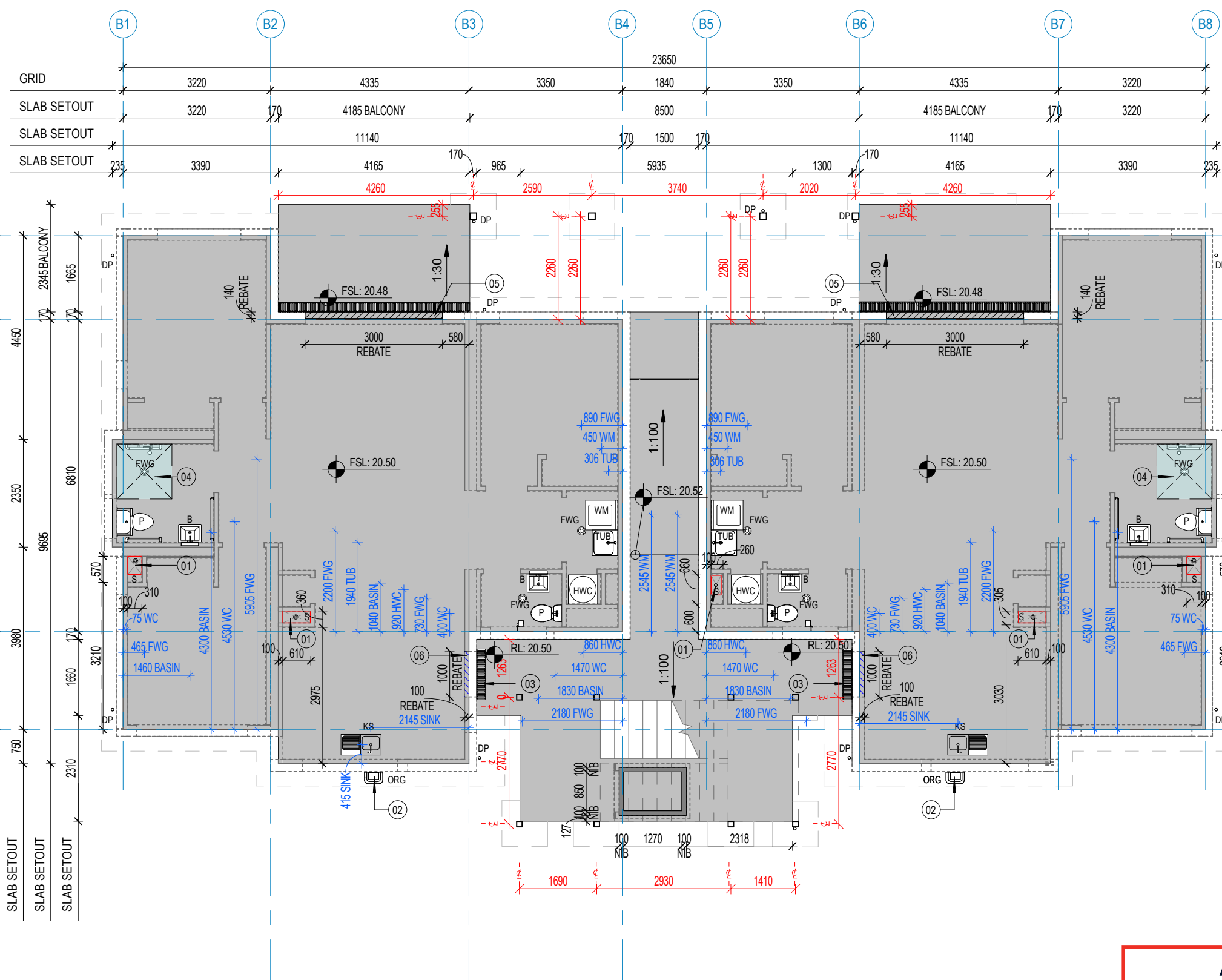
STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
**PROPOSED BLOCK B GROUND FLOOR
SLAB SETOUT PLANS**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3
SHEET SCALE
1 : 100
SHEET SIZE
A3=100%
PRINT IN COLOUR
1
SHEET NUMBER
A5-A2350
REVISION



KEY NOTES & LEGEND

- (01) STACK FROM LEVEL ABOVE
- (02) TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- (04) REBATE FOR USER FRIENDLY SHOWER 1200X1200X30 DEEP
- (05) 30mm DEPTH REBATE
- (06) 60mm DEPTH REBATE

SHEET NOTES

1. READ IN CONJUNCTION WITH KIRK ROBERTS STRUCTURAL ENGINEERING DRAWINGS.
2. REFER TO SHEETS A7440 - A7480 FOR PLUMBING SCHEMATICS.
3. REFER TO PLUMBING NOTES, SHEET A0091
4. REFER TO FINISHES NOTES, SHEET A0091
5. ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.

LEGEND

- PROPOSED WALLS
- CONCRETE SLAB
- CONCRETE FOOTING BELOW
- + DIMS + PLUMBING AND DRAINAGE PENETRATIONS
- + DIMS + SLAB SETOUT DIMENSIONS
- + DIMS + STRUCTURAL SETOUT DIMENSIONS
- HWC HOT WATER CYLINDER, WITH SAFE TRAY UNDER
- DP DOWNPIPE
- ORG OVERFLOW RELIF GULLY
- SS SEWER STACK
- FWG FLOOR WASTE GULLY
- P TOILET PANS
- B BASIN
- SHR SHOWER
- WM WASHING MACHINE
- KS KITCHEN SINK
- S STACK 100Ø





CLIENT

DOMINION CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

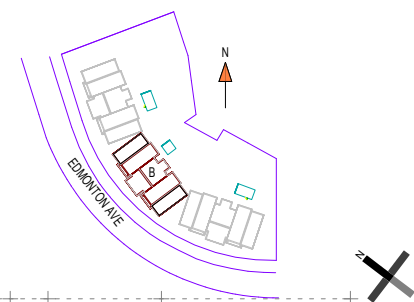
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
PROPOSED BLOCK B FIRST FLOOR SLAB SETOUT PLANS

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

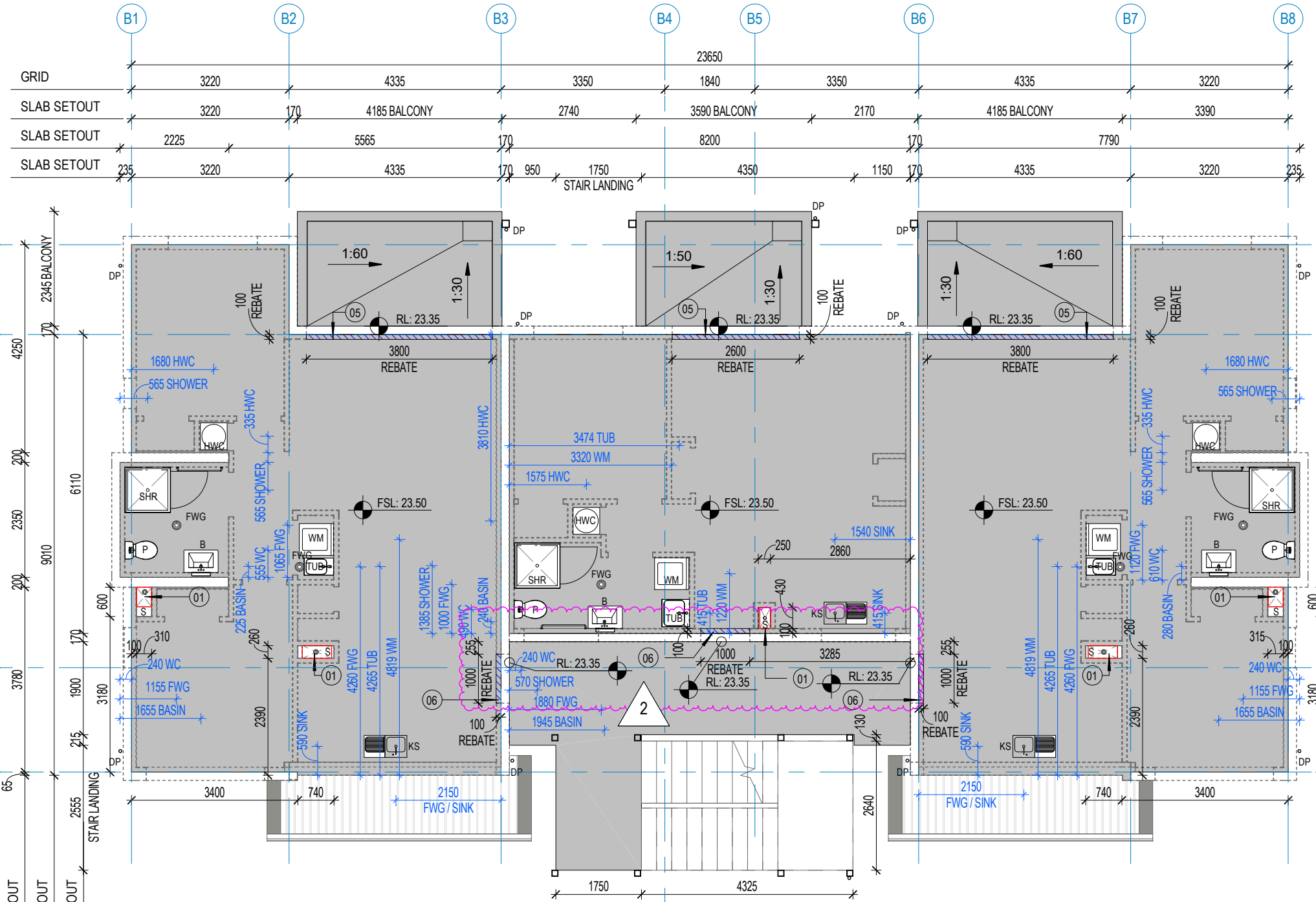
SHEET SCALE
1: 100

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-A2351

REVISION
2



KEY NOTES & LEGEND

- 01 STACK FROM LEVEL ABOVE
- 02 TUNDISH DISCHARGE TO EXTERIOR
- 03 DRAINAGE CHANNEL
- 04 REBATE FOR USER FRIENDLY SHOWER 1200X1200X30 DEEP
- 05 30mm DEPTH REBATE
- 06 60mm DEPTH REBATE

SHEET NOTES

1. READ IN CONJUNCTION WITH KIRK ROBERTS STRUCTURAL ENGINEERING DRAWINGS.
2. REFER TO SHEETS A7440 - A7480 FOR PLUMBING SCHEMATICS.
3. REFER TO PLUMBING NOTES, SHEET A0091
4. REFER TO FINISHES NOTES, SHEET A0091
5. ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.

LEGEND

- - - - PROPOSED WALLS
- CONCRETE SLAB
- SERVICE RISER ZONE
- - - - CONCRETE FOOTING BELOW
- DIMS PLUMBING AND DRAINAGE PENETRATIONS
- DIMS SLAB SETOUT DIMENSIONS
- DIMS STRUCTURAL SETOUT DIMENSIONS

- HWC HOT WATER CYLINDER, WITH SAFE TRAY UNDER
- DP DOWNPIPE
- ORG OVERFLOW RELIF GULLY
- SS SEWER STACK
- FWG FLOOR WASTE GULLY
- P TOILET PANS
- B BASIN
- SHR SHOWER
- WM WASHING MACHINE
- KS KITCHEN SINK
- S STACK 100Ø



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

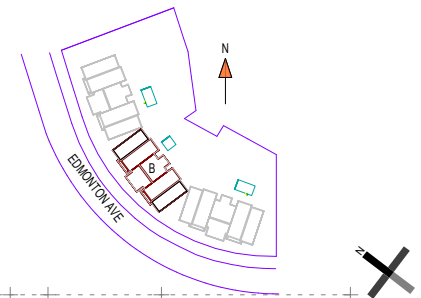
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED BLOCK B SECOND FLOOR
SLAB SETOUT PLANS**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR

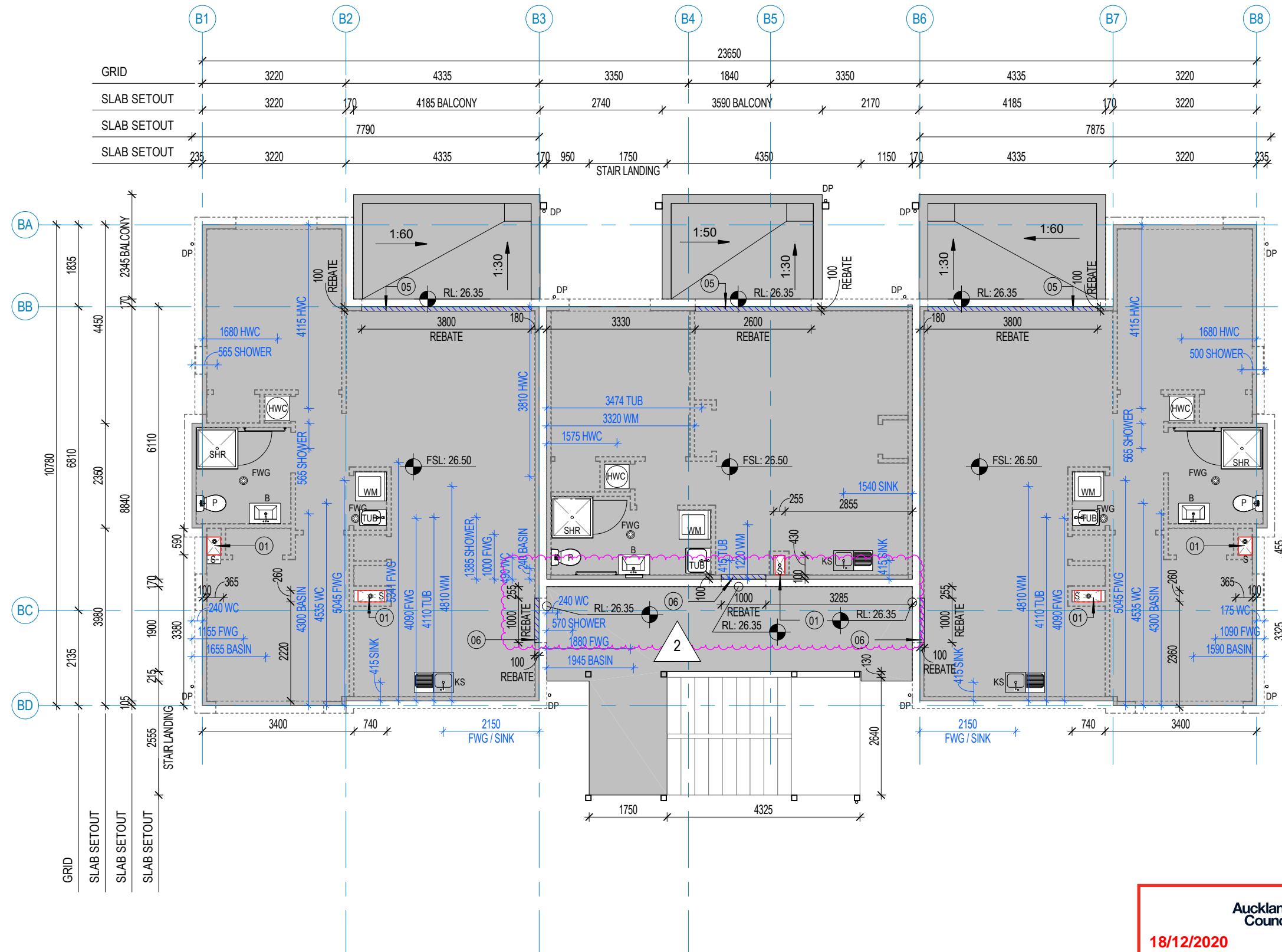


SHEET NUMBER

A5-A2352

REVISION

2



KEY NOTES & LEGEND

- (01) STACK FROM LEVEL ABOVE
- (02) TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- (04) REBATE FOR USER FRIENDLY SHOWER 1200X1200X30 DEEP
- (05) 30mm DEPTH REBATE
- (06) 60mm DEPTH REBATE

SHEET NOTES

- READ IN CONJUNCTION WITH KIRK ROBERTS STRUCTURAL ENGINEERING DRAWINGS.
- REFER TO SHEETS A7440 - A7480 FOR PLUMBING SCHEMATICS.
- REFER TO PLUMBING NOTES, SHEET A0091
- REFER TO FINISHES NOTES, SHEET A0091
- ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.

LEGEND

- [---] PROPOSED WALLS
- [---] CONCRETE SLAB
- [---] SERVICE RISER ZONE
- [---] CONCRETE FOOTING BELOW
- [DIMS] PLUMBING AND DRAINAGE PENETRATIONS
- [DIMS] SLAB SETOUT DIMENSIONS
- [DIMS] STRUCTURAL SETOUT DIMENSIONS
- HWC HOT WATER CYLINDER, WITH SAFE TRAY UNDER
- DP DOWNPIPE
- ORG OVERFLOW RELIF GULLY
- SS SEWER STACK
- FWG FLOOR WASTE GULLY
- P TOILET PANS
- B BASIN
- SHR SHOWER
- WM WASHING MACHINE
- KS KITCHEN SINK
- S STACK 100Ø



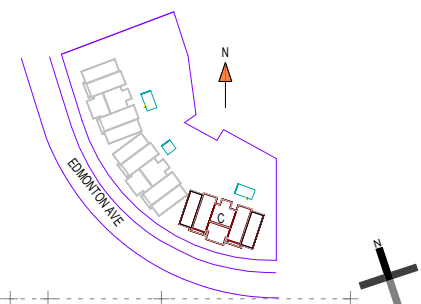
CLIENT
DOMINION CONSTRUCTORS LTD

PROJECT NAME
8-18 EDMONTON AVENUE

PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER
200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
PROPOSED BLOCK C GROUND FLOOR SLAB SETOUT PLANS

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

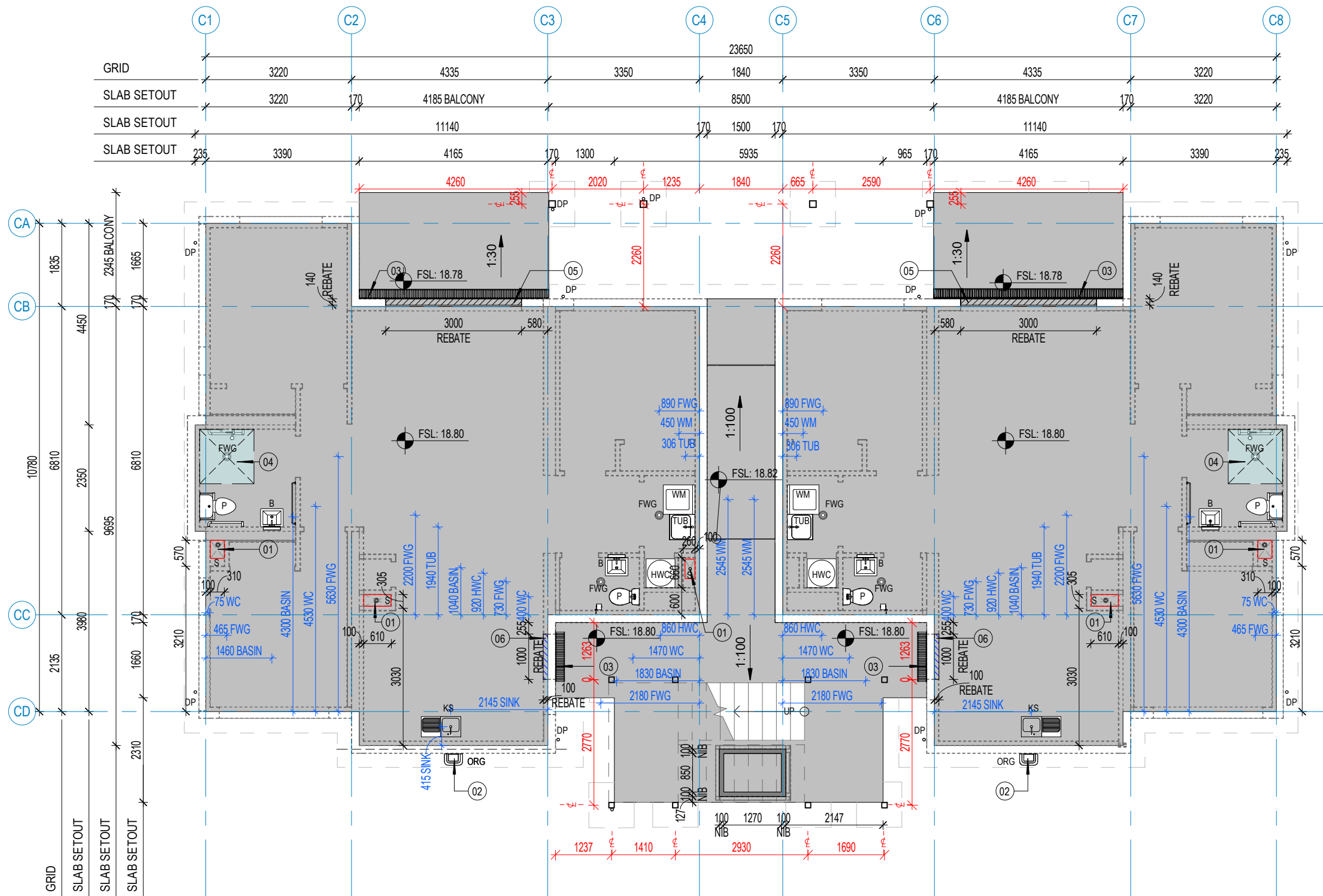
SHEET SCALE
1 : 100

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-A2360

REVISION
1



File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
 Plot: 17/12/2020 3:36:00 pm

KEY NOTES & LEGEND

- (01) STACK FROM LEVEL ABOVE
- (02) TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- (04) REBATE FOR USER FRIENDLY SHOWER 1200X1200X30 DEEP
- (05) 30mm DEPTH REBATE
- (06) 60mm DEPTH REBATE

SHEET NOTES

- READ IN CONJUNCTION WITH KIRK ROBERTS STRUCTURAL ENGINEERING DRAWINGS.
- REFER TO SHEETS A7440 - A7480 FOR PLUMBING SCHEMATICS.
- REFER TO PLUMBING NOTES, SHEET A0091
- REFER TO FINISHES NOTES, SHEET A0091
- ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.

LEGEND

- PROPOSED WALLS
- CONCRETE SLAB
- SERVICE RISER ZONE
- CONCRETE FOOTING BELOW
- PLUMBING AND DRAINAGE PENETRATIONS
- SLAB SETOUT DIMENSIONS
- STRUCTURAL SETOUT DIMENSIONS
- HWC HOT WATER CYLINDER, WITH SAFE TRAY UNDER
- DP DOWNPIPE
- ORG OVERFLOW RELIF GULLY
- SS SEWER STACK
- FWG FLOOR WASTE GULLY
- P TOILET PANS
- B BASIN
- SHR SHOWER
- WM WASHING MACHINE
- KS KITCHEN SINK
- S STACK 100Ø



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

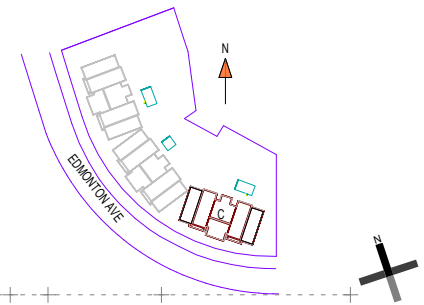
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED BLOCK C FIRST FLOOR SLAB
SETOUT PLANS**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR



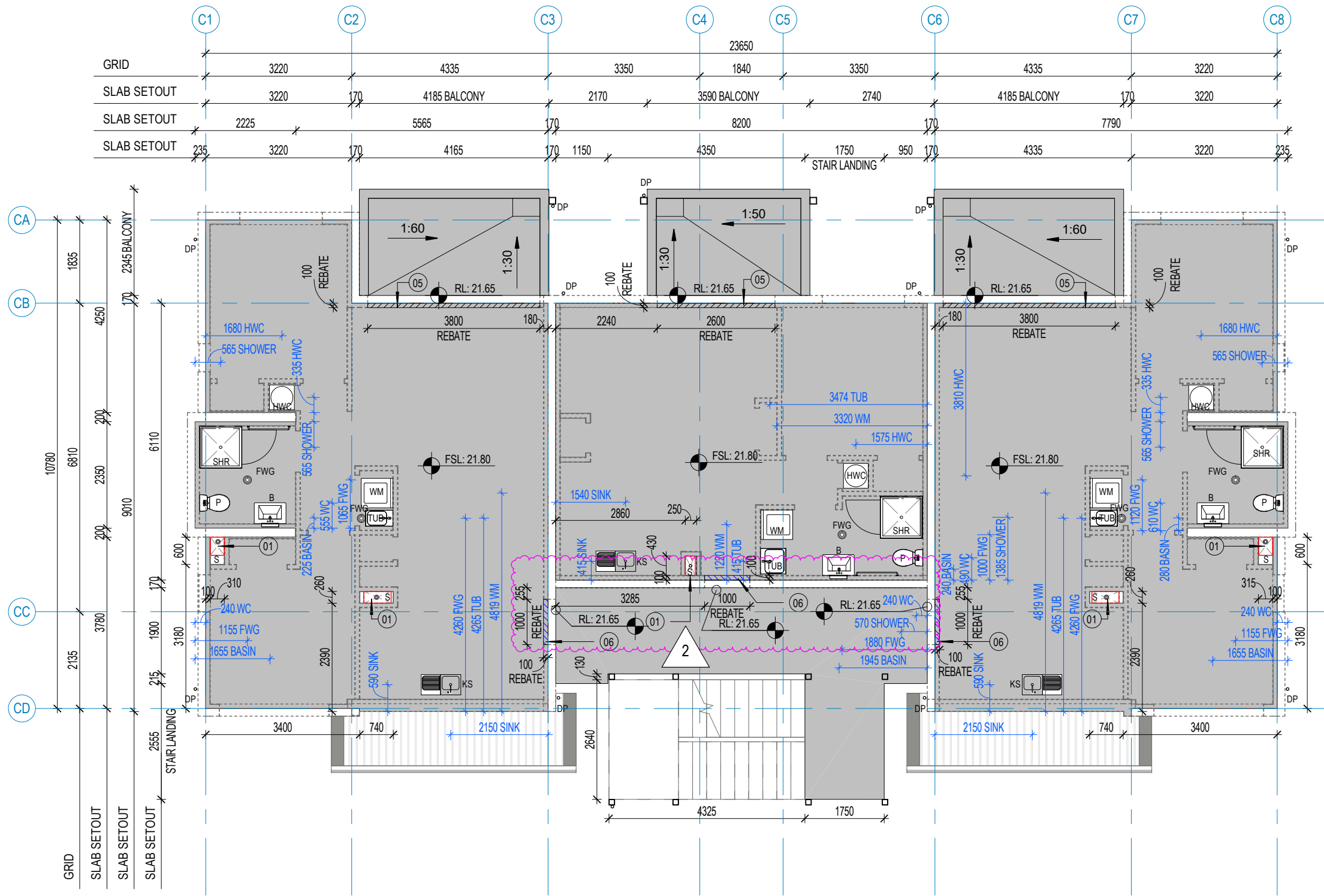
SHEET NUMBER

A5-A2361

REVISION

2

18/12/2020
BCO10313722-3
APPROVED
BUILDING CONSENT PLANS



KEY NOTES & LEGEND

- (01) STACK FROM LEVEL ABOVE
- (02) TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- (04) REBATE FOR USER FRIENDLY SHOWER
1200X1200X30 DEEP
- (05) 30mm DEPTH REBATE
- (06) 60mm DEPTH REBATE

SHEET NOTES

1. READ IN CONJUNCTION WITH KIRK ROBERTS STRUCTURAL ENGINEERING DRAWINGS.
2. REFER TO SHEETS A7440 - A7480 FOR PLUMBING SCHEMATICS.
3. REFER TO PLUMBING NOTES, SHEET A0091
4. REFER TO FINISHES NOTES, SHEET A0091
5. ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.

LEGEND

- PROPOSED WALLS
- CONCRETE SLAB
- ⊗ S SERVICE RISER ZONE
- CONCRETE FOOTING BELOW
- DIMS PLUMBING AND DRAINAGE PENETRATIONS
- DIMS SLAB SETOUT DIMENSIONS
- DIMS STRUCTURAL SETOUT DIMENSIONS
- HWC HOT WATER CYLINDER, WITH SAFE TRAY UNDER
- DP DOWNPIPE
- ORG OVERFLOW RELIF GULLY
- SS SEWER STACK
- FWG FLOOR WASTE GULLY
- P TOILET PANS
- B BASIN
- SHR SHOWER
- WM WASHING MACHINE
- KS KITCHEN SINK
- S STACK 100Ø



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

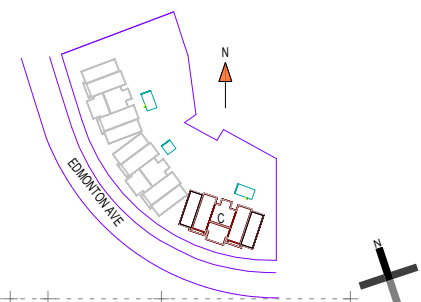
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

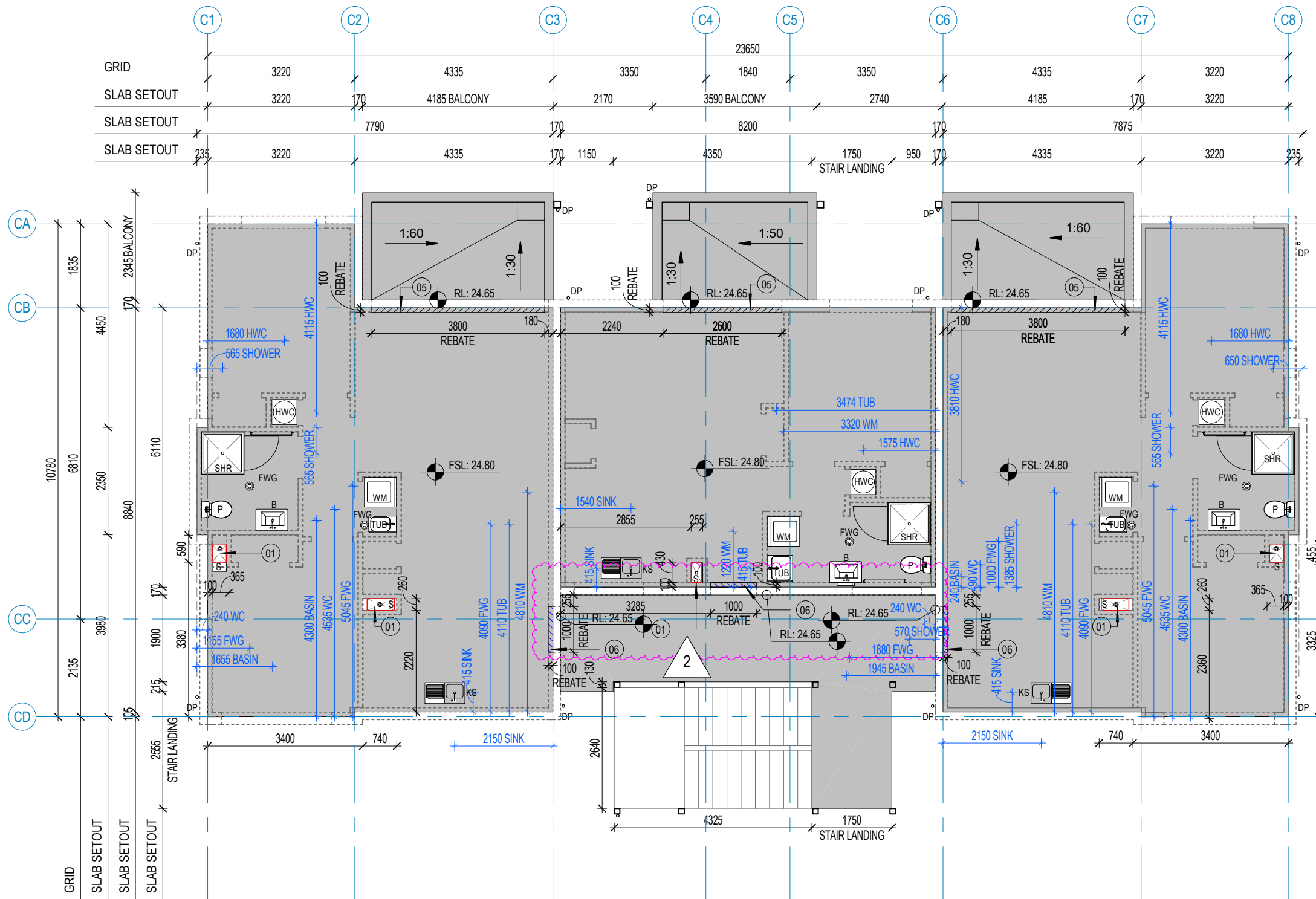
SHEET NAME
**PROPOSED BLOCK C SECOND FLOOR
 SLAB SETOUT PLANS**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE **1:100** SHEET SIZE **A3=100%** PRINT IN COLOUR

SHEET NUMBER **A5-A2362** REVISION **2**

Auckland Council
18/12/2020
BCO10313722-3
APPROVED
BUILDING CONSENT PLANS



KEY NOTES & LEGEND

- 01 STACK FROM LEVEL ABOVE
- 02 TUNDISH DISCHARGE TO EXTERIOR
- 03 DRAINAGE CHANNEL
- 04 REBATE FOR USER FRIENDLY SHOWER 1200X1200X30 DEEP
- 05 30mm DEPTH REBATE
- 06 60mm DEPTH REBATE

SHEET NOTES

1. READ IN CONJUNCTION WITH KIRK ROBERTS STRUCTURAL ENGINEERING DRAWINGS.
2. REFER TO SHEETS A7440 - A7480 FOR PLUMBING SCHEMATICS.
3. REFER TO PLUMBING NOTES, SHEET A0091
4. REFER TO FINISHES NOTES, SHEET A0091
5. ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.

LEGEND

- PROPOSED WALLS
- CONCRETE SLAB
- SERVICE RISER ZONE
- CONCRETE FOOTING BELOW
- PLUMBING AND DRAINAGE PENETRATIONS
- SLAB SETOUT DIMENSIONS
- STRUCTURAL SETOUT DIMENSIONS
- HWC HOT WATER CYLINDER, WITH SAFE TRAY UNDER
- DP DOWNPIPE
- ORG OVERFLOW RELIF GULLY
- SS SEWER STACK
- FWG FLOOR WASTE GULLY
- P TOILET PANS
- B BASIN
- SHR SHOWER
- WM WASHING MACHINE
- KS KITCHEN SINK
- S STACK 100Ø



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

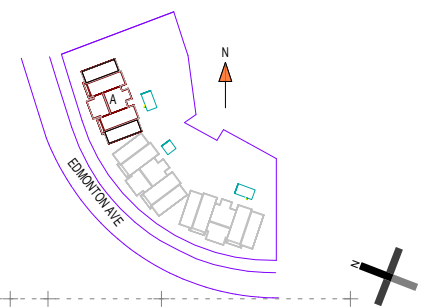
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

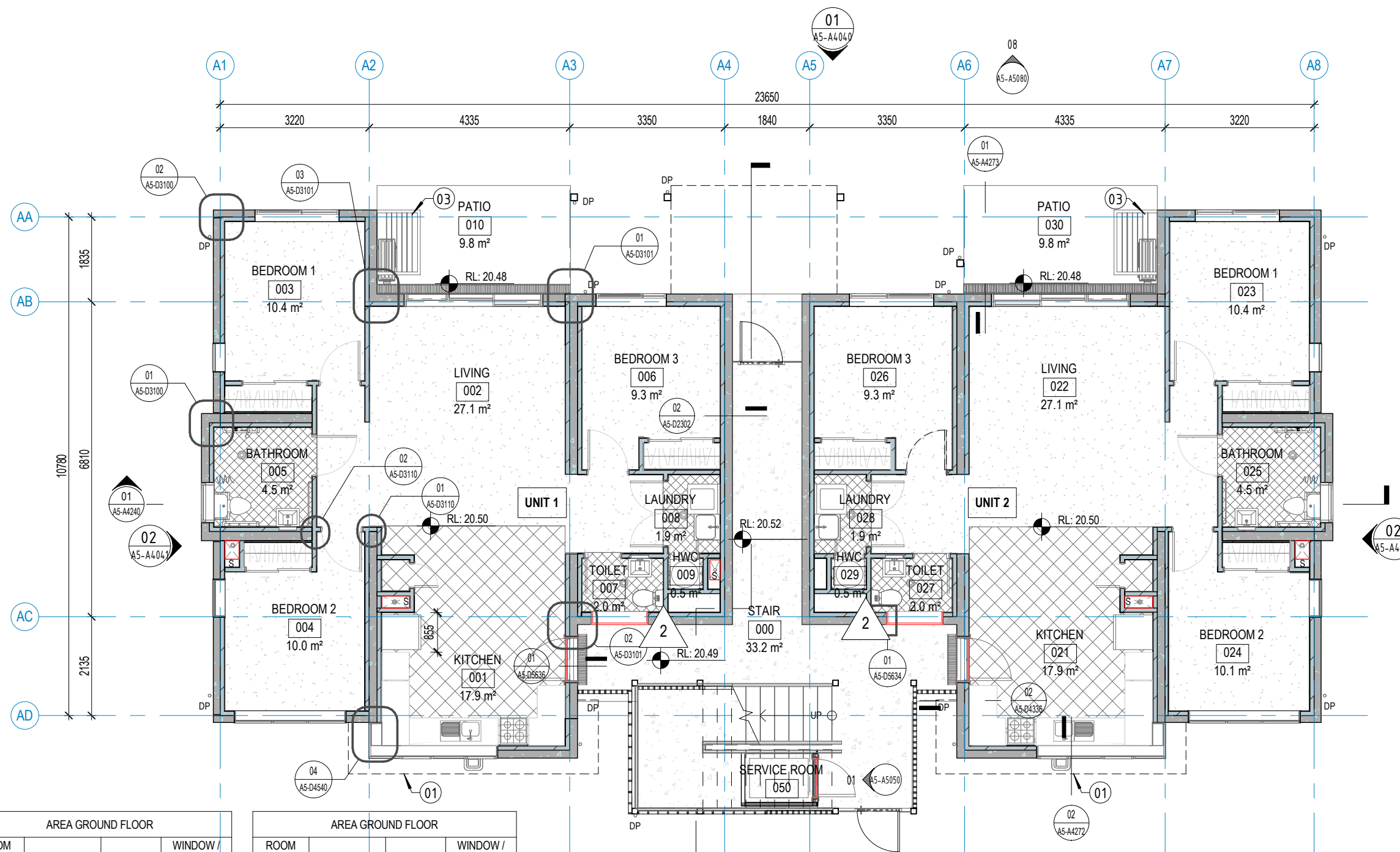
THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
**PROPOSED BLOCK A GROUND FLOOR
CONSTRUCTION PLAN**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE: **1 : 100**
 SHEET SIZE: **A3=100%**
 PRINT IN COLOUR

SHEET NUMBER
A5-A3040
 REVISION
2



AREA GROUND FLOOR			
ROOM NUMBER	NAME	AREA	WINDOW / OPENING
000	STAIR	33.2 m ²	
001	KITCHEN	17.9 m ²	3.5m ² /1.4m ²
002	LIVING	27.1 m ²	8.36m ² /1.39m ²
003	BEDROOM 1	10.4 m ²	3.18m ² /2.4m ²
004	BEDROOM 2	10.0 m ²	4.72m ² /3.52m ²
005	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
006	BEDROOM 3	9.3 m ²	1.95m ² /1.3m ²
007	TOILET	2.0 m ²	
008	LAUNDRY	1.9 m ²	
009	HWC	0.5 m ²	
010	PATIO	9.8 m ²	
021	KITCHEN	17.9 m ²	3.5m ² /1.4m ²

AREA GROUND FLOOR			
ROOM NUMBER	NAME	AREA	WINDOW / OPENING
022	LIVING	27.1 m ²	8.36m ² /1.39m ²
023	BEDROOM 1	10.4 m ²	3.18m ² /2.4m ²
024	BEDROOM 2	10.1 m ²	4.72m ² /3.52m ²
025	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
026	BEDROOM 3	9.3 m ²	1.95m ² /1.3m ²
027	TOILET	2.0 m ²	
028	LAUNDRY	1.9 m ²	
029	HWC	0.5 m ²	
030	PATIO	9.8 m ²	
050	SERVICE ROOM	2.0 m ²	

KEY NOTES & LEGEND

- ① OUTLINE OF ROOF ABOVE SHOWN DASHED
- ② CLOTHSLINE
- ③ HANDRAIL

SHEET NOTES

1. READ IN ACCORDANCE WITH FIREFORCE LIMITED FOR FIRE REQUIREMENTS.
2. READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING LTD FOR STRUCTURAL REQUIREMENTS.
3. VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
4. ALL STEPS (INCLUDING EXTERIOR) TO HAVE A HANDRAIL.
5. ALL COMMON SPACES TO HAVE MINIMUM LUMINANCE OF 20 LUX AT FINISHED FLOOR LEVEL.
6. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
7. ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT.
8. ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/A1 TABLE 20 'MATERIAL SELECTION'.
9. INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
10. DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY.
11. CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
12. VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515.
13. ALL PENETRATIONS TO SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

- PRECAST CONCRETE WALL PANELS
- FIRE RATED PRECAST WALL
- FULL HEIGHT STEEL FRAMED WALL
- PRECAST CONCRETE FLOOR
- SERVICE RISER ZONE
- ROOF OUTLINE
- SELECTED VINYL - WET AREA - POLYFLOOR
- SELECTED VINYL - DRY AREA - POLYFLOOR
- SELECTED CARPET - GODFREY HURST





CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

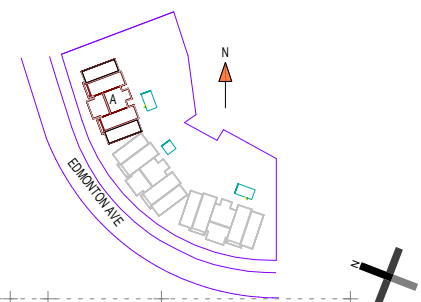
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

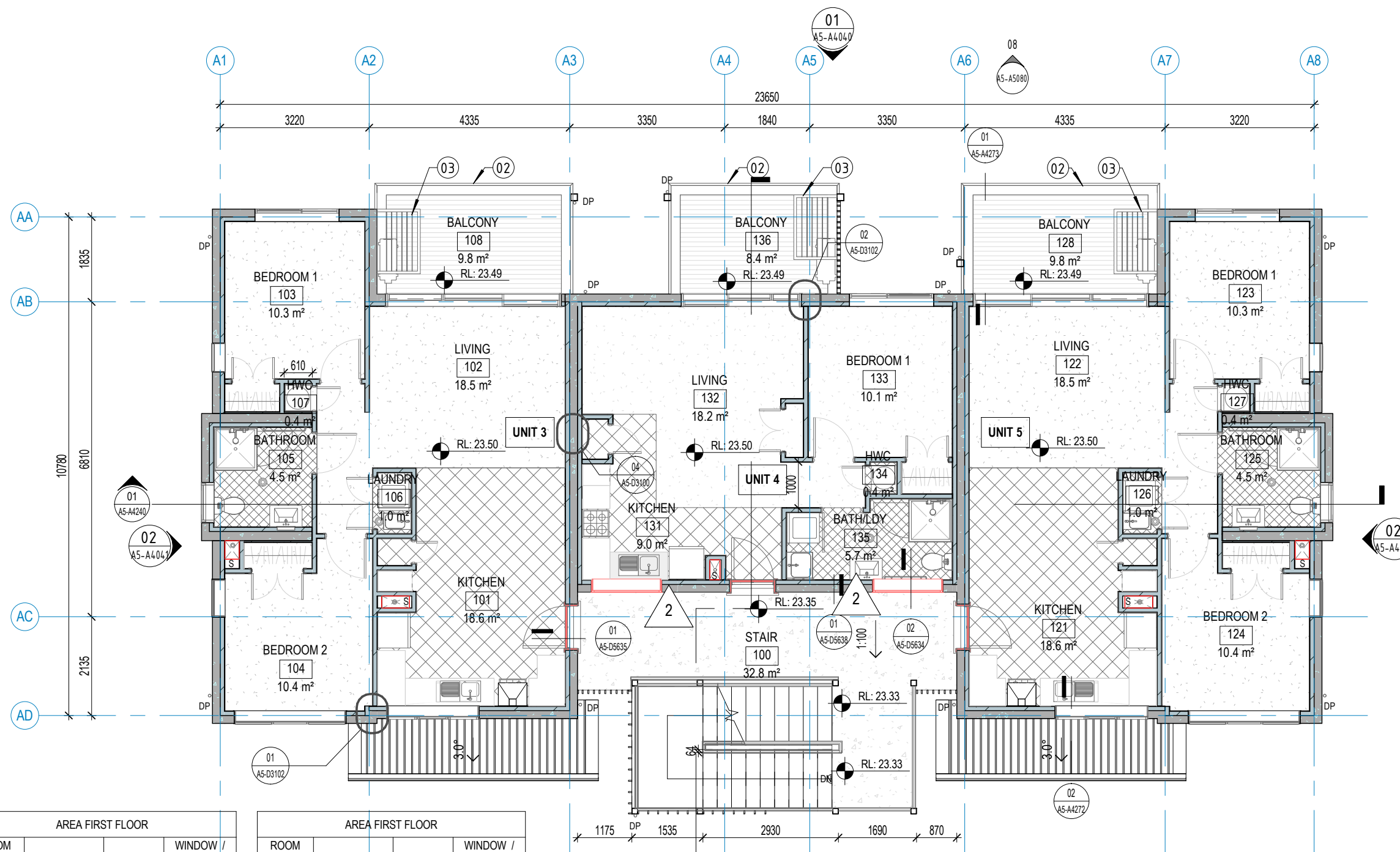
THE FINE PRINT
 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
**PROPOSED BLOCK A FIRST FLOOR
CONSTRUCTION PLAN**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE **1:100** SHEET SIZE **A3=100%** PRINT IN COLOUR

SHEET NUMBER **A5-A3041** REVISION **2**



AREA FIRST FLOOR			
ROOM NUMBER	NAME	AREA	WINDOW / OPENING
100	STAIR	32.8 m ²	
101	KITCHEN	18.6 m ²	2.0m ² /1.33m ²
102	LIVING	18.5 m ²	8.36m ² /1.39m ²
103	BEDROOM 1	10.3 m ²	3.18m ² /2.4m ²
104	BEDROOM 2	10.4 m ²	4.72m ² /3.52m ²
105	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
106	LAUNDRY	1.0 m ²	
107	HWC	0.4 m ²	
108	BALCONY	9.8 m ²	
121	KITCHEN	18.6 m ²	2.0m ² /1.33m ²
122	LIVING	18.5 m ²	8.36m ² /1.39m ²
123	ROOM NAME	Not Placed	

AREA FIRST FLOOR			
ROOM NUMBER	NAME	AREA	WINDOW / OPENING
123	BEDROOM 1	10.3 m ²	3.18m ² /2.4m ²
124	BEDROOM 2	10.4 m ²	4.72m ² /3.52m ²
125	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
126	LAUNDRY	1.0 m ²	
127	HWC	0.4 m ²	
128	BALCONY	9.8 m ²	
131	KITCHEN	9.0 m ²	6.26m ² /2.86m ²
132	LIVING	18.2 m ²	6.26m ² /2.86m ²
133	BEDROOM 1	10.1 m ²	2.34m ² /1.30m ²
134	HWC	0.4 m ²	
135	BATH/LDY	5.7 m ²	0.54m ² /FAN
136	BALCONY	8.4 m ²	

KEY NOTES & LEGEND

- ① OUTLINE OF ROOF ABOVE SHOWN DASHED
- ② CLOTHSLINE
- ③ HANDRAIL

SHEET NOTES

1. READ IN ACCORDANCE WITH FIREFORCE LIMITED FOR FIRE REQUIREMENTS.
2. READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING LTD FOR STRUCTURAL REQUIREMENTS.
3. VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
4. ALL STEPS (INCLUDING EXTERIOR) TO HAVE A HANDRAIL.
5. ALL COMMON SPACES TO HAVE MINIMUM LUMINANCE OF 20 LUX AT FINISHED FLOOR LEVEL.
6. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
7. ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT.
8. ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'.
9. INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
10. DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY.
11. CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
12. VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515.
13. ALL PENETRATIONS TO SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

- PRECAST CONCRETE WALL PANELS
- FIRE RATED PRECAST WALL
- FULL HEIGHT STEEL FRAMED WALL
- PRECAST CONCRETE FLOOR
- SERVICE RISER ZONE
- ROOF OUTLINE
- SELECTED VINYL - WET AREA - POLYFLOOR
- SELECTED VINYL - DRY AREA - POLYFLOOR
- SELECTED CARPET - GODFREY HURST

18/12/2020
BCO10313722-3
APPROVED
BUILDING CONSENT PLANS



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

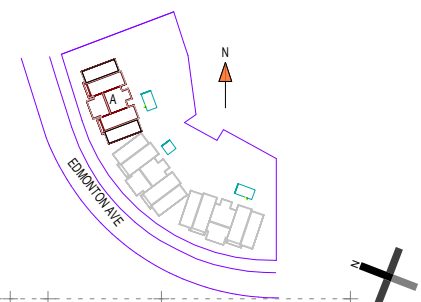
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
**PROPOSED BLOCK A SECOND FLOOR
CONSTRUCTION PLAN**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

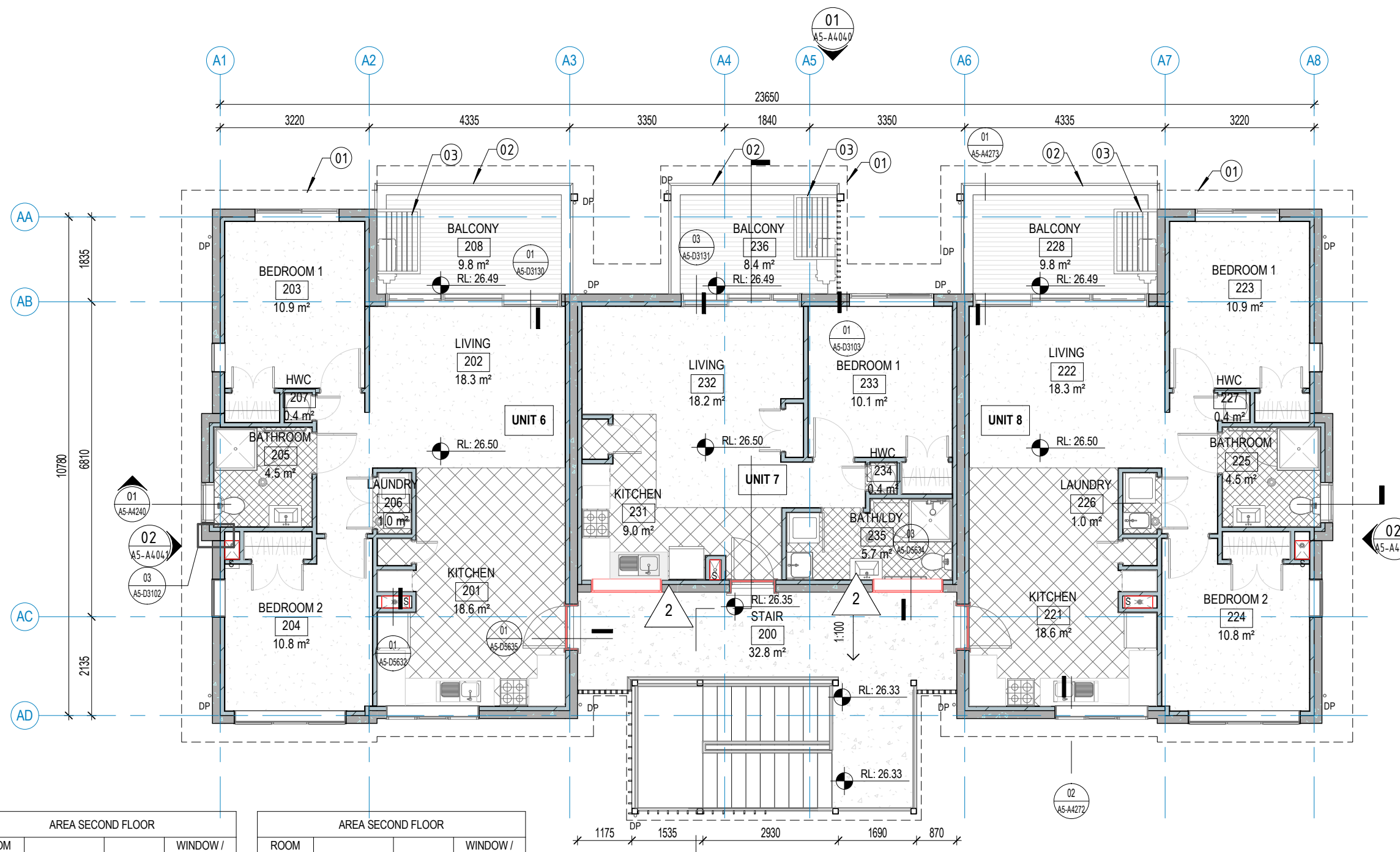
SHEET SCALE
1 : 100

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-A3042

REVISION
2



AREA SECOND FLOOR			
ROOM NUMBER	NAME	AREA	WINDOW / OPENING
200	STAIR	32.8 m ²	
201	KITCHEN	18.6 m ²	2.0m ² /1.33m ²
202	LIVING	18.3 m ²	8.36m ² /1.39m ²
203	BEDROOM 1	10.9 m ²	3.18m ² /2.4m ²
204	BEDROOM 2	10.8 m ²	4.72m ² /3.52m ²
205	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
206	LAUNDRY	1.0 m ²	
207	HWC	0.4 m ²	
208	BALCONY	9.8 m ²	
221	KITCHEN	18.6 m ²	2.0m ² /1.33m ²
222	LIVING	18.3 m ²	8.36m ² /1.39m ²
223	BEDROOM 1	10.9 m ²	3.18m ² /2.4m ²

AREA SECOND FLOOR			
ROOM NUMBER	NAME	AREA	WINDOW / OPENING
224	BEDROOM 2	10.8 m ²	4.72m ² /3.52m ²
225	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
226	LAUNDRY	1.0 m ²	
227	HWC	0.4 m ²	
228	BALCONY	9.8 m ²	
231	KITCHEN	9.0 m ²	6.26m ² /2.86m ²
232	LIVING	18.2 m ²	6.26m ² /2.86m ²
233	BEDROOM 1	10.1 m ²	2.34m ² /1.30m ²
234	HWC	0.4 m ²	
235	BATH/LDY	5.7 m ²	0.54m ² /FAN
236	BALCONY	8.4 m ²	
500	REFUSE ROOM	8.2 m ²	

KEY NOTES & LEGEND

- (01) OUTLINE OF ROOF ABOVE SHOWN DASHED
- (02) CLOTHSLINE
- (30) HANDRAIL

SHEET NOTES

1. READ IN ACCORDANCE WITH FIREFORCE LIMITED FOR FIRE REQUIREMENTS.
2. READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING LTD FOR STRUCTURAL REQUIREMENTS.
3. VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
4. ALL STEPS (INCLUDING EXTERIOR) TO HAVE A HANDRAIL.
5. ALL COMMON SPACES TO HAVE MINIMUM LUMINANCE OF 20 LUX AT FINISHED FLOOR LEVEL.
6. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
7. ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT.
8. ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'.
9. INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
10. DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY.
11. CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
12. VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515.
13. ALL PENETRATIONS TO SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

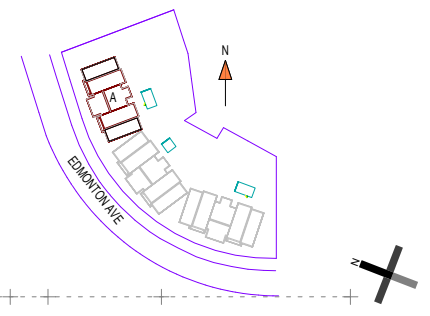
LEGEND

- PRECAST CONCRETE WALL PANELS
- FIRE RATED PRECAST WALL
- FULL HEIGHT STEEL FRAMED WALL
- PRECAST CONCRETE FLOOR
- SERVICE RISER ZONE
- ROOF OUTLINE
- SELECTED VINYL - WET AREA - POLYFLOOR
- SELECTED VINYL - DRY AREA - POLYFLOOR
- SELECTED CARPET - GODFREY HURST





CLIENT
DOMINION
 CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**
 PROJECT NUMBER
200003
 KEY PLAN

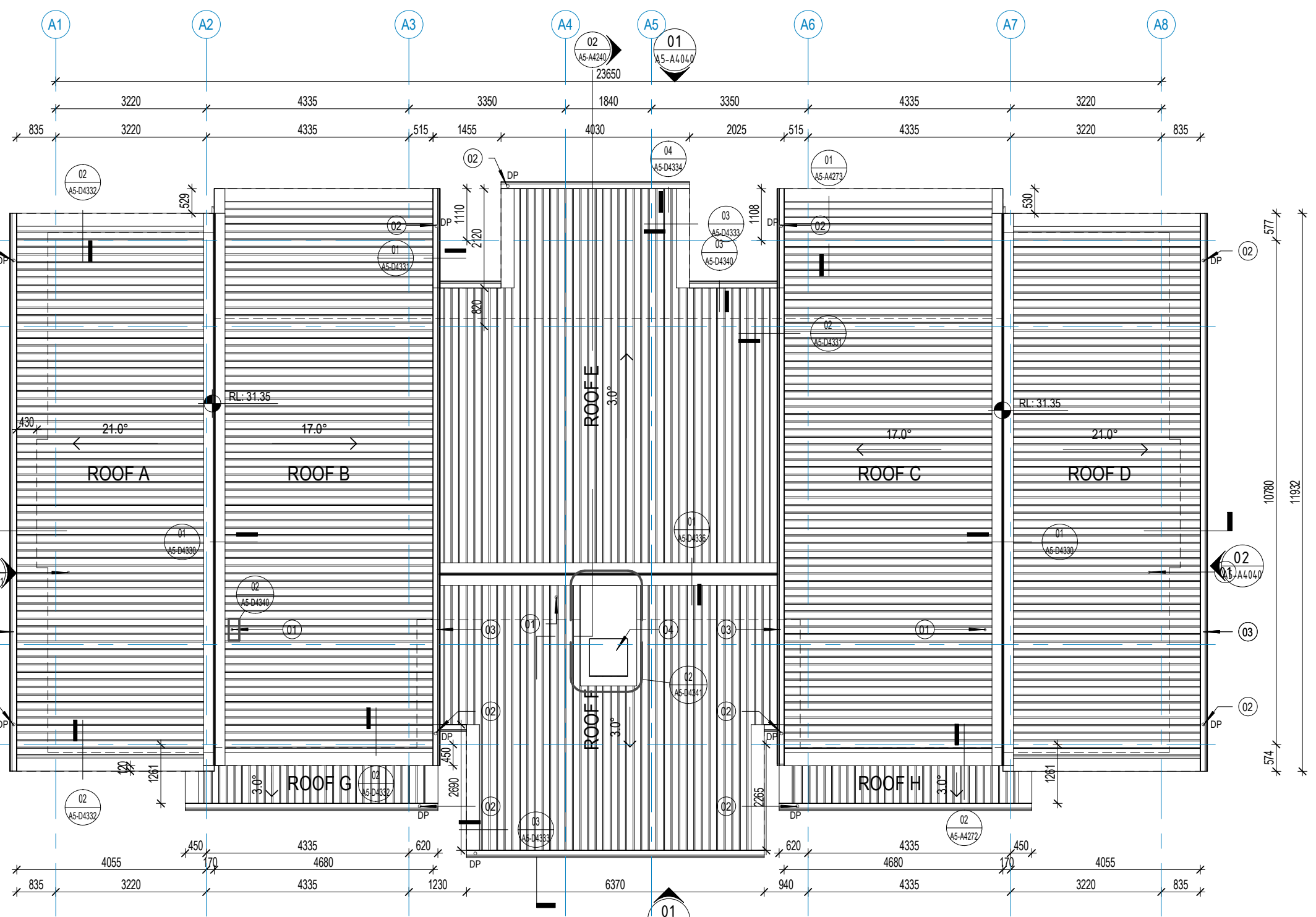


STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
**PROPOSED BLOCK A ROOF
 CONSTRUCTION PLAN**
 PROJECT STATUS
BC-CONSTRUCTION-STAGE3
 SHEET SCALE
1 : 100
 SHEET NUMBER
A5-A3043
 SHEET SIZE
A3=100%
 PRINT IN COLOUR
 REVISION
1



GUTTER CALCULATION -	ROOF A,D
SLOPING RAFTER LENGTH	4225 mm
LENGTH OF BUILDING	11932 mm
ROOF PITCH	21°
ROOF SLOPE AREA*	50.4 m²
CATCHMENT x SLOPE FACTOR	50.4 m² x 1.04 = 52.4 m²
Cross-sectional area per m² for rainfall 100mm/hr: External gutter or spouting=100mm²; Internal gutter=200mm²; Vertical external downpipe=50mm²; Horizontal downpipe=100mm².	
EXTERNAL GUTTER	52.4 m² x 100 = 5242.9 m²
* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.	

GUTTER CALCULATION -	ROOF B,C
SLOPING RAFTER LENGTH	4675 mm
LENGTH OF BUILDING	12342 mm
ROOF PITCH	21°
ROOF SLOPE AREA*	57.7 m²
CATCHMENT x SLOPE FACTOR	57.7 m² x 1.04 = 60.0 m²
Cross-sectional area per m² for rainfall 100mm/hr: External gutter or spouting=100mm²; Internal gutter=200mm²; Vertical external downpipe=50mm²; Horizontal downpipe=100mm².	
EXTERNAL GUTTER	60.0 m² x 100 = 6000.7 m²
* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.	

GUTTER CALCULATION -	ROOF E
SLOPING RAFTER LENGTH	8240 mm
LENGTH OF BUILDING	8200 mm
ROOF PITCH	3°
ROOF SLOPE AREA*	58.1 m²
CATCHMENT x SLOPE FACTOR	58.1 m² x 1.04 = 60.4 m²
Cross-sectional area per m² for rainfall 100mm/hr: External gutter or spouting=100mm²; Internal gutter=200mm²; Vertical external downpipe=50mm²; Horizontal downpipe=100mm².	
EXTERNAL GUTTER	60.4 m² x 100 = 6041.6 m²
* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.	

GUTTER CALCULATION -	ROOF F
SLOPING RAFTER LENGTH	5910 mm
LENGTH OF BUILDING	8200 mm
ROOF PITCH	3°
ROOF SLOPE AREA*	43.5 m²
CATCHMENT x SLOPE FACTOR	43.5 m² x 1.04 = 45.3 m²
Cross-sectional area per m² for rainfall 100mm/hr: External gutter or spouting=100mm²; Internal gutter=200mm²; Vertical external downpipe=50mm²; Horizontal downpipe=100mm².	
EXTERNAL GUTTER	45.3 m² x 100 = 4528.1 m²
* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.	

KEY NOTES & LEGEND

- 01 VENT
- 02 63Ø MIN DOWNPIPE
- 03 135MM QUATER ROUND GUTTER
- 04 ROOF ACCESS HATCH WITH FLASHING

SHEET NOTES

1. REFER TO CONSTRUCTION NOTES, SHEET A0091
2. ALL TIMBER TREATMENT TO COMPLY WITH NZS 3602, 3604 AND E2/AS1, REFER TO SHEET A0090
3. GUTTER FALLS TO COMPLY WITH E1.
4. FOR ROOF ANCHOR LAYOUT REFER TO TOTAL HEIGHT SAFETY DOCUMENTATION. ANCHORS TO ALIGN WITH STRUCTURE. REFER STRUCTURAL ENGINEERS DRAWINGS.
5. MIN. GUTTER CROSS DECTIONAL AREA TO BE 6100MM².

LEGEND

- ROOFING INDUSTRIES TRIM RIB COLORSTEEL ENDURA ROOF
- FLASHINGS
- GUTTER - REFER NOTE 3.
- PRECAST PANEL OUTLINE BELOW

Table 5: Downpipe Sizes for Given Roof Pitch and Area
 Paragraph 4.2.1

Downpipe size (mm) (minimum internal sizes)	Roof pitch			
	0-25°	25-35°	35-45°	45-55°
Plan area of roof served by the downpipe (m²)				
63 mm diameter	60	50	40	35
74 mm diameter	85	70	60	50
100 mm diameter	155	130	110	90
150 mm diameter	350	290	250	200
65 x 50 rectangular	60	50	40	35
100 x 50 rectangular	100	80	70	60
75 x 75 rectangular	110	90	80	65
100 x 75 rectangular	150	120	105	90



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

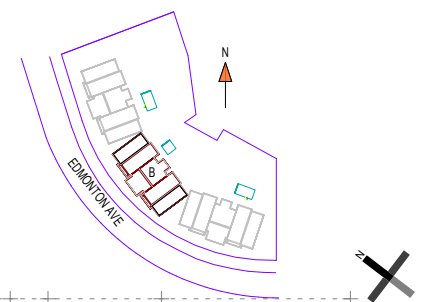
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
**PROPOSED BLOCK B GROUND FLOOR
CONSTRUCTION PLAN**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

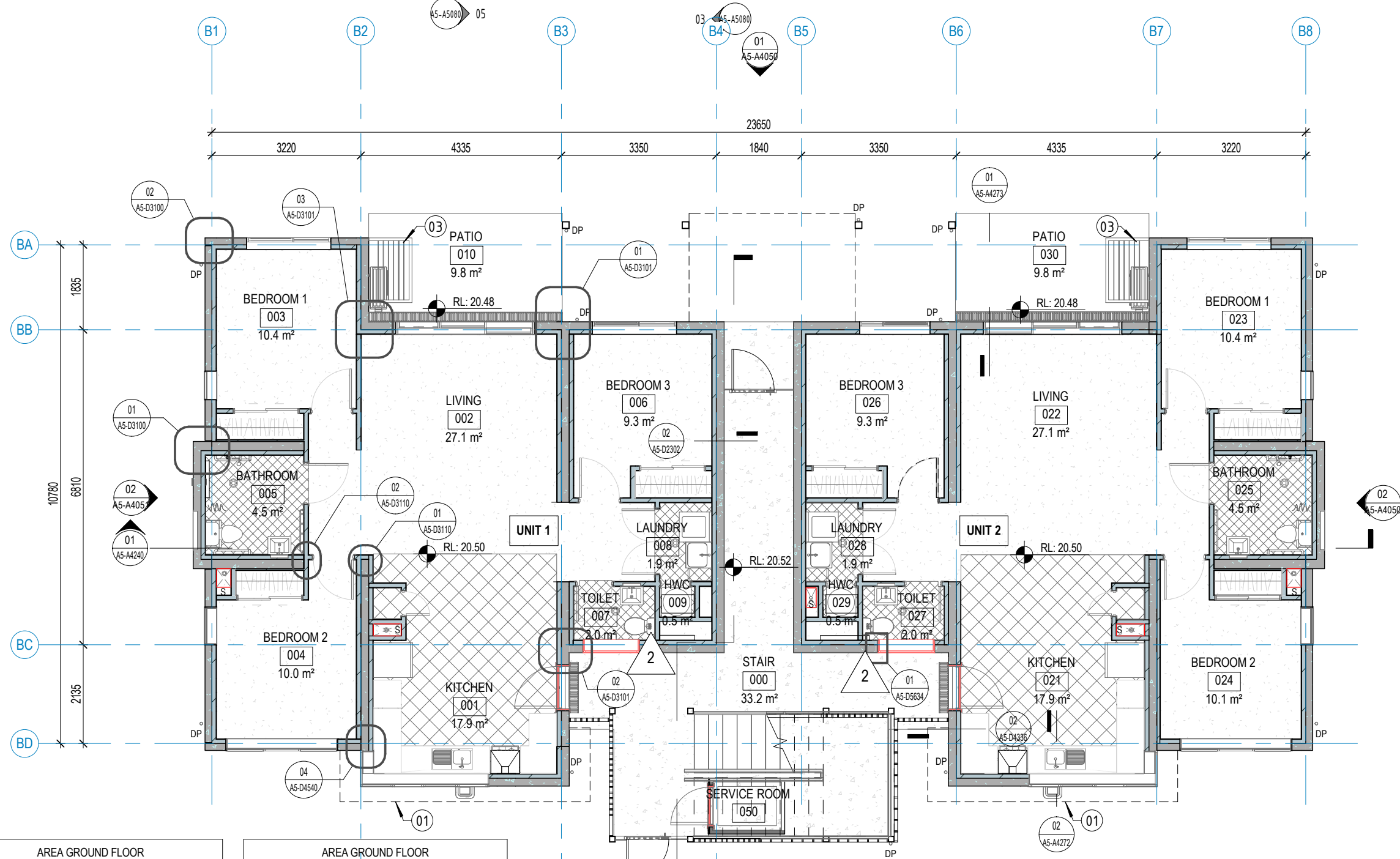
SHEET SCALE
1 : 100

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-A3050

REVISION
2



AREA GROUND FLOOR			
ROOM NUMBER	NAME	AREA	WINDOW / OPENING
000	STAIR	33.2 m ²	
001	KITCHEN	17.9 m ²	3.5m ² /1.4m ²
002	LIVING	27.1 m ²	8.36m ² /1.39m ²
003	BEDROOM 1	10.4 m ²	3.18m ² /2.4m ²
004	BEDROOM 2	10.0 m ²	4.72m ² /3.52m ²
005	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
006	BEDROOM 3	9.3 m ²	1.95m ² /1.3m ²
007	TOILET	2.0 m ²	
008	LAUNDRY	1.9 m ²	
009	HWC	0.5 m ²	
010	PATIO	9.8 m ²	
021	KITCHEN	17.9 m ²	3.5m ² /1.4m ²

AREA GROUND FLOOR			
ROOM NUMBER	NAME	AREA	WINDOW / OPENING
022	LIVING	27.1 m ²	8.36m ² /1.39m ²
023	BEDROOM 1	10.4 m ²	3.18m ² /2.4m ²
024	BEDROOM 2	10.1 m ²	4.72m ² /3.52m ²
025	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
026	BEDROOM 3	9.3 m ²	1.95m ² /1.3m ²
027	TOILET	2.0 m ²	
028	LAUNDRY	1.9 m ²	
029	HWC	0.5 m ²	
030	PATIO	9.8 m ²	
050	SERVICE ROOM	2.0 m ²	

KEY NOTES & LEGEND

- (01) OUTLINE OF ROOF ABOVE SHOWN DASHED
- (02) CLOTHSLINE
- (30) HANDRAIL

SHEET NOTES

1. READ IN ACCORDANCE WITH FIREFORCE LIMITED FOR FIRE REQUIREMENTS.
2. READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING LTD FOR STRUCTURAL REQUIREMENTS.
3. VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
4. ALL STEPS (INCLUDING EXTERIOR) TO HAVE A HANDRAIL.
5. ALL COMMON SPACES TO HAVE MINIMUM LUMINANCE OF 20 LUX AT FINISHED FLOOR LEVEL.
6. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
7. ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT.
8. ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/A1 TABLE 20 'MATERIAL SELECTION'.
9. INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
10. DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY.
11. CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
12. VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL@ 4515.
13. ALL PENETRATIONS TO SEALED BY ACOUSTIC SEALANT FIREPRO@ M707.

LEGEND

- PRECAST CONCRETE WALL PANELS
- FIRE RATED PRECAST WALL
- FULL HEIGHT STEEL FRAMED WALL
- PRECAST CONCRETE FLOOR
- SERVICE RISER ZONE
- ROOF OUTLINE

- SELECTED VINYL - WET AREA - POLYFLOOR
- SELECTED VINYL - DRY AREA - POLYFLOOR
- SELECTED CARPET - GODFREY HURST



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

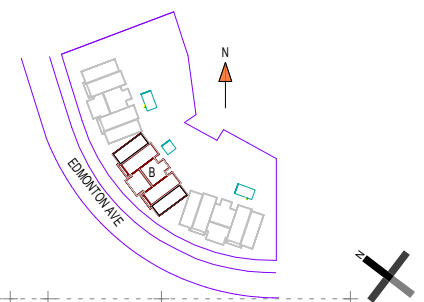
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED BLOCK B FIRST FLOOR
CONSTRUCTION PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR

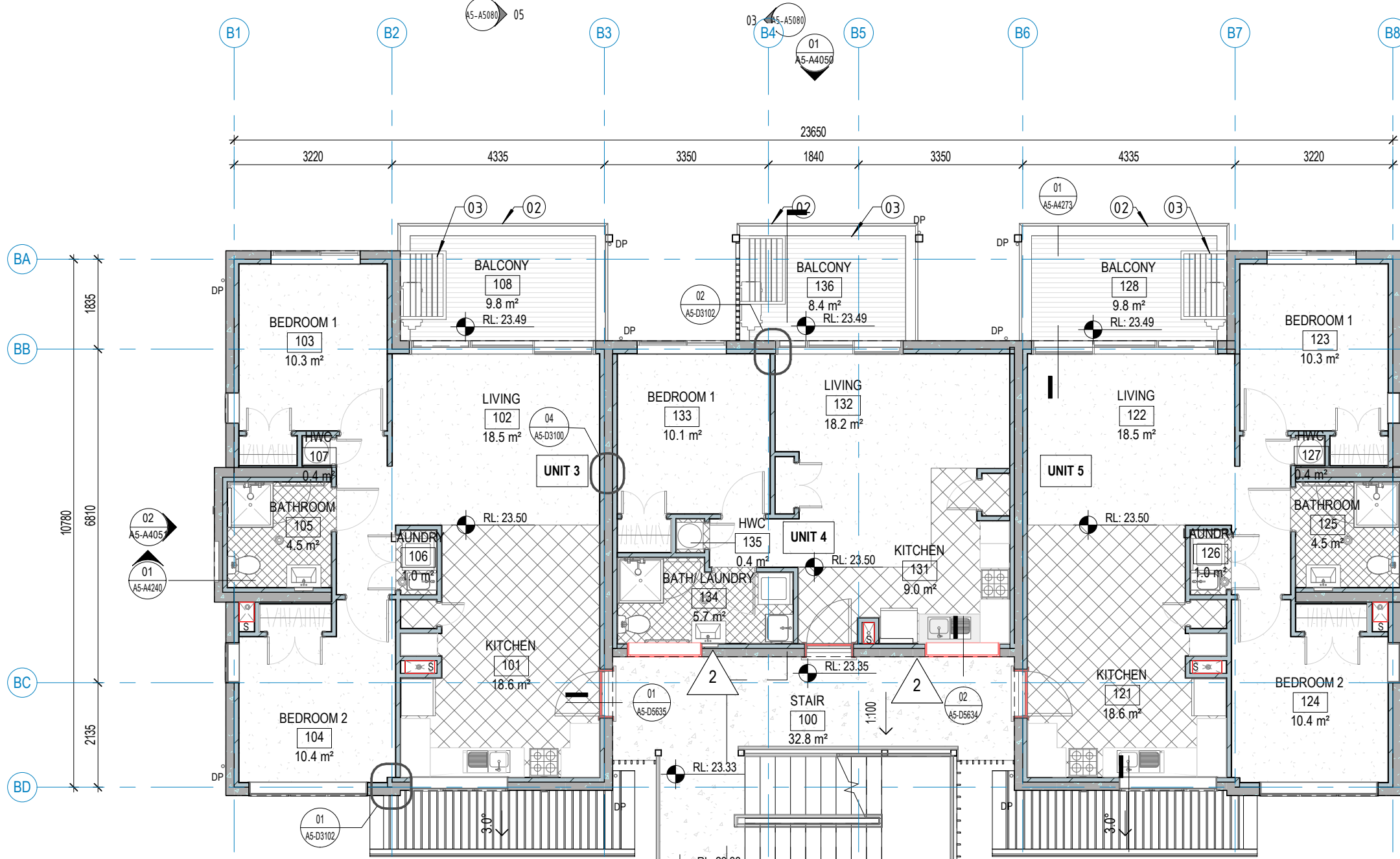


SHEET NUMBER

A5-A3051

REVISION

2



AREA FIRST FLOOR			
ROOM NUMBER	NAME	AREA	WINDOW / OPENING
100	STAIR	32.8 m ²	
101	KITCHEN	18.6 m ²	2.0m ² /1.33m ²
102	LIVING	18.5 m ²	8.36m ² /1.39m ²
103	BEDROOM 1	10.3 m ²	3.18m ² /2.4m ²
104	BEDROOM 2	10.4 m ²	4.72m ² /3.52m ²
105	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
106	LAUNDRY	1.0 m ²	
107	HWC	0.4 m ²	
108	BALCONY	9.8 m ²	
121	KITCHEN	18.6 m ²	2.0m ² /1.33m ²
122	LIVING	18.5 m ²	8.36m ² /1.39m ²
123	ROOM NAME	Not Placed	

AREA FIRST FLOOR			
ROOM NUMBER	NAME	AREA	WINDOW / OPENING
123	BEDROOM 1	10.3 m ²	3.18m ² /2.4m ²
124	BEDROOM 2	10.4 m ²	4.72m ² /3.52m ²
125	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
126	LAUNDRY	1.0 m ²	
127	HWC	0.4 m ²	
128	BALCONY	9.8 m ²	
131	KITCHEN	9.0 m ²	6.26m ² /2.86m ²
132	LIVING	18.2 m ²	6.26m ² /2.86m ²
133	BEDROOM 1	10.1 m ²	2.34m ² /1.30m ²
134	HWC	0.4 m ²	
135	BATH/LDY	5.7 m ²	0.54m ² /FAN
136	BALCONY	8.4 m ²	

KEY NOTES & LEGEND

- (01) OUTLINE OF ROOF ABOVE SHOWN DASHED
- (02) CLOTHSLINE
- (30) HANDRAIL

SHEET NOTES

1. READ IN ACCORDANCE WITH FIREFORCE LIMITED FOR FIRE REQUIREMENTS.
2. READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING LTD FOR STRUCTURAL REQUIREMENTS.
3. VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
4. ALL STEPS (INCLUDING EXTERIOR) TO HAVE A HANDRAIL.
5. ALL COMMON SPACES TO HAVE MINIMUM LUMINANCE OF 20 LUX AT FINISHED FLOOR LEVEL.
6. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
7. ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT.
8. ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/A51 TABLE 20 'MATERIAL SELECTION'.
9. INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
10. DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY.
11. CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
12. VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515.
13. ALL PENETRATIONS TO SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

- PRECAST CONCRETE WALL PANELS
- FIRE RATED PRECAST WALL
- FULL HEIGHT STEEL FRAMED WALL
- PRECAST CONCRETE FLOOR
- SERVICE RISER ZONE
- ROOF OUTLINE
- SELECTED VINYL - WET AREA - POLYFLOOR
- SELECTED VINYL - DRY AREA - POLYFLOOR
- SELECTED CARPET - GODFREY HURST

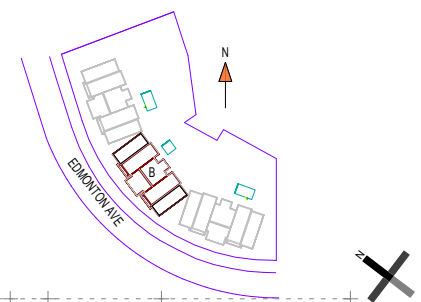




CLIENT
DOMINION
 CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER
200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
**PROPOSED BLOCK B SECOND FLOOR
 CONSTRUCTION PLAN**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

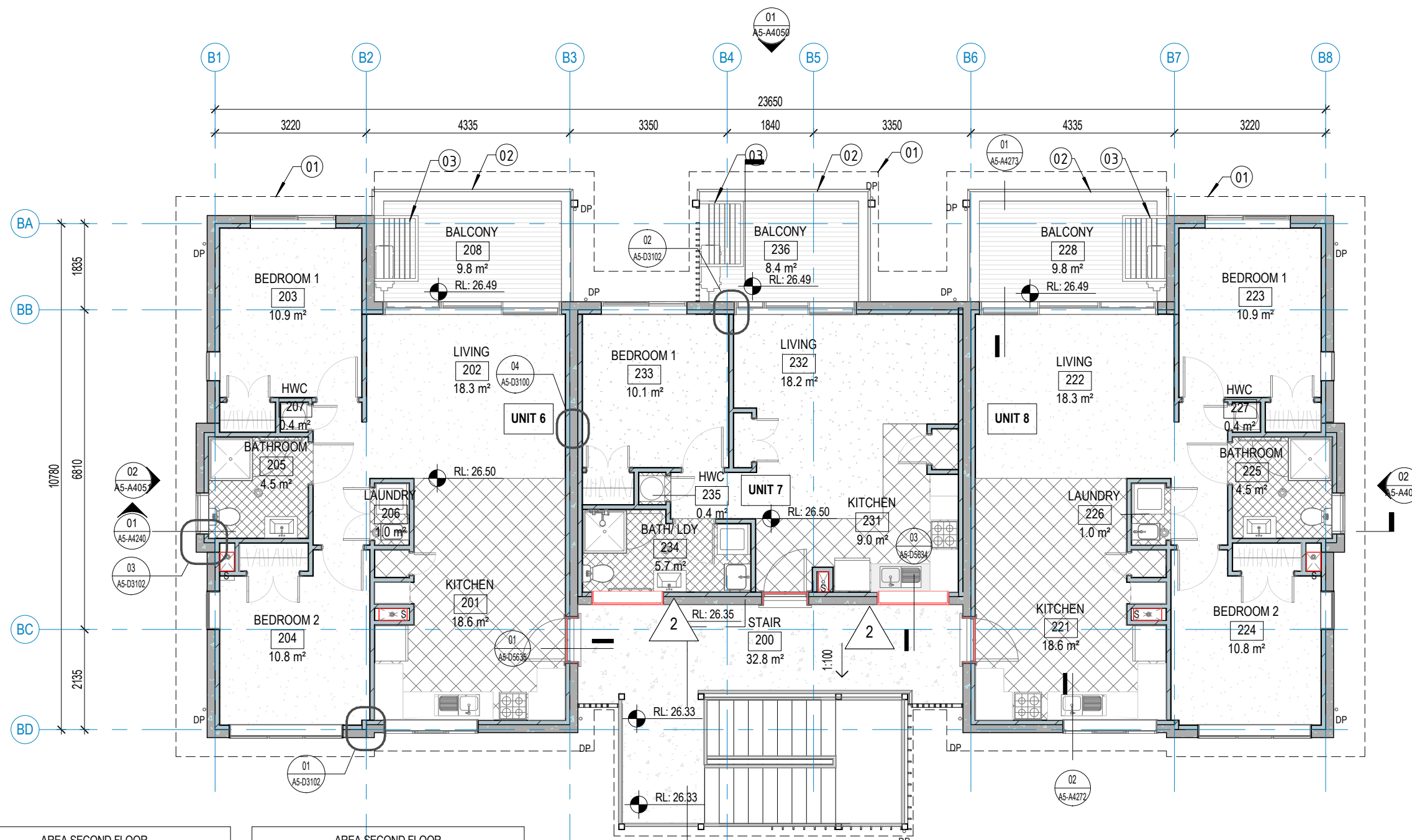
SHEET SCALE
1 : 100

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-A3052

REVISION
2



AREA SECOND FLOOR

ROOM NUMBER	NAME	AREA	WINDOW / OPENING
200	STAIR	32.8 m ²	
201	KITCHEN	18.6 m ²	2.0m ² /1.33m ²
202	LIVING	18.3 m ²	8.36m ² /1.39m ²
203	BEDROOM 1	10.9 m ²	3.18m ² /2.4m ²
204	BEDROOM 2	10.8 m ²	4.72m ² /3.52m ²
205	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
206	LAUNDRY	1.0 m ²	
207	HWC	0.4 m ²	
208	BALCONY	9.8 m ²	
221	KITCHEN	18.6 m ²	2.0m ² /1.33m ²
222	LIVING	18.3 m ²	8.36m ² /1.39m ²
223	BEDROOM 1	10.9 m ²	3.18m ² /2.4m ²

AREA SECOND FLOOR

ROOM NUMBER	NAME	AREA	WINDOW / OPENING
224	BEDROOM 2	10.8 m ²	4.72m ² /3.52m ²
225	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
226	LAUNDRY	1.0 m ²	
227	HWC	0.4 m ²	
228	BALCONY	9.8 m ²	
231	KITCHEN	9.0 m ²	6.26m ² /2.86m ²
232	LIVING	18.2 m ²	6.26m ² /2.86m ²
233	BEDROOM 1	10.1 m ²	2.34m ² /1.30m ²
234	HWC	0.4 m ²	
235	BATH/LDY	5.7 m ²	0.54m ² /FAN
236	BALCONY	8.4 m ²	
500	REFUSE ROOM	8.2 m ²	

KEY NOTES & LEGEND

- ① OUTLINE OF ROOF ABOVE SHOWN DASHED
- ② CLOTHSLINE
- ③ HANDRAIL

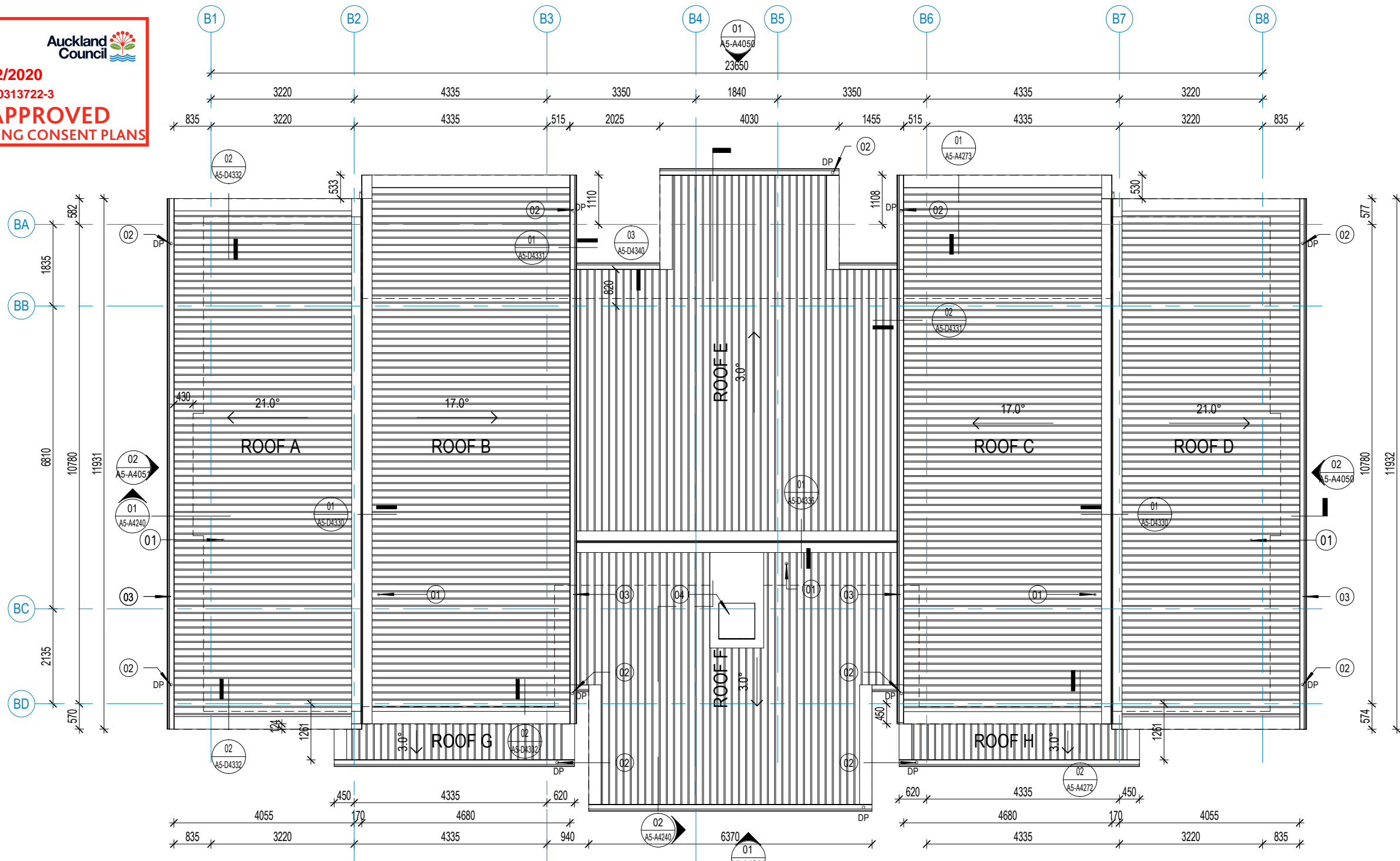
SHEET NOTES

1. READ IN ACCORDANCE WITH FIREFORCE LIMITED FOR FIRE REQUIREMENTS.
2. READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING LTD FOR STRUCTURAL REQUIREMENTS.
3. VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
4. ALL STEPS (INCLUDING EXTERIOR) TO HAVE A HANDRAIL.
5. ALL COMMON SPACES TO HAVE MINIMUM LUMINANCE OF 20 LUX AT FINISHED FLOOR LEVEL.
6. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
7. ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT.
8. ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/A1 TABLE 20 'MATERIAL SELECTION'.
9. INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
10. DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY.
11. CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
12. VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515.
13. ALL PENETRATIONS TO SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

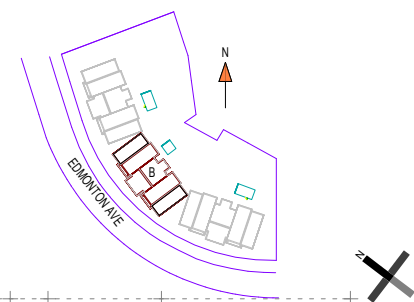
LEGEND

- PRECAST CONCRETE WALL PANELS
- FIRE RATED PRECAST WALL
- FULL HEIGHT STEEL FRAMED WALL
- PRECAST CONCRETE FLOOR
- SERVICE RISER ZONE
- ROOF OUTLINE
- SELECTED VINYL - WET AREA - POLYFLOOR
- SELECTED VINYL - DRY AREA - POLYFLOOR
- SELECTED CARPET - GODFREY HURST





CLIENT
DOMINION CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061
 PROJECT NUMBER
200003
 KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

GUTTER CALCULATION - ROOF A,D	
SLOPING RAFTER LENGTH	4225 mm
LENGTH OF BUILDING	11932 mm
ROOF PITCH	21°
ROOF SLOPE AREA*	50.4 m ²
CATCHMENT x SLOPE FACTOR	50.4 m ² x 1.04 = 52.4 m ²
Cross-sectional area per m ² for rainfall 100mm/hr: External gutter or spouting=100mm ² ; Internal gutter=200mm ² ; Vertical external downpipe=50mm ² ; Horizontal downpipe=100mm ² .	
EXTERNAL GUTTER	52.4 m ² x 100 = 5242.9 m ²
* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.	

GUTTER CALCULATION - ROOF B,C	
SLOPING RAFTER LENGTH	4675 mm
LENGTH OF BUILDING	12342 mm
ROOF PITCH	21°
ROOF SLOPE AREA*	57.7 m ²
CATCHMENT x SLOPE FACTOR	57.7 m ² x 1.04 = 60.0 m ²
Cross-sectional area per m ² for rainfall 100mm/hr: External gutter or spouting=100mm ² ; Internal gutter=200mm ² ; Vertical external downpipe=50mm ² ; Horizontal downpipe=100mm ² .	
EXTERNAL GUTTER	60.0 m ² x 100 = 6000.7 m ²
* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.	

GUTTER CALCULATION - ROOF E	
SLOPING RAFTER LENGTH	8240 mm
LENGTH OF BUILDING	8200 mm
ROOF PITCH	3°
ROOF SLOPE AREA*	58.1 m ²
CATCHMENT x SLOPE FACTOR	58.1 m ² x 1.04 = 60.4 m ²
Cross-sectional area per m ² for rainfall 100mm/hr: External gutter or spouting=100mm ² ; Internal gutter=200mm ² ; Vertical external downpipe=50mm ² ; Horizontal downpipe=100mm ² .	
EXTERNAL GUTTER	60.4 m ² x 100 = 6041.6 m ²
* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.	

GUTTER CALCULATION - ROOF F	
SLOPING RAFTER LENGTH	5910 mm
LENGTH OF BUILDING	8200 mm
ROOF PITCH	3°
ROOF SLOPE AREA*	43.5 m ²
CATCHMENT x SLOPE FACTOR	43.5 m ² x 1.04 = 45.3 m ²
Cross-sectional area per m ² for rainfall 100mm/hr: External gutter or spouting=100mm ² ; Internal gutter=200mm ² ; Vertical external downpipe=50mm ² ; Horizontal downpipe=100mm ² .	
EXTERNAL GUTTER	45.3 m ² x 100 = 4528.1 m ²
* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.	

KEY NOTES & LEGEND

- 01 VENT
- 02 63Ø MIN DOWNPIPE
- 03 135MM QUATER ROUND GUTTER
- 04 ROOF ACCESS HATCH WITH FLASHING

SHEET NOTES

1. REFER TO CONSTRUCTION NOTES, SHEET A0091
2. ALL TIMBER TREATMENT TO COMPLY WITH NZS 3602, 3604 AND E2/AS1, REFER TO SHEET A0090
3. GUTTER FALLS TO COMPLY WITH E1.
4. FOR ROOF ANCHOR LAYOUT REFER TO TOTAL HEIGHT SAFETY DOCUMENTATION. ANCHORS TO ALIGN WITH STRUCTURE. REFER STRUCTURAL ENGINEERS DRAWINGS.
5. MIN. GUTTER CROSS DECTIONAL AREA TO BE 6100MM².

LEGEND

- [Hatched Box] ROOFING INDUSTRIES TRIM RIB COLORSTEEL ENDURA ROOF
- [Solid Box] FLASHINGS
- [Dashed Line] GUTTER - REFER NOTE 3.
- [Dashed Line] PRECAST PANEL OUTLINE BELOW

Table 5: Downpipe Sizes for Given Roof Pitch and Area
 Paragraph 4.2.1

Downpipe size (mm) (minimum internal sizes)	Roof pitch			
	0-25°	25-35°	35-45°	45-55°
Plan area of roof served by the downpipe (m²)				
63 mm diameter	60	50	40	35
74 mm diameter	85	70	60	50
100 mm diameter	155	130	110	90
150 mm diameter	350	290	250	200
65 x 50 rectangular	60	50	40	35
100 x 50 rectangular	100	80	70	60
75 x 75 rectangular	110	90	80	65
100 x 75 rectangular	150	120	105	90

THE FINE PRINT
 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
PROPOSED BLOCK B ROOF CONSTRUCTION PLAN

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

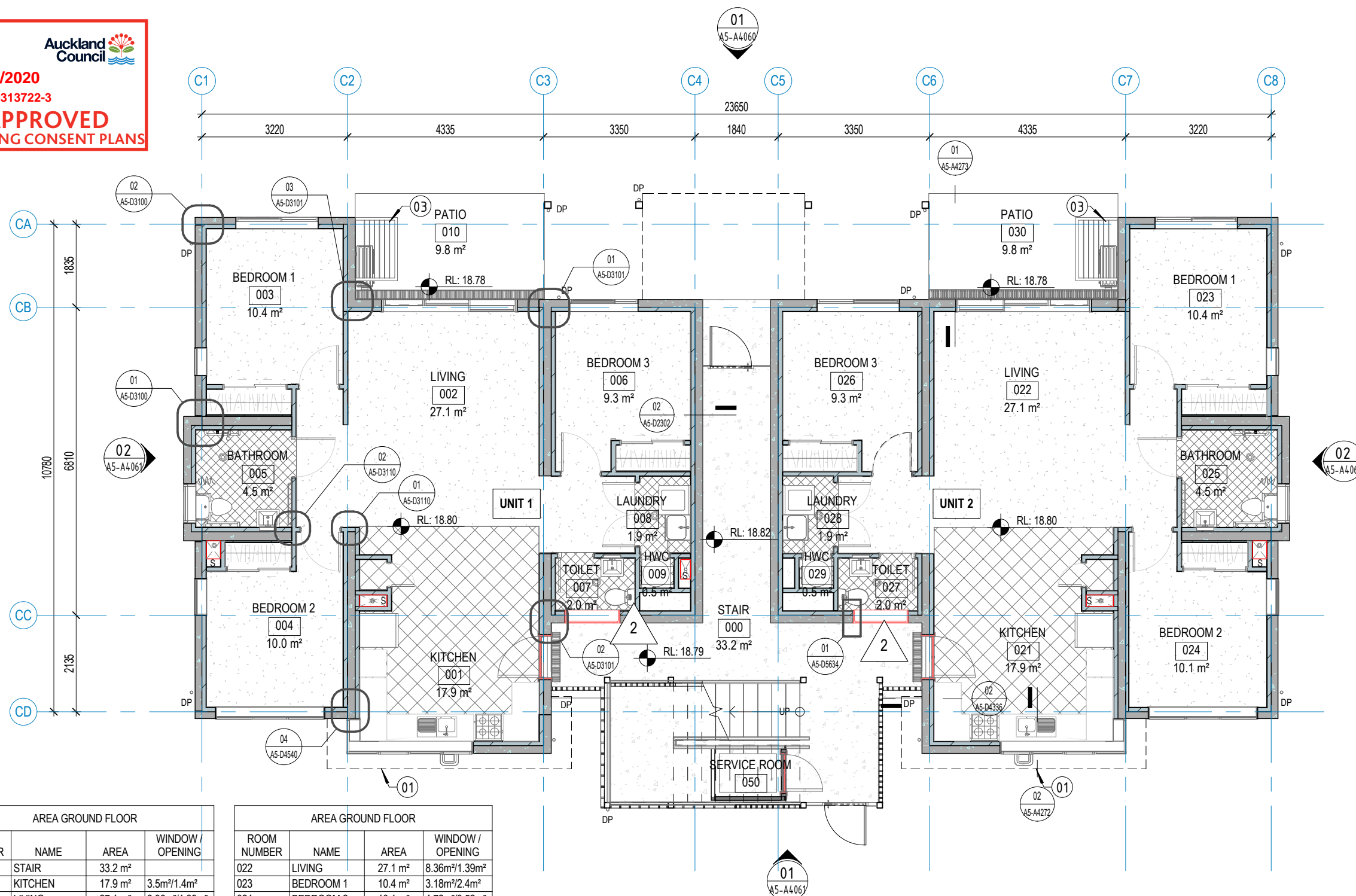
SHEET SCALE
1 : 100

SHEET NUMBER
A5-A3053

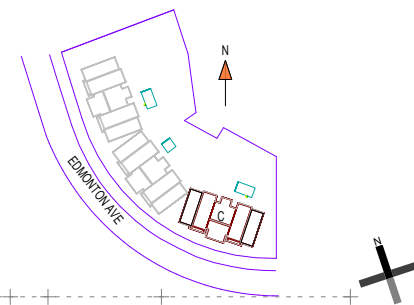




Auckland Council
 18/12/2020
 BCO10313722-3
APPROVED BUILDING CONSENT PLANS



CLIENT
DOMINION CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061
 PROJECT NUMBER
200003
 KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
PROPOSED BLOCK C GROUND FLOOR CONSTRUCTION PLAN

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1 : 100

SHEET NUMBER
A5-A3060



ROOM NUMBER	NAME	AREA	WINDOW / OPENING
000	STAIR	33.2 m ²	
001	KITCHEN	17.9 m ²	3.5m ² /1.4m ²
002	LIVING	27.1 m ²	8.36m ² /1.39m ²
003	BEDROOM 1	10.4 m ²	3.18m ² /2.4m ²
004	BEDROOM 2	10.0 m ²	4.72m ² /3.52m ²
005	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
006	BEDROOM 3	9.3 m ²	1.95m ² /1.3m ²
007	TOILET	2.0 m ²	
008	LAUNDRY	1.9 m ²	
009	HWC	0.5 m ²	
010	PATIO	9.8 m ²	
021	KITCHEN	17.9 m ²	3.5m ² /1.4m ²

ROOM NUMBER	NAME	AREA	WINDOW / OPENING
022	LIVING	27.1 m ²	8.36m ² /1.39m ²
023	BEDROOM 1	10.4 m ²	3.18m ² /2.4m ²
024	BEDROOM 2	10.1 m ²	4.72m ² /3.52m ²
025	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
026	BEDROOM 3	9.3 m ²	1.95m ² /1.3m ²
027	TOILET	2.0 m ²	
028	LAUNDRY	1.9 m ²	
029	HWC	0.5 m ²	
030	PATIO	9.8 m ²	
050	SERVICE ROOM	2.0 m ²	

KEY NOTES & LEGEND

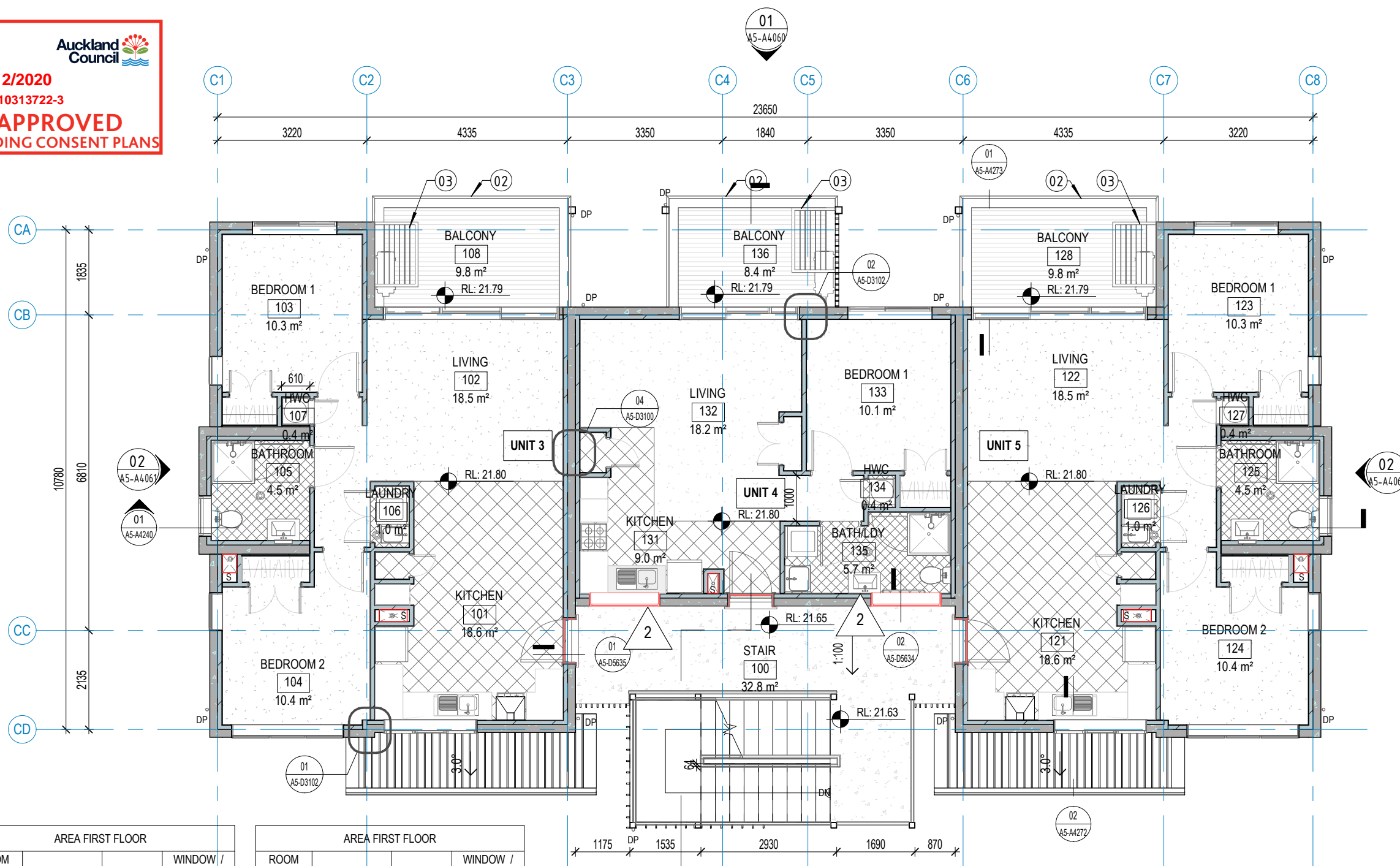
- ① OUTLINE OF ROOF ABOVE SHOWN DASHED
- ② CLOTHSLINE
- ③ HANDRAIL

SHEET NOTES

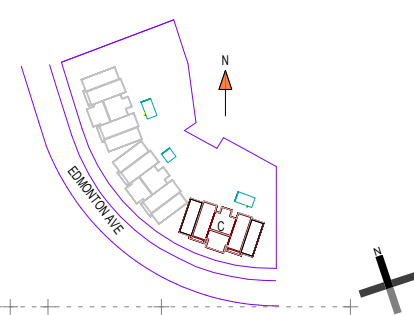
1. READ IN ACCORDANCE WITH FIREFORCE LIMITED FOR FIRE REQUIREMENTS.
2. READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING LTD FOR STRUCTURAL REQUIREMENTS.
3. VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
4. ALL STEPS (INCLUDING EXTERIOR) TO HAVE A HANDRAIL.
5. ALL COMMON SPACES TO HAVE MINIMUM LUMINANCE OF 20 LUX AT FINISHED FLOOR LEVEL.
6. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
7. ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT.
8. ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/A1 TABLE 20 'MATERIAL SELECTION'.
9. INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
10. DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY.
11. CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
12. VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515.
13. ALL PENETRATIONS TO SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

- PRECAST CONCRETE WALL PANELS
- FIRE RATED PRECAST WALL
- FULL HEIGHT STEEL FRAMED WALL
- PRECAST CONCRETE FLOOR
- SERVICE RISER ZONE
- ROOF OUTLINE
- SELECTED VINYL - WET AREA - POLYFLOOR
- SELECTED VINYL - DRY AREA - POLYFLOOR
- SELECTED CARPET - GODFREY HURST



CLIENT
DOMINION CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061
 PROJECT NUMBER
200003
 KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

AREA FIRST FLOOR			
ROOM NUMBER	NAME	AREA	WINDOW / OPENING
100	STAIR	32.8 m ²	
101	KITCHEN	18.6 m ²	2.0m ² /1.33m ²
102	LIVING	18.5 m ²	8.36m ² /1.39m ²
103	BEDROOM 1	10.3 m ²	3.18m ² /2.4m ²
104	BEDROOM 2	10.4 m ²	4.72m ² /3.52m ²
105	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
106	LAUNDRY	1.0 m ²	
107	HWC	0.4 m ²	
108	BALCONY	9.8 m ²	
121	KITCHEN	18.6 m ²	2.0m ² /1.33m ²
122	LIVING	18.5 m ²	8.36m ² /1.39m ²
123	ROOM NAME	Not Placed	

AREA FIRST FLOOR			
ROOM NUMBER	NAME	AREA	WINDOW / OPENING
123	BEDROOM 1	10.3 m ²	3.18m ² /2.4m ²
124	BEDROOM 2	10.4 m ²	4.72m ² /3.52m ²
125	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
126	LAUNDRY	1.0 m ²	
127	HWC	0.4 m ²	
128	BALCONY	9.8 m ²	
131	KITCHEN	9.0 m ²	6.26m ² /2.86m ²
132	LIVING	18.2 m ²	6.26m ² /2.86m ²
133	BEDROOM 1	10.1 m ²	2.34m ² /1.30m ²
134	HWC	0.4 m ²	
135	BATH/LDY	5.7 m ²	0.54m ² /FAN
136	BALCONY	8.4 m ²	

KEY NOTES & LEGEND

- ① OUTLINE OF ROOF ABOVE SHOWN DASHED
- ② CLOTHSLINE
- ③ HANDRAIL

SHEET NOTES

1. READ IN ACCORDANCE WITH FIREFORCE LIMITED FOR FIRE REQUIREMENTS.
2. READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING LTD FOR STRUCTURAL REQUIREMENTS.
3. VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
4. ALL STEPS (INCLUDING EXTERIOR) TO HAVE A HANDRAIL.
5. ALL COMMON SPACES TO HAVE MINIMUM LUMINANCE OF 20 LUX AT FINISHED FLOOR LEVEL.
6. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
7. ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT.
8. ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/A1 TABLE 20 'MATERIAL SELECTION'.
9. INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
10. DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY.
11. CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
12. VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515.
13. ALL PENETRATIONS TO SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

- PRECAST CONCRETE WALL PANELS
- FIRE RATED PRECAST WALL
- FULL HEIGHT STEEL FRAMED WALL
- PRECAST CONCRETE FLOOR
- SERVICE RISER ZONE
- ROOF OUTLINE
- SELECTED VINYL - WET AREA - POLYFLOOR
- SELECTED VINYL - DRY AREA - POLYFLOOR
- SELECTED CARPET - GODFREY HURST

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
PROPOSED BLOCK C FIRST FLOOR CONSTRUCTION PLAN

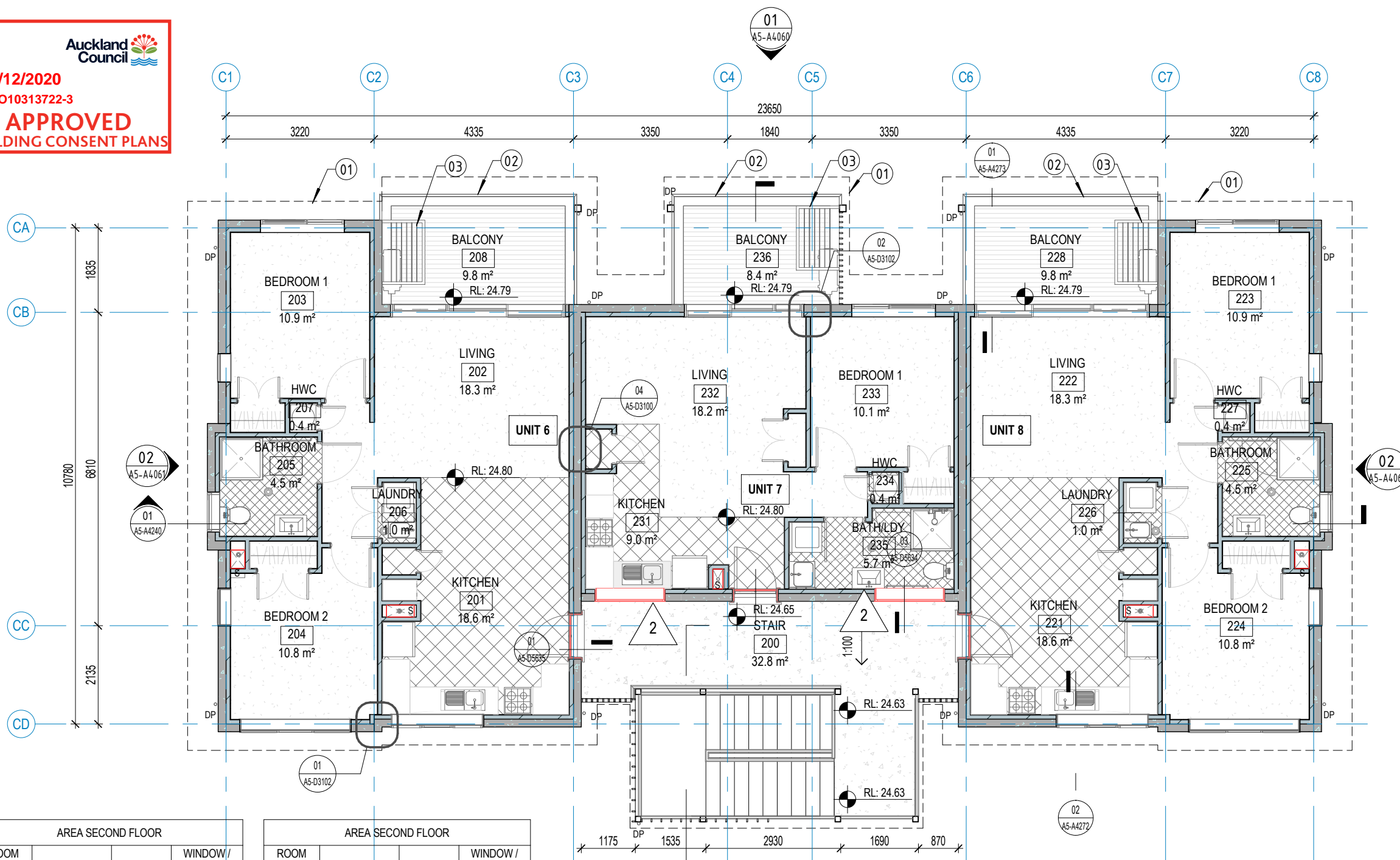
PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1 : 100

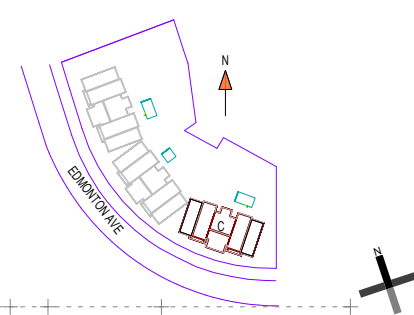
SHEET NUMBER
A5-A3061

SHEET SIZE
A3=100%

PRINT IN COLOUR
 REVISION
2



CLIENT
DOMINION CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061
 PROJECT NUMBER
200003
 KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

AREA SECOND FLOOR			
ROOM NUMBER	NAME	AREA	WINDOW / OPENING
200	STAIR	32.8 m ²	
201	KITCHEN	18.6 m ²	2.0m ² /1.33m ²
202	LIVING	18.3 m ²	8.36m ² /1.39m ²
203	BEDROOM 1	10.9 m ²	3.18m ² /2.4m ²
204	BEDROOM 2	10.8 m ²	4.72m ² /3.52m ²
205	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
206	LAUNDRY	1.0 m ²	
207	HWC	0.4 m ²	
208	BALCONY	9.8 m ²	
221	KITCHEN	18.6 m ²	2.0m ² /1.33m ²
222	LIVING	18.3 m ²	8.36m ² /1.39m ²
223	BEDROOM 1	10.9 m ²	3.18m ² /2.4m ²

AREA SECOND FLOOR			
ROOM NUMBER	NAME	AREA	WINDOW / OPENING
224	BEDROOM 2	10.8 m ²	4.72m ² /3.52m ²
225	BATHROOM	4.5 m ²	0.51m ² /0.51m ²
226	LAUNDRY	1.0 m ²	
227	HWC	0.4 m ²	
228	BALCONY	9.8 m ²	
231	KITCHEN	9.0 m ²	6.26m ² /2.86m ²
232	LIVING	18.2 m ²	6.26m ² /2.86m ²
233	BEDROOM 1	10.1 m ²	2.34m ² /1.30m ²
234	HWC	0.4 m ²	
235	BATH/LDY	5.7 m ²	0.54m ² /FAN
236	BALCONY	8.4 m ²	
500	REFUSE ROOM	8.2 m ²	

KEY NOTES & LEGEND

- ① OUTLINE OF ROOF ABOVE SHOWN DASHED
- ② CLOTHSLINE
- ③ HANDRAIL

SHEET NOTES

1. READ IN ACCORDANCE WITH FIREFORCE LIMITED FOR FIRE REQUIREMENTS.
2. READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING LTD FOR STRUCTURAL REQUIREMENTS.
3. VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
4. ALL STEPS (INCLUDING EXTERIOR) TO HAVE A HANDRAIL.
5. ALL COMMON SPACES TO HAVE MINIMUM LUMINANCE OF 20 LUX AT FINISHED FLOOR LEVEL.
6. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
7. ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT.
8. ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/A1 TABLE 20 'MATERIAL SELECTION'.
9. INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
10. DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY.
11. CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
12. VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515.
13. ALL PENETRATIONS TO SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

- PRECAST CONCRETE WALL PANELS
- FIRE RATED PRECAST WALL
- FULL HEIGHT STEEL FRAMED WALL
- PRECAST CONCRETE FLOOR
- SERVICE RISER ZONE
- ROOF OUTLINE
- SELECTED VINYL - WET AREA - POLYFLOOR
- SELECTED VINYL - DRY AREA - POLYFLOOR
- SELECTED CARPET - GODFREY HURST

PROPOSED BLOCK C SECOND FLOOR CONSTRUCTION PLAN

PROJECT STATUS
BC-CONSTRUCTION-STAGE3
 SHEET SCALE
1 : 100
 SHEET NUMBER
A5-A3062
 SHEET SIZE
A3=100%
 PRINT IN COLOUR

 REVISION
2

Auckland Council
 18/12/2020
 BCO10313722-3
APPROVED BUILDING CONSENT PLANS

Young+Richards+

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

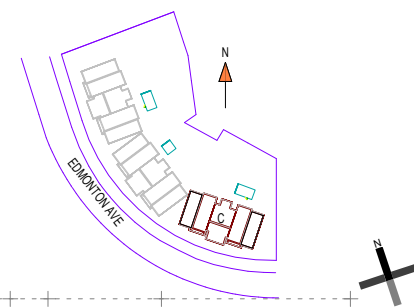
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
**PROPOSED BLOCK C ROOF
CONSTRUCTION PLAN**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

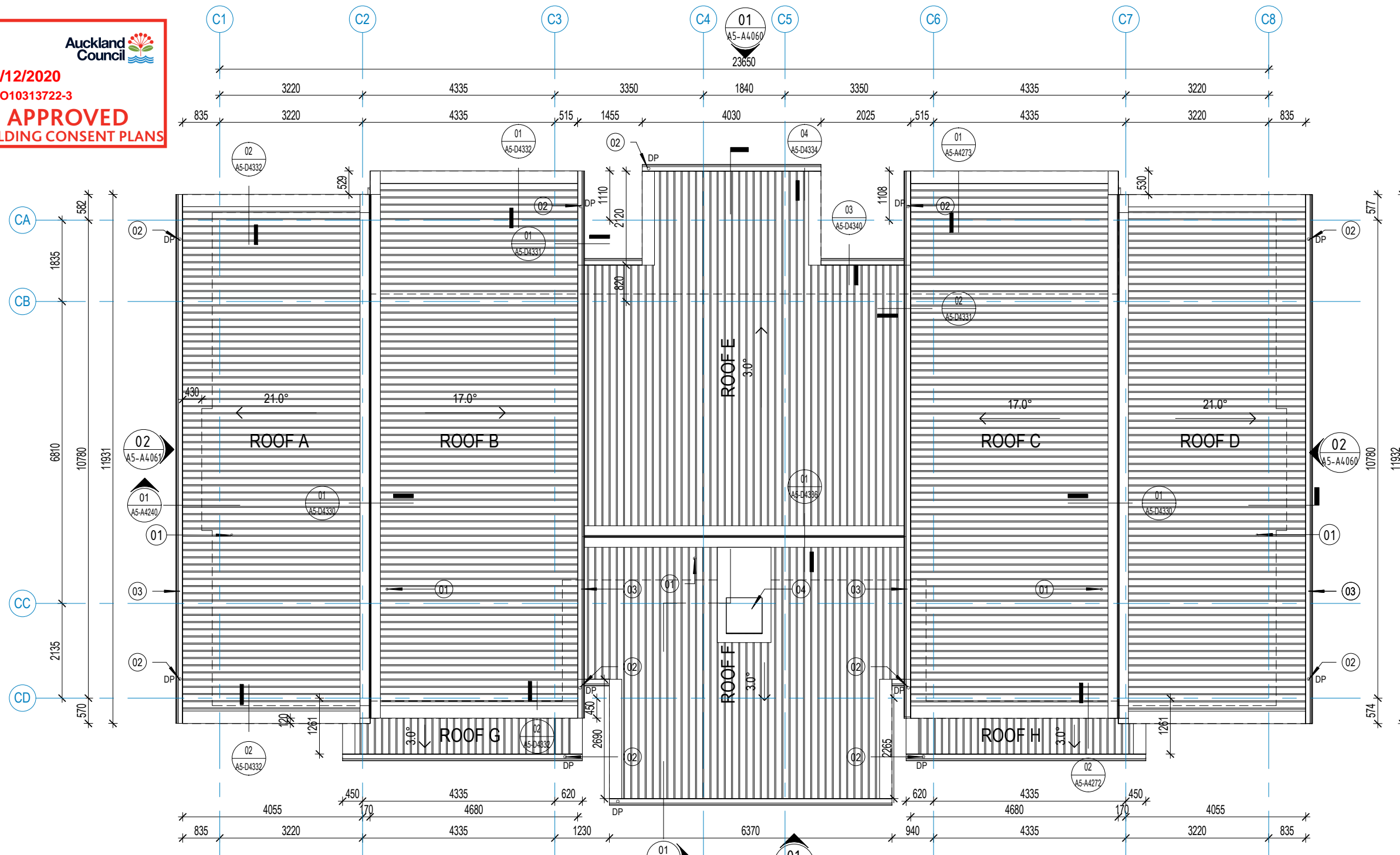
SHEET SCALE
1 : 100

SHEET NUMBER
A5-A3063

SHEET SIZE
A3=100%

PRINT IN COLOUR

REVISION
1



GUTTER CALCULATION - ROOF A,D

SLOPING RAFTER LENGTH	4225 mm
LENGTH OF BUILDING	11932 mm
ROOF PITCH	21°
ROOF SLOPE AREA*	50.4 m ²
CATCHMENTx SLOPE FACTOR	50.4 m ² x 1.04 = 52.4 m ²
Cross-sectional area per m ² for rainfall 100mm/hr: External gutter or spouting=100mm ² ; Internal gutter=200mm ² ; Vertical external downpipe=50mm ² ; Horizontal downpipe=100mm ² .	
EXTERNAL GUTTER	52.4 m ² x 100 = 5242.9 m ²

* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.

GUTTER CALCULATION - ROOF B,C

SLOPING RAFTER LENGTH	4675 mm
LENGTH OF BUILDING	12342 mm
ROOF PITCH	21°
ROOF SLOPE AREA*	57.7 m ²
CATCHMENTx SLOPE FACTOR	57.7 m ² x 1.04 = 60.0 m ²
Cross-sectional area per m ² for rainfall 100mm/hr: External gutter or spouting=100mm ² ; Internal gutter=200mm ² ; Vertical external downpipe=50mm ² ; Horizontal downpipe=100mm ² .	
EXTERNAL GUTTER	60.0 m ² x 100 = 6000.7 m ²

* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.

GUTTER CALCULATION - ROOF E

SLOPING RAFTER LENGTH	8240 mm
LENGTH OF BUILDING	8200 mm
ROOF PITCH	3°
ROOF SLOPE AREA*	58.1 m ²
CATCHMENTx SLOPE FACTOR	58.1 m ² x 1.04 = 60.4 m ²
Cross-sectional area per m ² for rainfall 100mm/hr: External gutter or spouting=100mm ² ; Internal gutter=200mm ² ; Vertical external downpipe=50mm ² ; Horizontal downpipe=100mm ² .	
EXTERNAL GUTTER	60.4 m ² x 100 = 6041.6 m ²

* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.

GUTTER CALCULATION - ROOF F

SLOPING RAFTER LENGTH	5910 mm
LENGTH OF BUILDING	8200 mm
ROOF PITCH	3°
ROOF SLOPE AREA*	43.5 m ²
CATCHMENTx SLOPE FACTOR	43.5 m ² x 1.04 = 45.3 m ²
Cross-sectional area per m ² for rainfall 100mm/hr: External gutter or spouting=100mm ² ; Internal gutter=200mm ² ; Vertical external downpipe=50mm ² ; Horizontal downpipe=100mm ² .	
EXTERNAL GUTTER	45.3 m ² x 100 = 4528.1 m ²

* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.

KEY NOTES & LEGEND

- 01 VENT
- 02 63Ø MIN DOWNPIPE
- 03 135MM QUATER ROUND GUTTER
- 04 ROOF ACCESS HATCH WITH FLASHING

SHEET NOTES

1. REFER TO CONSTRUCTION NOTES, SHEET A0091
2. ALL TIMBER TREATMENT TO COMPLY WITH NZS 3602, 3604 AND E2/AS1, REFER TO SHEET A0090
3. GUTTER FALLS TO COMPLY WITH E1.
4. FOR ROOF ANCHOR LAYOUT REFER TO TOTAL HEIGHT SAFETY DOCUMENTATION. ANCHORS TO ALIGN WITH STRUCTURE. REFER STRUCTURAL ENGINEERS DRAWINGS.
5. MIN. GUTTER CROSS SECTIONAL AREA TO BE 6100MM².

LEGEND

- ROOFING INDUSTRIES TRIM RIB COLORSTEEL ENDURA ROOF
- FLASHINGS
- GUTTER - REFER NOTE 3.
- PRECAST PANEL OUTLINE BELOW

Table 5: Downpipe Sizes for Given Roof Pitch and Area
Paragraph 4.2.1

Downpipe size (mm) (minimum internal sizes)	Roof pitch			
	0-25°	25-35°	35-45°	45-55°
Plan area of roof served by the downpipe (m²)				
63 mm diameter	60	50	40	35
74 mm diameter	85	70	60	50
100 mm diameter	155	130	110	90
150 mm diameter	350	290	250	200
65 x 50 rectangular	60	50	40	35
100 x 50 rectangular	100	80	70	60
75 x 75 rectangular	110	90	80	65
100 x 75 rectangular	150	120	105	90



CLIENT

DOMINION
 CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

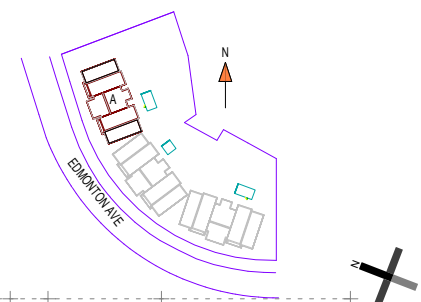
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED BLOCK A GROUND FLOOR
 FRAMING PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR

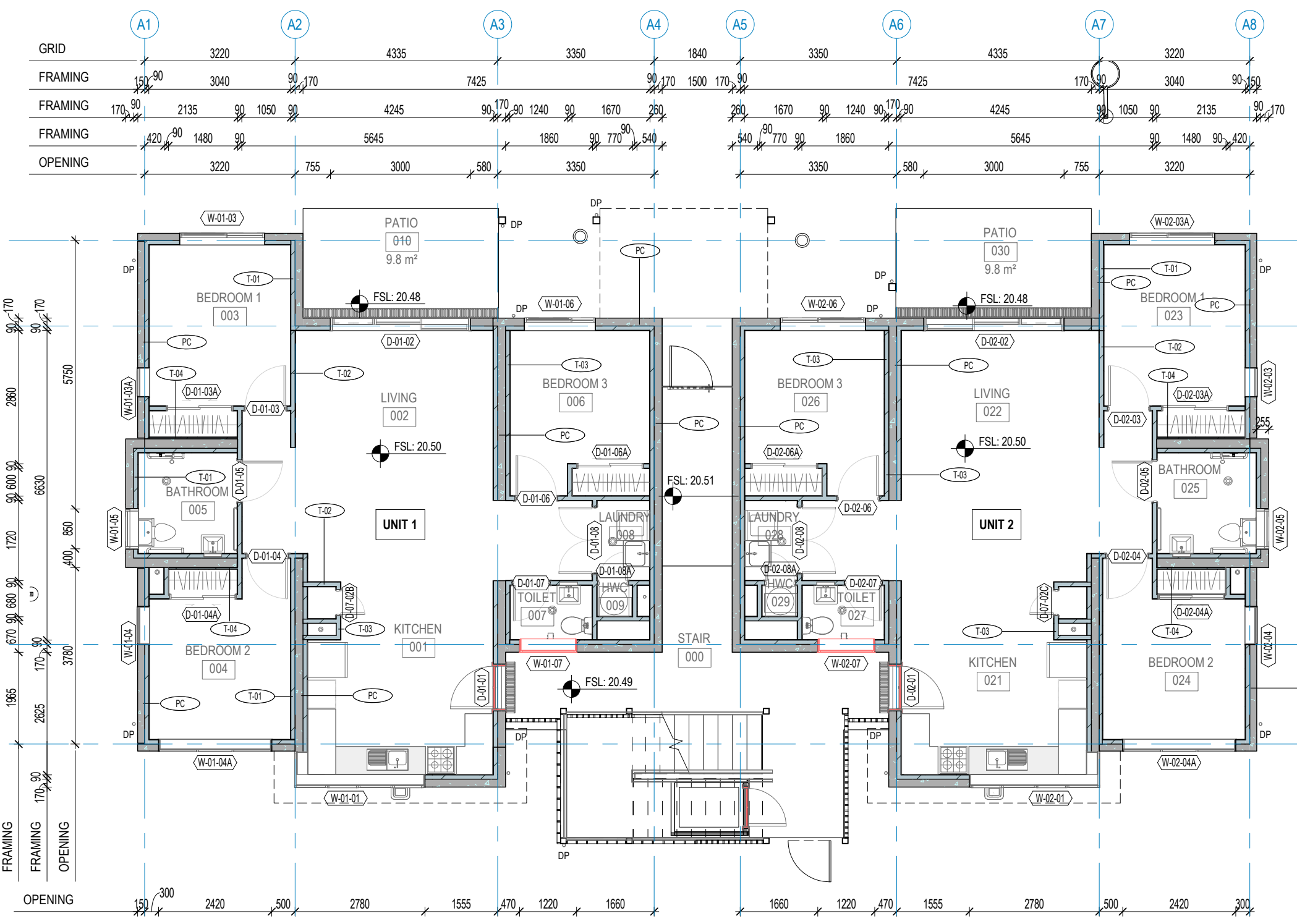


SHEET NUMBER

A5-A3840

REVISION

1



File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
 Plot: 17/12/2020 3:39:02 pm

KEY NOTES & LEGEND



SHEET NOTES

- READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.
- VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT. REFER TO DOCUMENTATIONS FROM PASSIVE FIRE PROTECTION SYSTEMS LTD.
- ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'.
- INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
- DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY, OTHER UNITS HAVE SIMILAR SITUATIONS/DETAILING OTHERWISE NOTED.
- CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
- VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL@ 4515
- ALL PENETRATIONS SHOULD BE ACOUSTICALLY TREATED.
- ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO@ M707.

LEGEND

- PRECAST CONCRETE PANEL, MULTIPLE THICKNESSES. REFER ENGINEER DRAWING
- 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm)
 - MAMMOTH THERMAL INSULATION R2.0 (90mm)
 - 13mm GIB WALL LINING
- 10mm GIB WALL LINING
 - 92mm STEEL STUD @ 600 MAX. FRAME
 - 10mm GIB WALL LINING
- 10mm GIB WALL LINING
 - 92mm STEEL STUD @ 600 MAX. FRAME
 - MAMMOTH INSULATION INSULATION R2.0 (90mm)
- 10mm GIB WALL LINING
 - RONDO 129 WITH CLIPS @ 1200mm MAX.
 28mm FURRING CHANNEL
 - KNAUF THERMAL INSULATION R1.0 (30mm)

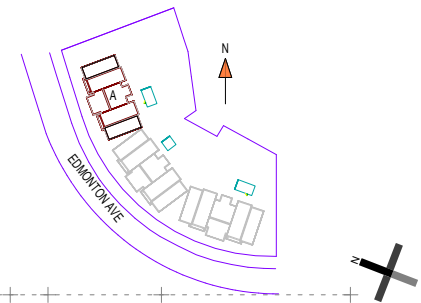
4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT
DOMINION CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER
200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
PROPOSED BLOCK A FIRST FLOOR FRAMING PLAN

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1 : 100

SHEET SIZE
A3=100%

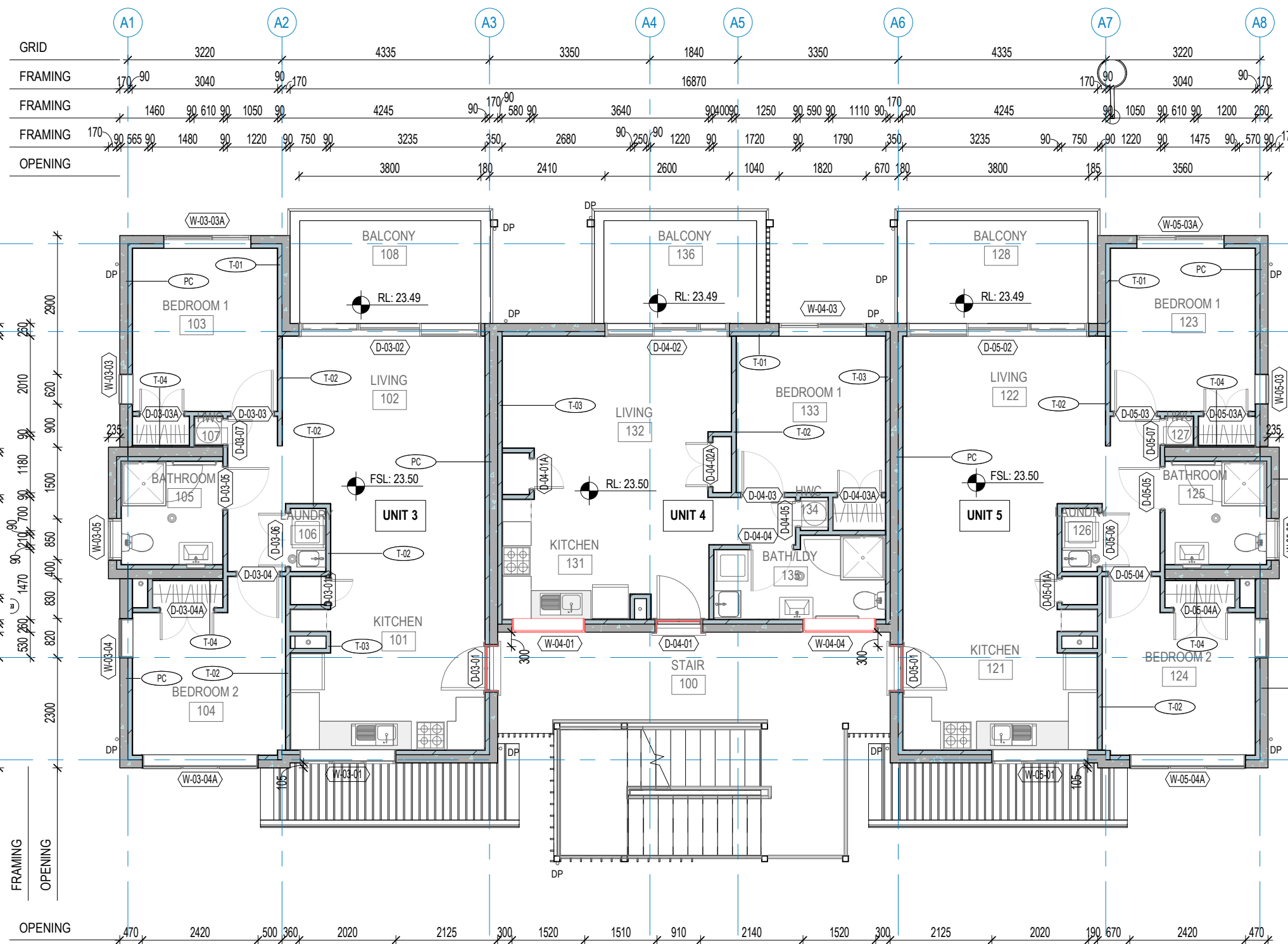
PRINT IN COLOUR

SHEET NUMBER

A5-A3841

REVISION

1



File: BIM_360//200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt

Printed: 17/12/2020 3:39:05 pm

KEY NOTES & LEGEND



SHEET NOTES

- READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.
- VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT. REFER TO DOCUMENTATIONS FROM PASSIVE FIRE PROTECTION SYSTEMS LTD.
- ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'.
- INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
- DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY, OTHER UNITS HAVE SIMILAR SITUATIONS/DETAILING OTHERWISE NOTED.
- CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
- VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515
- ALL PENETRATIONS SHOULD BE ACOUSTICALLY TREATED.
- ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

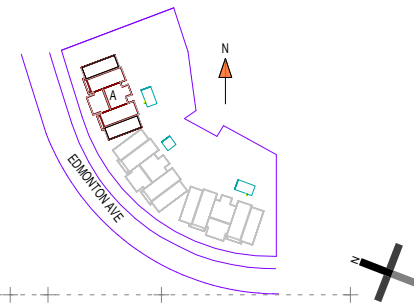
- PRECAST CONCRETE PANEL, MULTIPLE THICKNESSES. REFER ENGINEER DRAWING
- 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm)
- MAMMOTH THERMAL INSULATION R2.0 (90mm)
- 13mm GIB WALL LINING
- 10mm GIB WALL LINING
- 92mm STEEL STUD @ 600 MAX. FRAME
- 10mm GIB WALL LINING
- 10mm GIB WALL LINING
- 92mm STEEL STUD @ 600 MAX. FRAME
- MAMMOTH INSULATION INSULATION R2.0 (90mm)
- 10mm GIB WALL LINING
- RONDO 129 WITH CLIPS @ 1200mm MAX.
28mm FURRING CHANNEL
- KNAUF THERMAL INSULATION R1.0 (30mm)



CLIENT
DOMINION
 CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER
200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
**PROPOSED BLOCK A SECOND FLOOR
 FRAMING PLAN**

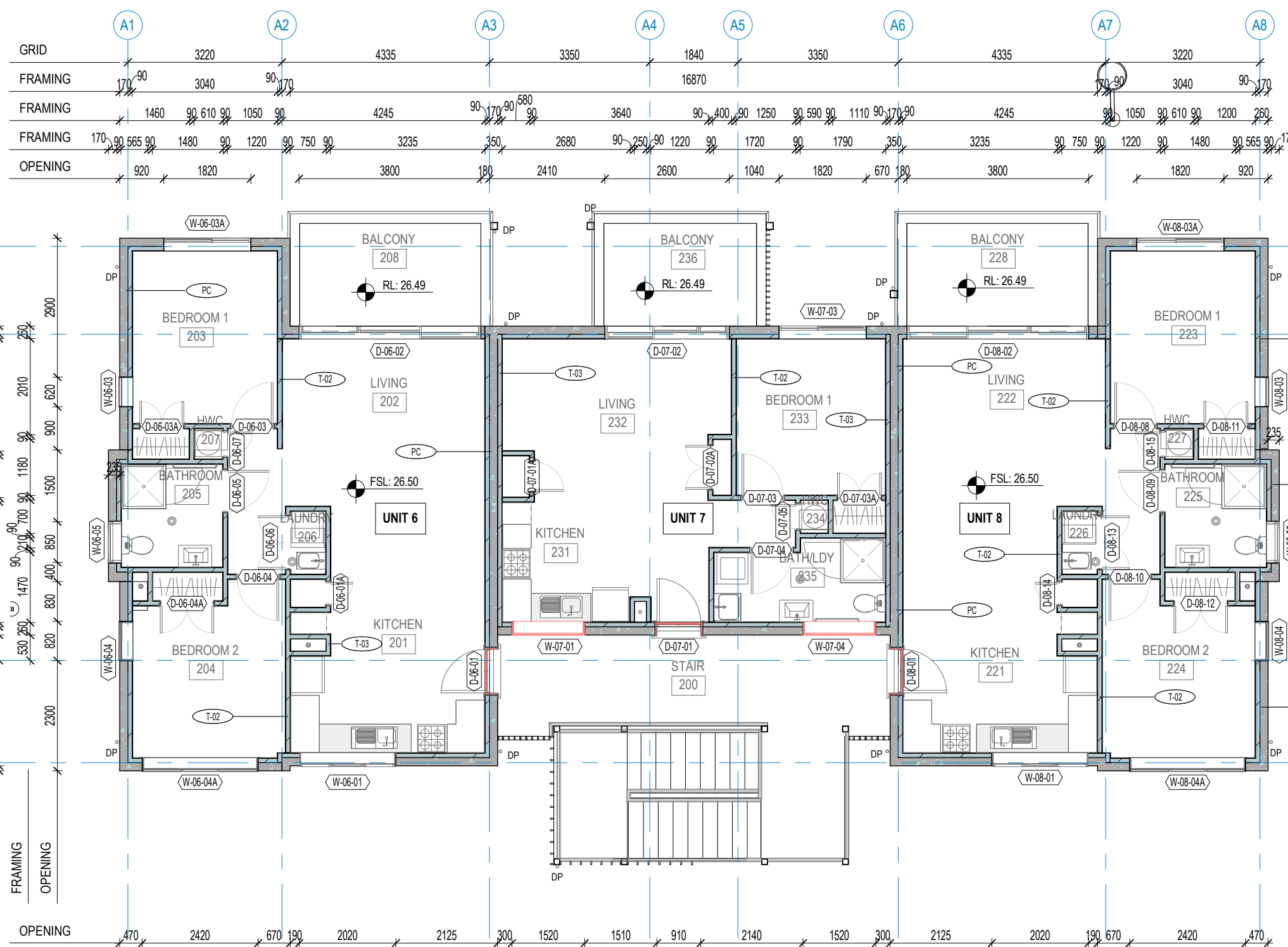
PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1 : 100

SHEET NUMBER
A5-A3842

SHEET SIZE
A3=100%

PRINT IN COLOUR
 REVISION
1



File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
 Plot: 17/12/2020 3:39:05 pm

KEY NOTES & LEGEND



SHEET NOTES

1. READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.
2. VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
3. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
4. ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT. REFER TO DOCUMENTATIONS FROM PASSIVE FIRE PROTECTION SYSTEMS LTD.
5. ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'.
6. INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
7. DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY, OTHER UNITS HAVE SIMILAR SITUATIONS/DETAILING OTHERWISE NOTED.
8. CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
9. VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL@ 4515
10. ALL PENETRATIONS SHOULD BE ACOUSTICALLY TREATED.
11. ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO@ M707.

LEGEND

- PRECAST CONCRETE PANEL, MULTIPLE THICKNESSES. REFER ENGINEER DRAWING
- 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm)
 - MAMMOTH THERMAL INSULATION R2.0 (90mm)
 - 13mm GIB WALL LINING
- 10mm GIB WALL LINING
 - 92mm STEEL STUD @ 600 MAX. FRAME
 - 10mm GIB WALL LINING
- 10mm GIB WALL LINING
 - 92mm STEEL STUD @ 600 MAX. FRAME
 - MAMMOTH INSULATION INSULATION R2.0 (90mm)
- 10mm GIB WALL LINING
 - RONDO 129 WITH CLIPS @ 1200mm MAX.
 28mm FURRING CHANNEL
 - KNAUF THERMAL INSULATION R1.0 (30mm)



CLIENT

DOMINION
 CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

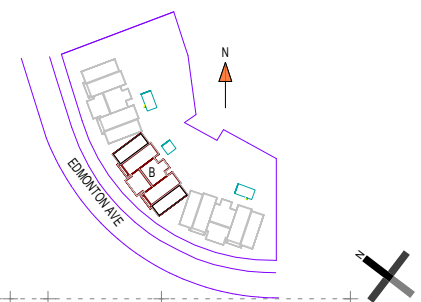
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED BLOCK B GROUND FLOOR
 FRAMING PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR

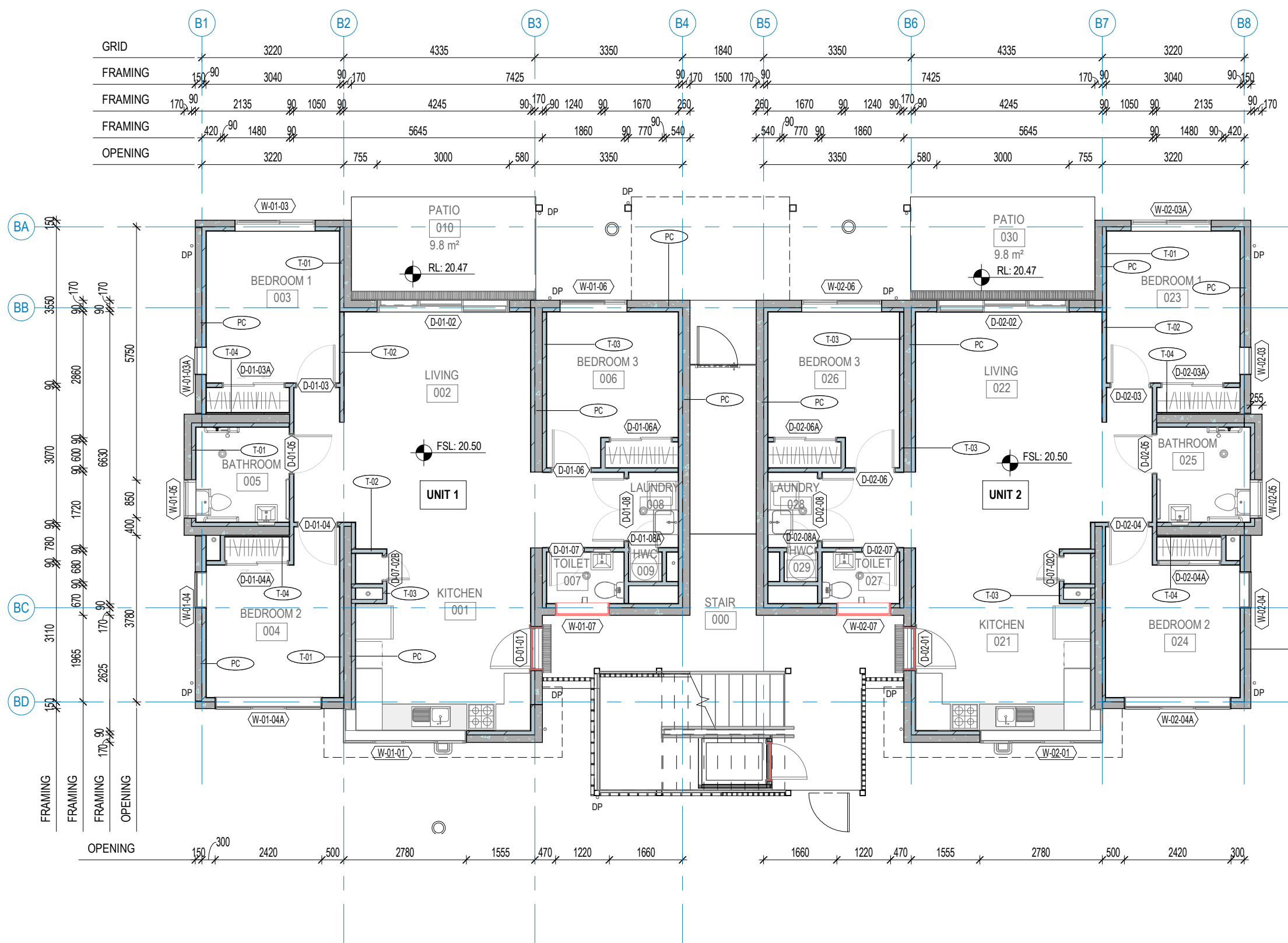


SHEET NUMBER

A5-A3850

REVISION

1



KEY NOTES & LEGEND



SHEET NOTES

- READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.
- VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT. REFER TO DOCUMENTATIONS FROM PASSIVE FIRE PROTECTION SYSTEMS LTD.
- ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'.
- INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
- DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY, OTHER UNITS HAVE SIMILAR SITUATIONS/DETAILING OTHERWISE NOTED.
- CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
- VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515
- ALL PENETRATIONS SHOULD BE ACOUSTICALLY TREATED.
- ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

- PRECAST CONCRETE PANEL, MULTIPLE THICKNESSES. REFER ENGINEER DRAWING
- 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm)
- MAMMOTH THERMAL INSULATION R2.0 (90mm)
- 13mm GIB WALL LINING
- 10mm GIB WALL LINING
- 92mm STEEL STUD @ 600 MAX. FRAME
- 10mm GIB WALL LINING
- 10mm GIB WALL LINING
- 92mm STEEL STUD @ 600 MAX. FRAME
- MAMMOTH INSULATION INSULATION R2.0 (90mm)
- 10mm GIB WALL LINING
- RONDO 129 WITH CLIPS @ 1200mm MAX.
- 28mm FURRING CHANNEL
- KNAUF THERMAL INSULATION R1.0 (30mm)



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

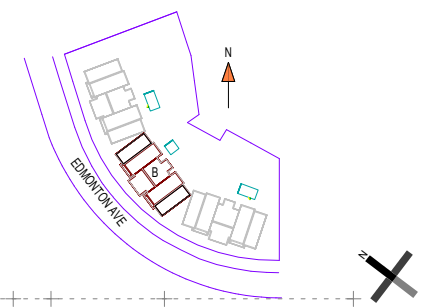
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED BLOCK B FIRST FLOOR
FRAMING PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR



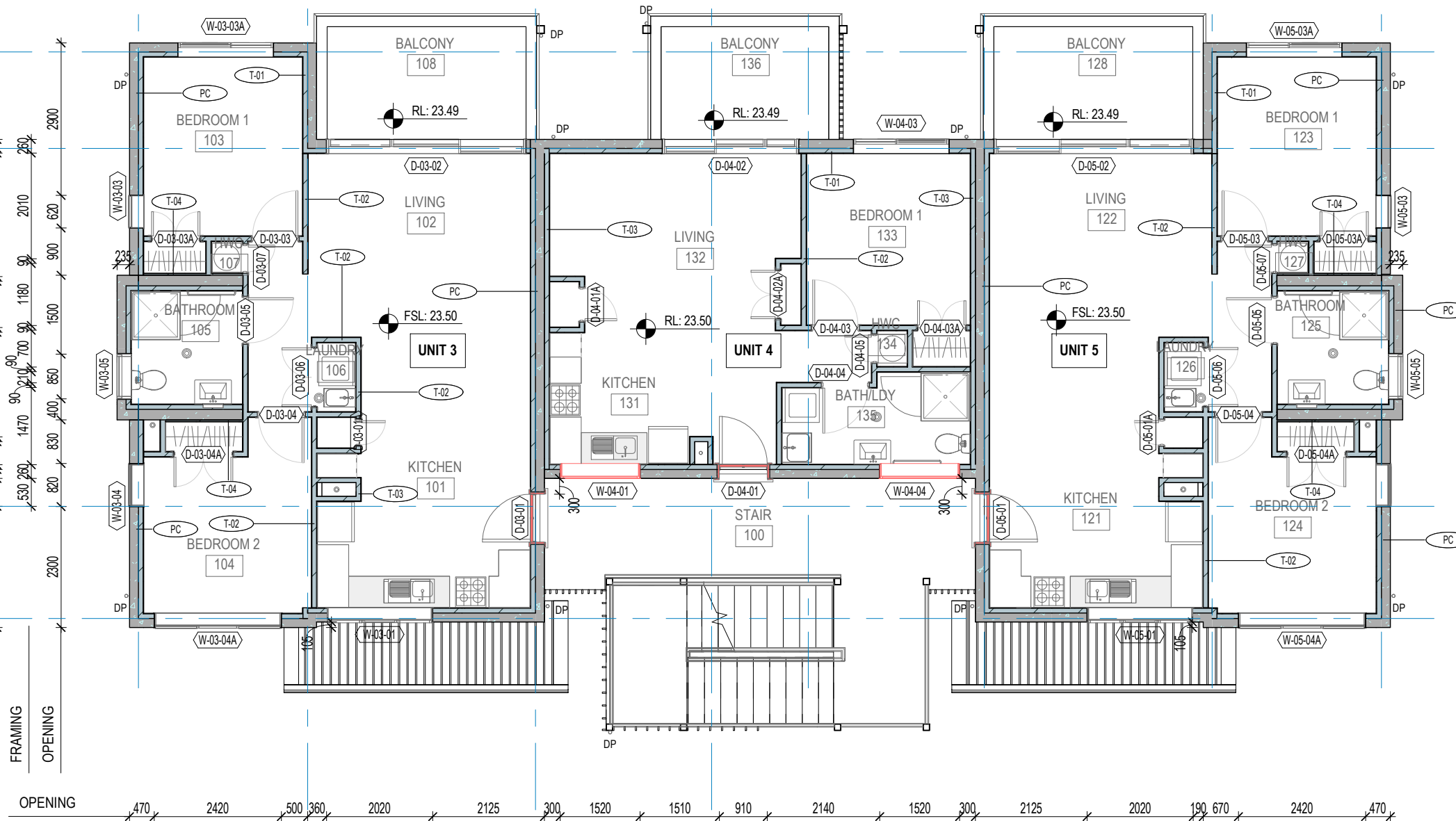
SHEET NUMBER

A5-A3851

REVISION

1

GRID		3220	4335	3350	1840	3350	4335	3220																									
FRAMING	170	90	3040	90	170	16870	170	90	3040	90	170																						
FRAMING	1460	90	610	90	1050	90	4245	90	170	90	580	90	3640	90	1250	90	590	90	1110	90	170	90	4245	90	1050	90	610	90	1200	260			
FRAMING	170	90	565	90	1480	90	1220	90	750	90	3235	350	2680	90	250	90	1220	90	1720	90	1790	350	3235	90	750	90	1220	90	1475	90	570	90	170
OPENING					3800				180		2410				2600				1040		1820						185		3560				



File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
 17/12/2020 3:39:15 pm

KEY NOTES & LEGEND



SHEET NOTES

- READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.
- VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT. REFER TO DOCUMENTATIONS FROM PASSIVE FIRE PROTECTION SYSTEMS LTD.
- ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'.
- INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
- DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY, OTHER UNITS HAVE SIMILAR SITUATIONS/DETAILING OTHERWISE NOTED.
- CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
- VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515
- ALL PENETRATIONS SHOULD BE ACOUSTICALLY TREATED.
- ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

- PC - PRECAST CONCRETE PANEL, MULTIPLE THICKNESSES. REFER ENGINEER DRAWING
- T-01 - 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm)
- MAMMOTH THERMAL INSULATION R2.0 (90mm)
- 13mm GIB WALL LINING
- T-02 - 10mm GIB WALL LINING
- 92mm STEEL STUD @ 600 MAX. FRAME
- 10mm GIB WALL LINING
- T-03 - 10mm GIB WALL LINING
- 92mm STEEL STUD @ 600 MAX. FRAME
- MAMMOTH INSULATION INSULATION R2.0 (90mm)
- T-04 - 10mm GIB WALL LINING
- RONDO 129 WITH CLIPS @ 1200mm MAX.
28mm FURRING CHANNEL
- KNAUF THERMAL INSULATION R1.0 (30mm)



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

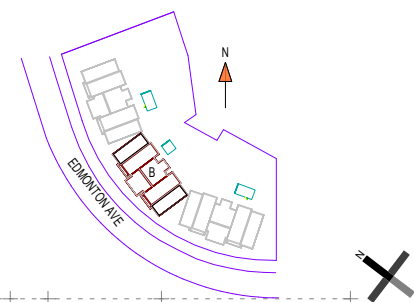
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED BLOCK B SECOND FLOOR
FRAMING PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR

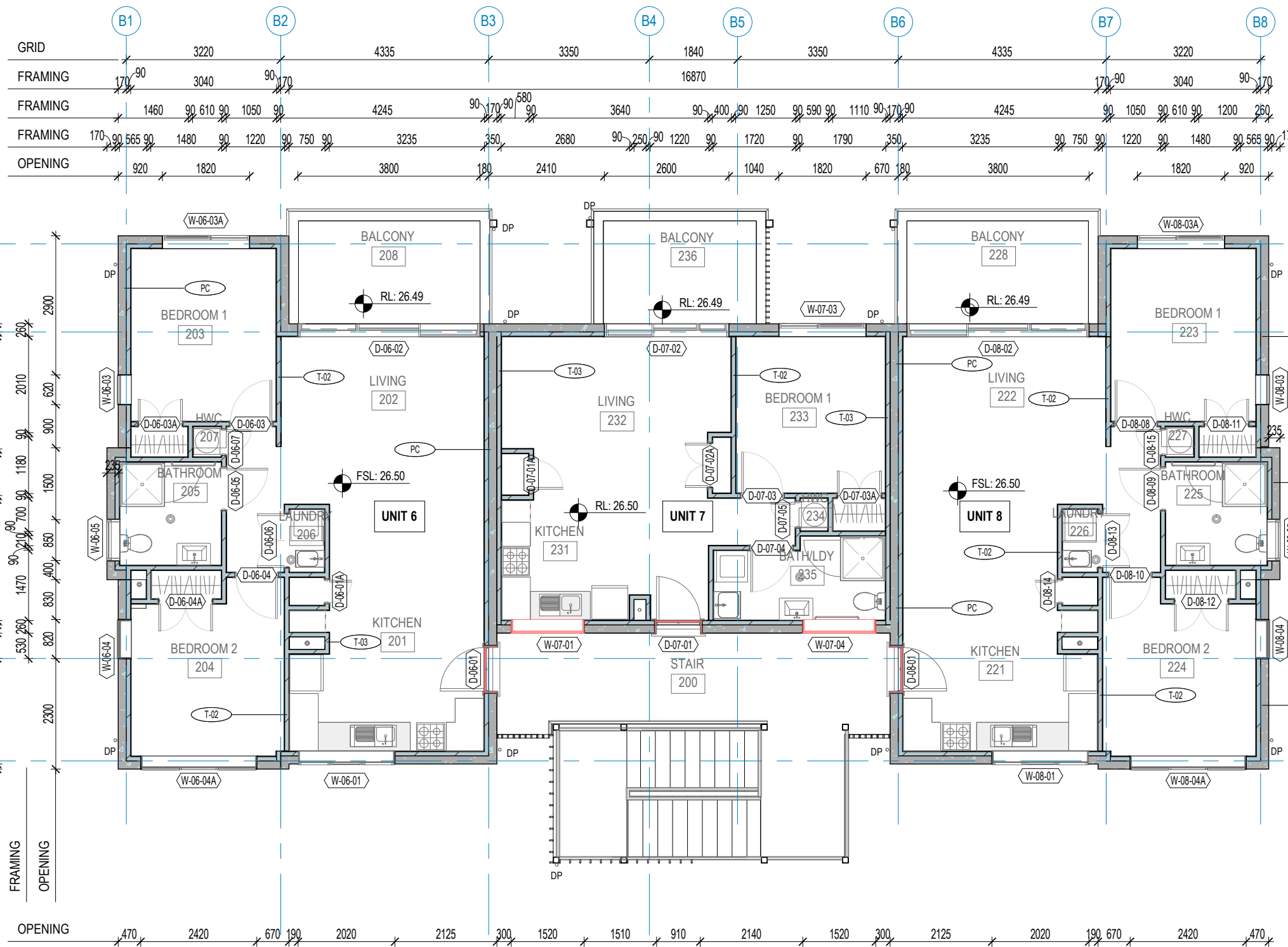


SHEET NUMBER

A5-A3852

REVISION

1



KEY NOTES & LEGEND



SHEET NOTES

- READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.
- VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT. REFER TO DOCUMENTATIONS FROM PASSIVE FIRE PROTECTION SYSTEMS LTD.
- ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'.
- INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
- DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY, OTHER UNITS HAVE SIMILAR SITUATIONS/DETAILING OTHERWISE NOTED.
- CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
- VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515
- ALL PENETRATIONS SHOULD BE ACOUSTICALLY TREATED.
- ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

- PC - PRECAST CONCRETE PANEL, MULTIPLE THICKNESSES. REFER ENGINEER DRAWING
- T-01 - 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm)
- MAMMOTH THERMAL INSULATION R2.0 (90mm)
- 13mm GIB WALL LINING
- T-02 - 10mm GIB WALL LINING
- 92mm STEEL STUD @ 600 MAX. FRAME
- 10mm GIB WALL LINING
- T-03 - 10mm GIB WALL LINING
- 92mm STEEL STUD @ 600 MAX. FRAME
- MAMMOTH INSULATION INSULATION R2.0 (90mm)
- T-04 - 10mm GIB WALL LINING
- RONDO 129 WITH CLIPS @ 1200mm MAX.
28mm FURRING CHANNEL
- KNAUF THERMAL INSULATION R1.0 (30mm)



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

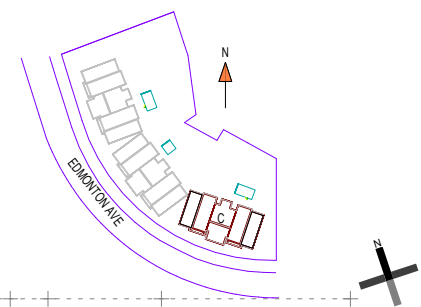
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED BLOCK C GROUND FLOOR
FRAMING PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR

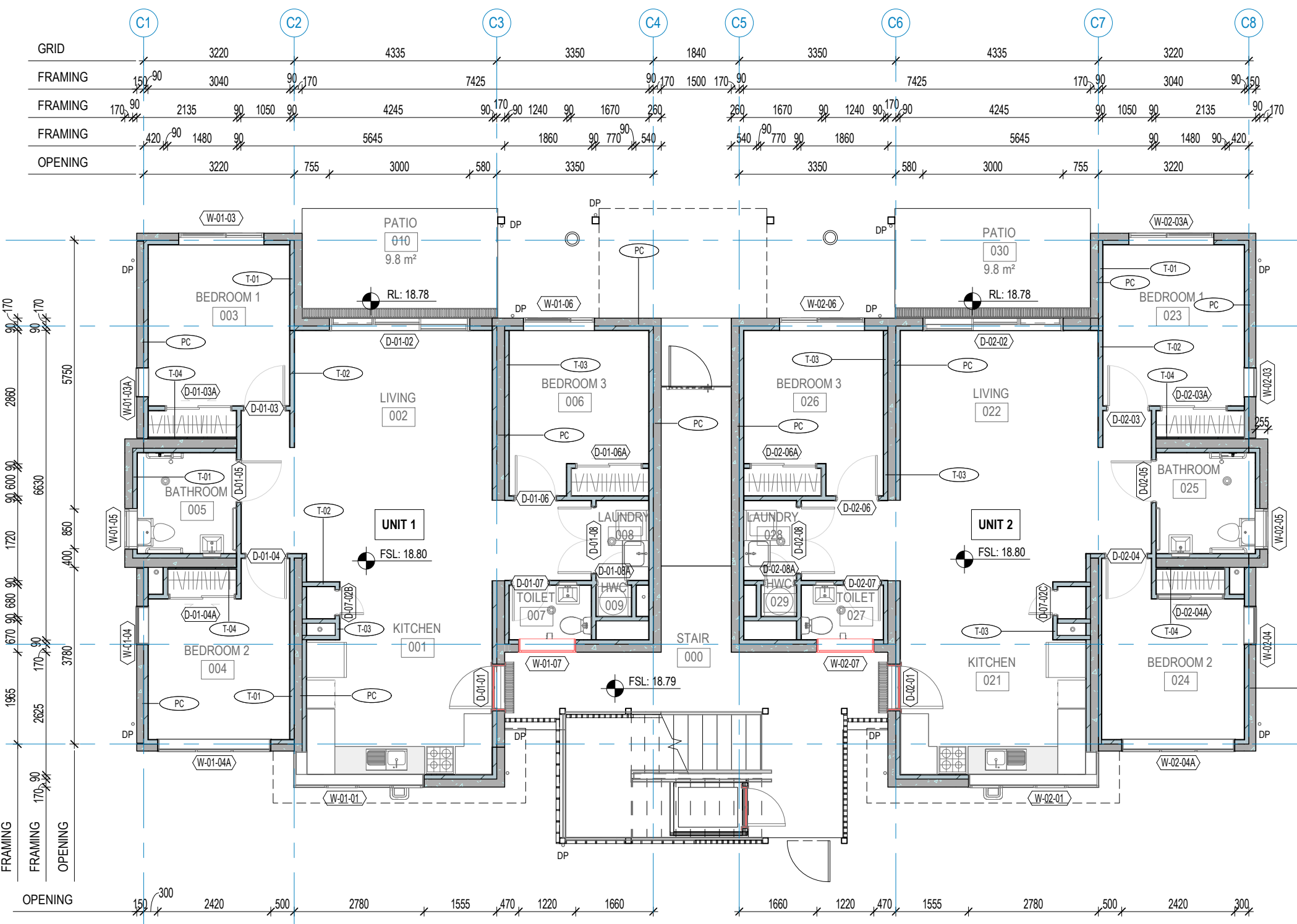


SHEET NUMBER

A5-A3860

REVISION

1



File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt

Printed: 17/12/2020 3:39:21 pm

KEY NOTES & LEGEND



SHEET NOTES

- READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.
- VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT. REFER TO DOCUMENTATIONS FROM PASSIVE FIRE PROTECTION SYSTEMS LTD.
- ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'.
- INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
- DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY, OTHER UNITS HAVE SIMILAR SITUATIONS/DETAILING OTHERWISE NOTED.
- CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
- VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515
- ALL PENETRATIONS SHOULD BE ACOUSTICALLY TREATED.
- ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

- PRECAST CONCRETE PANEL, MULTIPLE THICKNESSES. REFER ENGINEER DRAWING
- 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm)
- MAMMOTH THERMAL INSULATION R2.0 (90mm)
- 13mm GIB WALL LINING
- 10mm GIB WALL LINING
- 92mm STEEL STUD @ 600 MAX. FRAME
- 10mm GIB WALL LINING
- 10mm GIB WALL LINING
- 92mm STEEL STUD @ 600 MAX. FRAME
- MAMMOTH INSULATION INSULATION R2.0 (90mm)
- 10mm GIB WALL LINING
- RONDO 129 WITH CLIPS @ 1200mm MAX.
- 28mm FURRING CHANNEL
- KNAUF THERMAL INSULATION R1.0 (30mm)



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

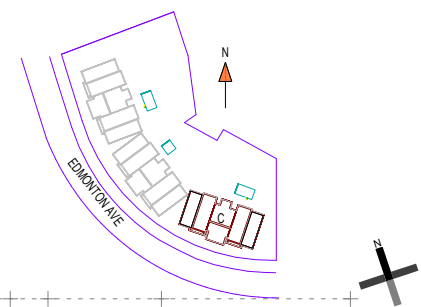
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED BLOCK C FIRST FLOOR
FRAMING PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR

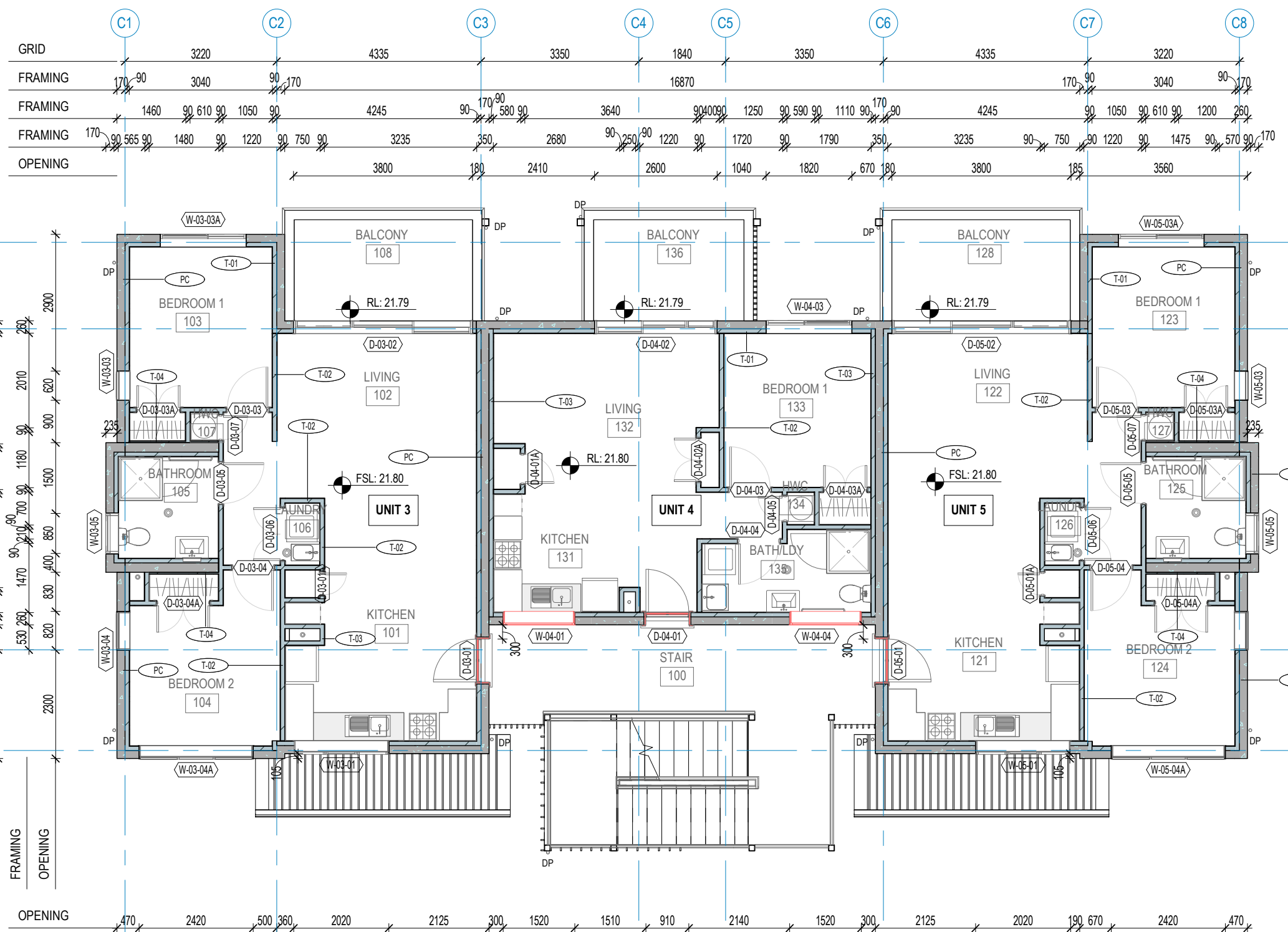


SHEET NUMBER

A5-A3861

REVISION

1



File: BIM_360//200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt

Printed: 17/12/2020 3:39:24 pm

KEY NOTES & LEGEND



SHEET NOTES

1. READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.
2. VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
3. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
4. ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT. REFER TO DOCUMENTATIONS FROM PASSIVE FIRE PROTECTION SYSTEMS LTD.
5. ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'.
6. INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
7. DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY, OTHER UNITS HAVE SIMILAR SITUATIONS/DETAILING OTHERWISE NOTED.
8. CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
9. VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515
10. ALL PENETRATIONS SHOULD BE ACOUSTICALLY TREATED.
11. ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

- PRECAST CONCRETE PANEL, MULTIPLE THICKNESSES. REFER ENGINEER DRAWING
- 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm)
- MAMMOTH THERMAL INSULATION R2.0 (90mm)
- 13mm GIB WALL LINING
- 10mm GIB WALL LINING
- 92mm STEEL STUD @ 600 MAX. FRAME
- 10mm GIB WALL LINING
- 10mm GIB WALL LINING
- 92mm STEEL STUD @ 600 MAX. FRAME
- MAMMOTH INSULATION INSULATION R2.0 (90mm)
- 10mm GIB WALL LINING
- RONDO 129 WITH CLIPS @ 1200mm MAX.
- 28mm FURRING CHANNEL
- KNAUF THERMAL INSULATION R1.0 (30mm)



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

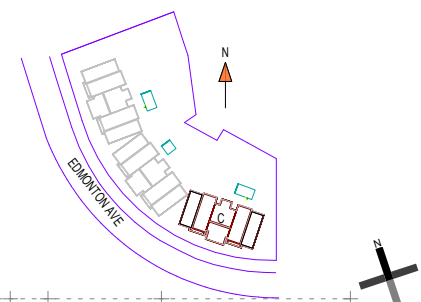
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED BLOCK C SECOND FLOOR
FRAMING PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR

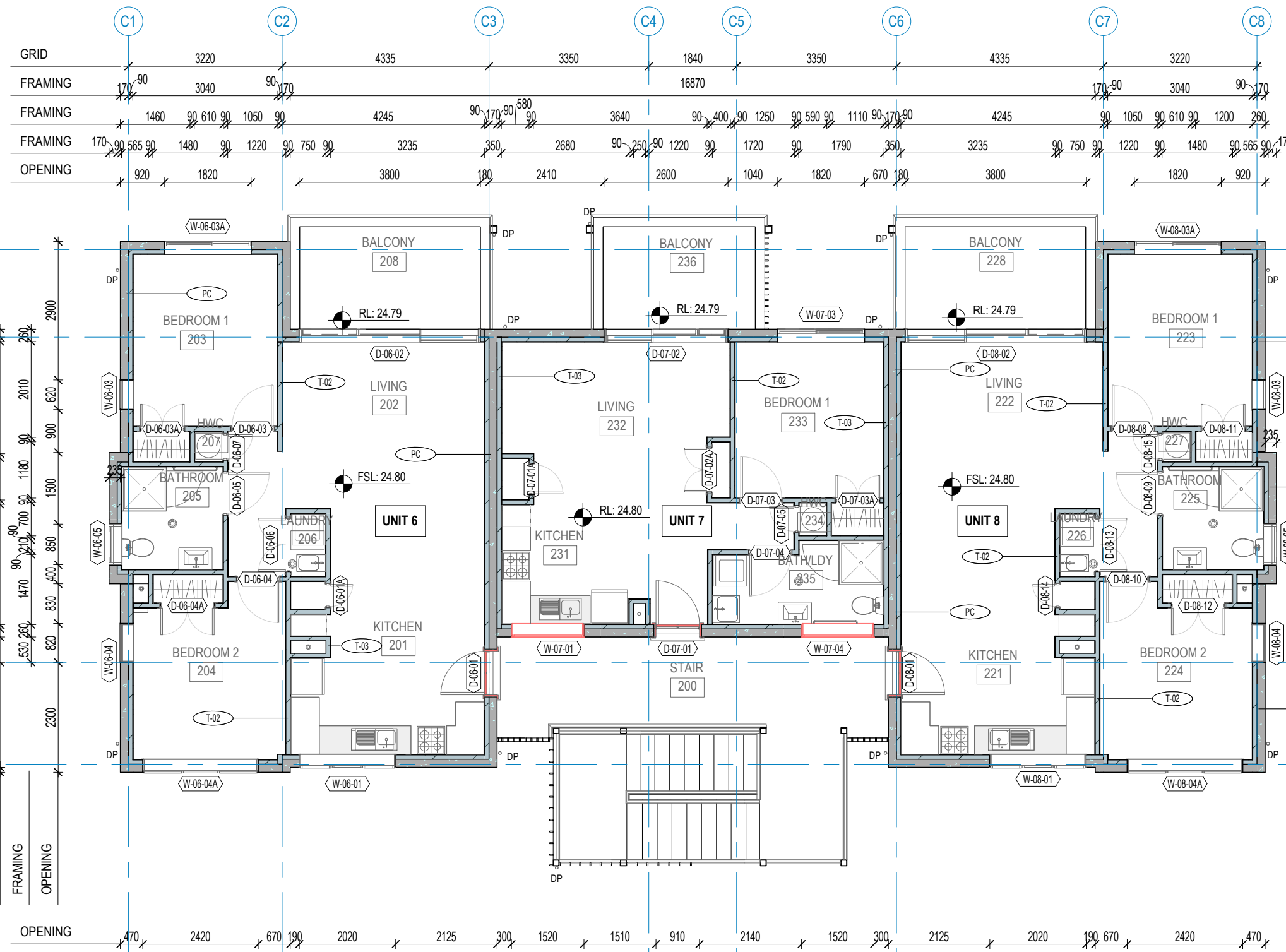


SHEET NUMBER

A5-A3862

REVISION

1



KEY NOTES & LEGEND



SHEET NOTES

- READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.
- VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT. REFER TO DOCUMENTATIONS FROM PASSIVE FIRE PROTECTION SYSTEMS LTD.
- ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'.
- INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
- DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY, OTHER UNITS HAVE SIMILAR SITUATIONS/DETAILING OTHERWISE NOTED.
- CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
- VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515
- ALL PENETRATIONS SHOULD BE ACOUSTICALLY TREATED.
- ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

- PRECAST CONCRETE PANEL, MULTIPLE THICKNESSES. REFER ENGINEER DRAWING
- (PC)
- (T-01) - 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm)
- MAMMOTH THERMAL INSULATION R2.0 (90mm)
- 13mm GIB WALL LINING
- (T-02) - 10mm GIB WALL LINING
- 92mm STEEL STUD @ 600 MAX. FRAME
- 10mm GIB WALL LINING
- (T-03) - 10mm GIB WALL LINING
- 92mm STEEL STUD @ 600 MAX. FRAME
- MAMMOTH INSULATION INSULATION R2.0 (90mm)
- (T-04) - 10mm GIB WALL LINING
- RONDO 129 WITH CLIPS @ 1200mm MAX.
- 28mm FURRING CHANNEL
- KNAUF THERMAL INSULATION R1.0 (30mm)

18/12/2020
BCO10313722-3
APPROVED
BUILDING CONSENT PLANS



SCALE: 1 : 100
 01 / A5-A3040

EAST ELEVATION - BLOCK A 02



SCALE: 1 : 100
 01 / A5-A3040

NORTH ELEVATION - BLOCK A 01

KEY NOTES / LEGEND

- 01 PRECAST CONCRETE PANEL 150MM - RESENE STACK
- 02 PRECAST CONCRETE PANEL 170MM - RESENE QUILL GREY
- 03 PRECAST CONCRETE PANEL 170MM GROOVES - RESENE GUNSMOKE
- 04 PRECAST CONCRETE PANEL 170MM GROOVES - RESENE DOUBLE SEA FOG
- 05 ROOFING INDUSTRIES TRIM RIB ROOF - RESENE THUNDER GREY
- 06 PRECAST CONCRETE PANEL 170MM NO GROOVES - RESENE GUNSMOKE
- 07 PRECAST CONCRETE PANEL 150MM - RESENE CHALKY
- DOOR SOLID PANEL - RESENE CHALKY
- DOUBLE GLAZING
- TWO-WAY FIRE RATED SPANDREL (60)/60/60
- TWO-WAY FIRE RATED WALL (60)/60/60
- 60-SM FRR WINDOW

SHEET NOTES

1. ALL GLAZING TO COMPLY WITH NZS4223.3 2016
2. PAIR OF WINDOW RESTRICTOR STAYS REQUIRED TO BE INSTALLED TO ALL OPENING WINDOWS ON FIRST FLOOR AND OPENING WINDOWS ON GROUND FLOOR LEVEL ADJACENT TO AN ACCESS ROUTE
3. PENETRATIONS IN FIRE SPANDREL TO BE SEALED WITH FIRE COLLAR TO THE SAME RATING AS THE PC PANEL.

Young+Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
 CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

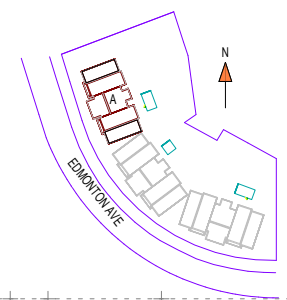
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED BLOCK A ELEVATIONS
 (NORTH & EAST)**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR



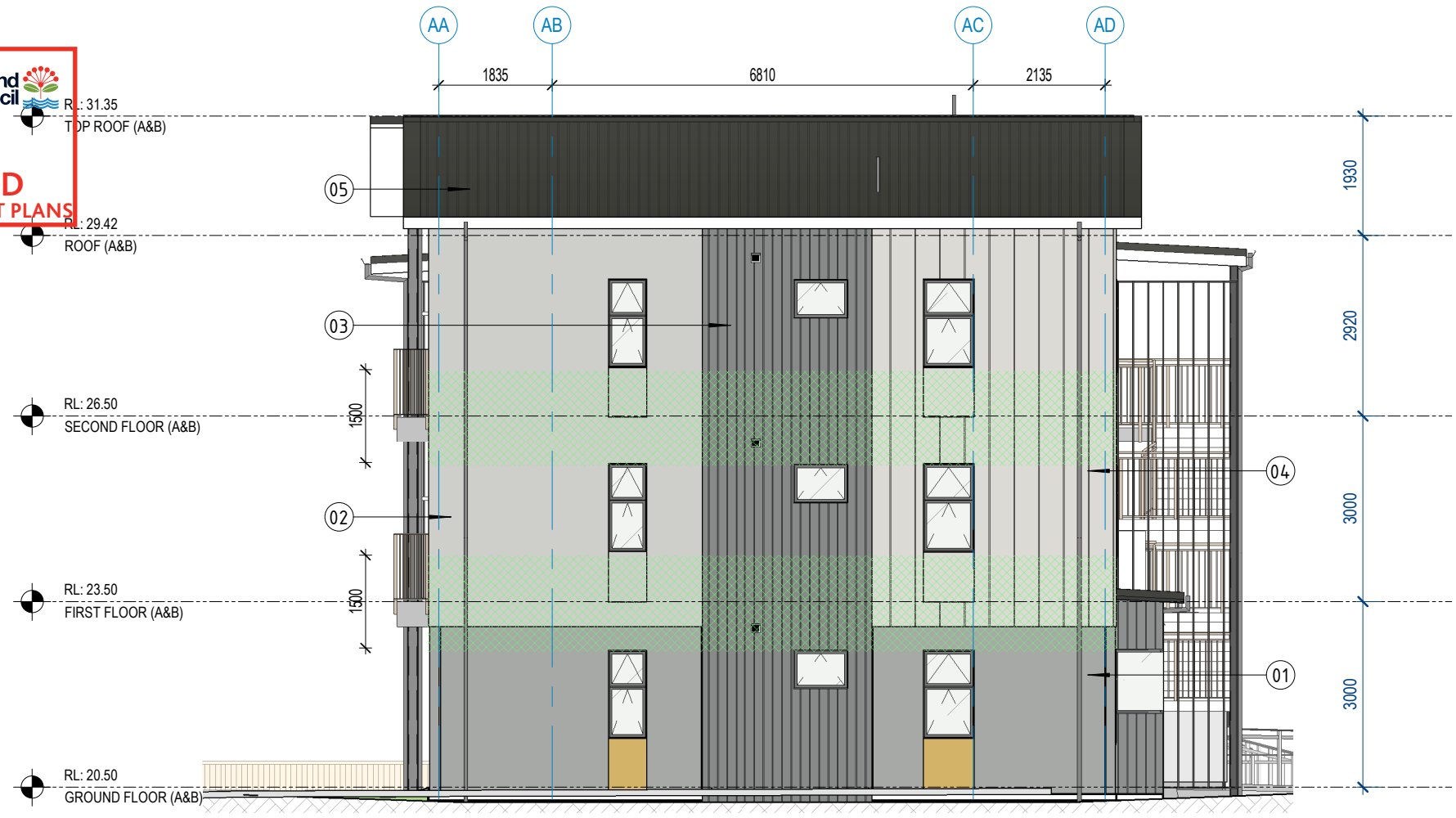
SHEET NUMBER

A5-A4040

REVISION

2

18/12/2020
BCO10313722-3
APPROVED
BUILDING CONSENT PLANS



SCALE: 1 : 100
 01 / A5-A3040

WEST ELEVATION - BLOCK A **02**

KEY NOTES / LEGEND

- 01 PRECAST CONCRETE PANEL 150MM - RESENE STACK
- 02 PRECAST CONCRETE PANEL 170MM - RESENE QUILL GREY
- 03 PRECAST CONCRETE PANEL 170MM GROOVES - RESENE GUNSMOKE
- 04 PRECAST CONCRETE PANEL 170MM GROOVES - RESENE DOUBLE SEA FOG
- 05 ROOFING INDUSTRIES TRIM RIB ROOF - RESENE THUNDER GREY
- 06 PRECAST CONCRETE PANEL 170MM NO GROOVES - RESENE GUNSMOKE
- 07 PRECAST CONCRETE PANEL 150MM - RESENE CHALKY
- 08 DOOR SOLID PANEL - RESENE CHALKY
- 09 DOUBLE GLAZING
- 10 TWO-WAY FIRE RATED SPANDREL (60)/60/60
- 11 TWO-WAY FIRE RATED WALL (60)/60/60
- 12 -60-SM FRR WINDOW

SHEET NOTES

1. ALL GLAZING TO COMPLY WITH NZS4223.3 2016
2. PAIR OF WINDOW RESTRICTOR STAYS REQUIRED TO BE INSTALLED TO ALL OPENING WINDOWS ON FIRST FLOOR AND AND OPENING WINDOWS ON GROUND FLOOR LEVEL ADJACENT TO AN ACCESS ROUTE
3. PENETRATIONS IN FIRE SPANDREL TO BE SEALED WITH FIRE COLLAR TO THE SAME RATING AS THE PC PANEL.

Young+Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
 CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

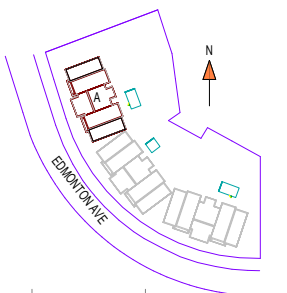
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED BLOCK A ELEVATIONS
 (SOUTH & WEST)**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR

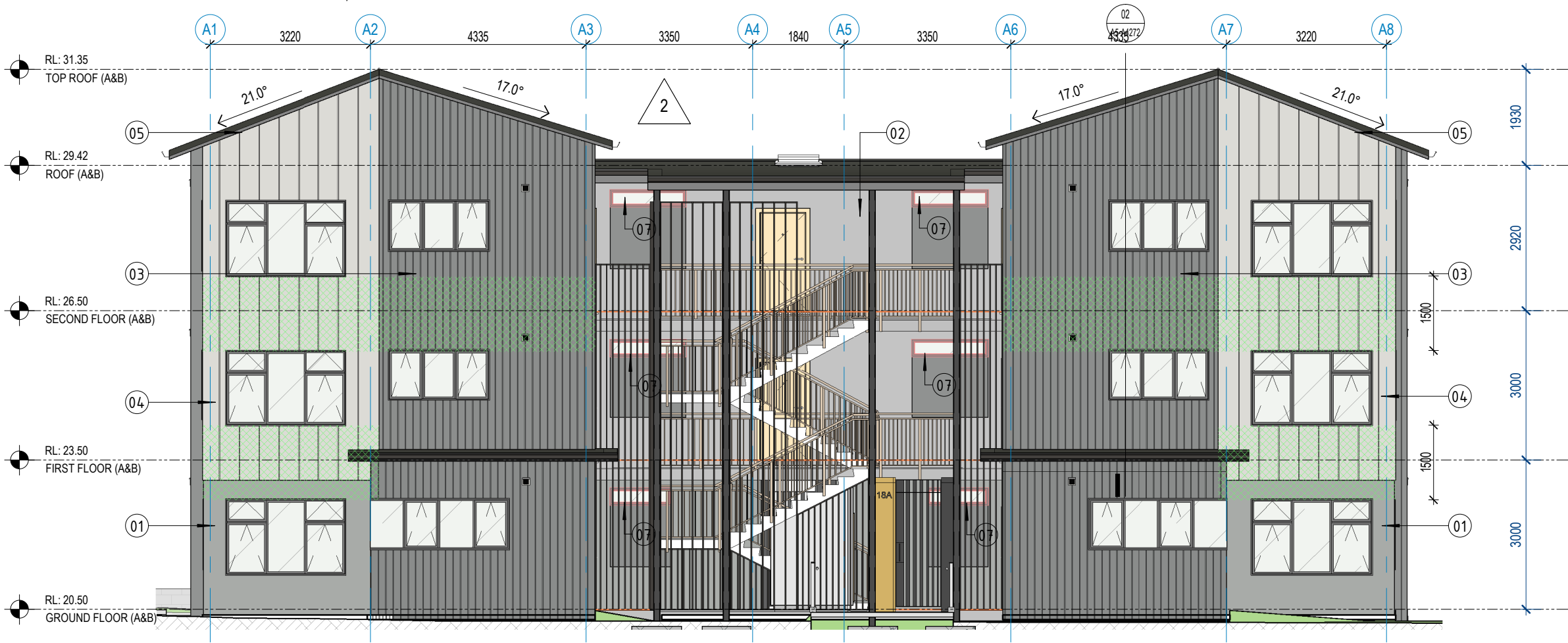


SHEET NUMBER

A5-A4041

REVISION

2



SCALE: 1 : 100
 01 / A5-A3040

SOUTH ELEVATION - BLOCK A **01**

File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Aven.rvt
 Print: 17/12/2020 3:39:40 pm

Auckland Council
 18/12/2020
 BCO10313722-3
APPROVED BUILDING CONSENT PLANS



SCALE: 1 : 100
 1 / A5-A3050

EAST ELEVATION - BLOCK B 02

KEY NOTES / LEGEND

- 01 PRECAST CONCRETE PANEL 150MM - RESENE STACK
- 02 PRECAST CONCRETE PANEL 170MM - RESENE QUILL GREY
- 03 PRECAST CONCRETE PANEL 170MM GROOVES - RESENE DOUBLE CANTERBURY CLAY
- 04 PRECAST CONCRETE PANEL 170MM GROOVES - RESENE DOUBLE SEA FOG
- 05 ROOFING INDUSTRIES TRIM RIB ROOF - RESENE THUNDER GREY
- 06 PRECAST CONCRETE PANEL 170MM NO GROOVES - RESENE DOUBLE CANTERBURY CLAY
- 07 PRECAST CONCRETE PANEL 150MM - RESENE PEWTER
- DOOR SOLID PANEL - RESENE PEWTER
- DOUBLE GLAZING
- 1500mm TWO-WAY FIRE RATED SPANDREL (60)/60/60
- TWO-WAY FIRE RATED WALL (60)/60/60
- FRR (60)/60/60 TO UNDERSIDE OF FLOOR AND SUPPORTING ELEMENTS
- 60-SM FRR WINDOW

SHEET NOTES

1. ALL GLAZING TO COMPLY WITH NZS4223.3 2016
2. PAIR OF WINDOW RESTRICTOR STAYS REQUIRED TO BE INSTALLED TO ALL OPENING WINDOWS ON FIRST FLOOR AND OPENING WINDOWS ON GROUND FLOOR LEVEL ADJACENT TO AN ACCESS ROUTE
3. PENETRATIONS IN FIRE SPANDREL TO BE SEALED WITH FIRE COLLAR TO THE SAME RATING AS THE PC PANEL.

Young+Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

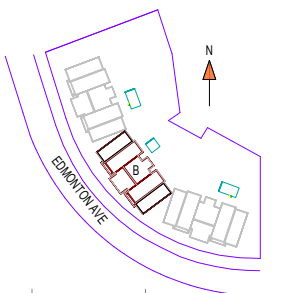
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT
 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

PROPOSED BLOCK B ELEVATIONS (NORTH & EAST)

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR

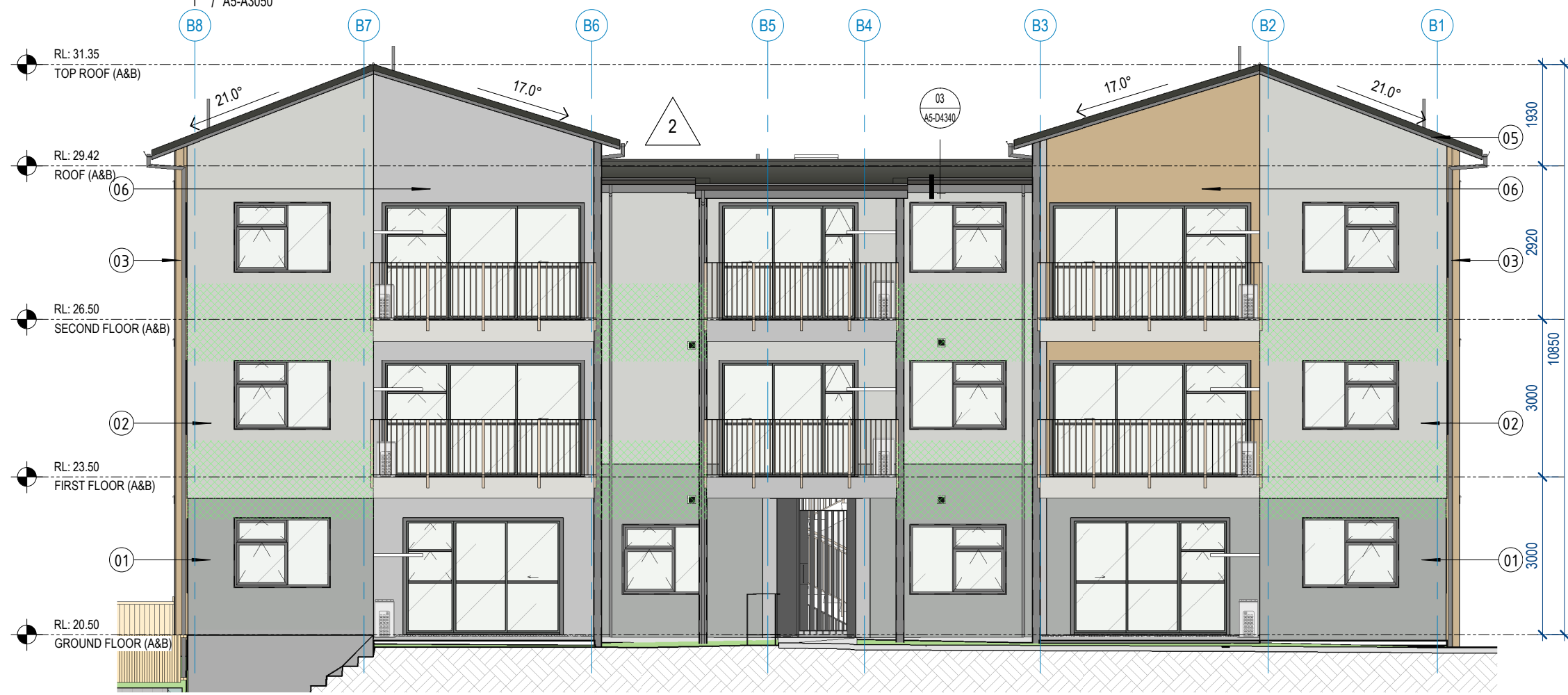


SHEET NUMBER

A5-A4050

REVISION

2



SCALE: 1 : 100
 1 / A5-A3050

NORTH ELEVATION - BLOCK B 01

File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Aven.rvt
 Plot: 17/12/2020 3:39:47 pm



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

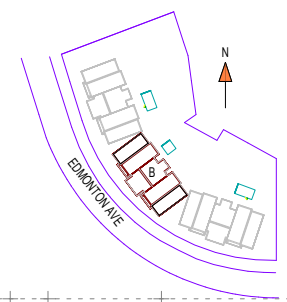
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR



THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED BLOCK B ELEVATIONS
(SOUTH & WEST)**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A4051

REVISION

2

KEY NOTES / LEGEND

- 01 PRECAST CONCRETE PANEL 150MM - RESENE STACK
- 02 PRECAST CONCRETE PANEL 170MM - RESENE QUILL GREY
- 03 PRECAST CONCRETE PANEL 170MM GROOVES - RESENE DOUBLE CANTERBURY CLAY
- 04 PRECAST CONCRETE PANEL 170MM GROOVES - RESENE DOUBLE SEA FOG
- 05 ROOFING INDUSTRIES TRIM RIB ROOF - RESENE THUNDER GREY
- 06 PRECAST CONCRETE PANEL 170MM NO GROOVES - RESENE DOUBLE CANTERBURY CLAY
- 07 PRECAST CONCRETE PANEL 150MM - RESENE PEWTER
- DOOR SOLID PANEL - RESENE PEWTER
- DOUBLE GLAZING
- 1500mm TWO-WAY FIRE RATED SPANDREL (60)/60/60
- TWO-WAY FIRE RATED WALL (60)/60/60
- FRR (60)/60/60 TO UNDERSIDE OF FLOOR AND SUPPORTING ELEMENTS
- 60-SM FRR WINDOW

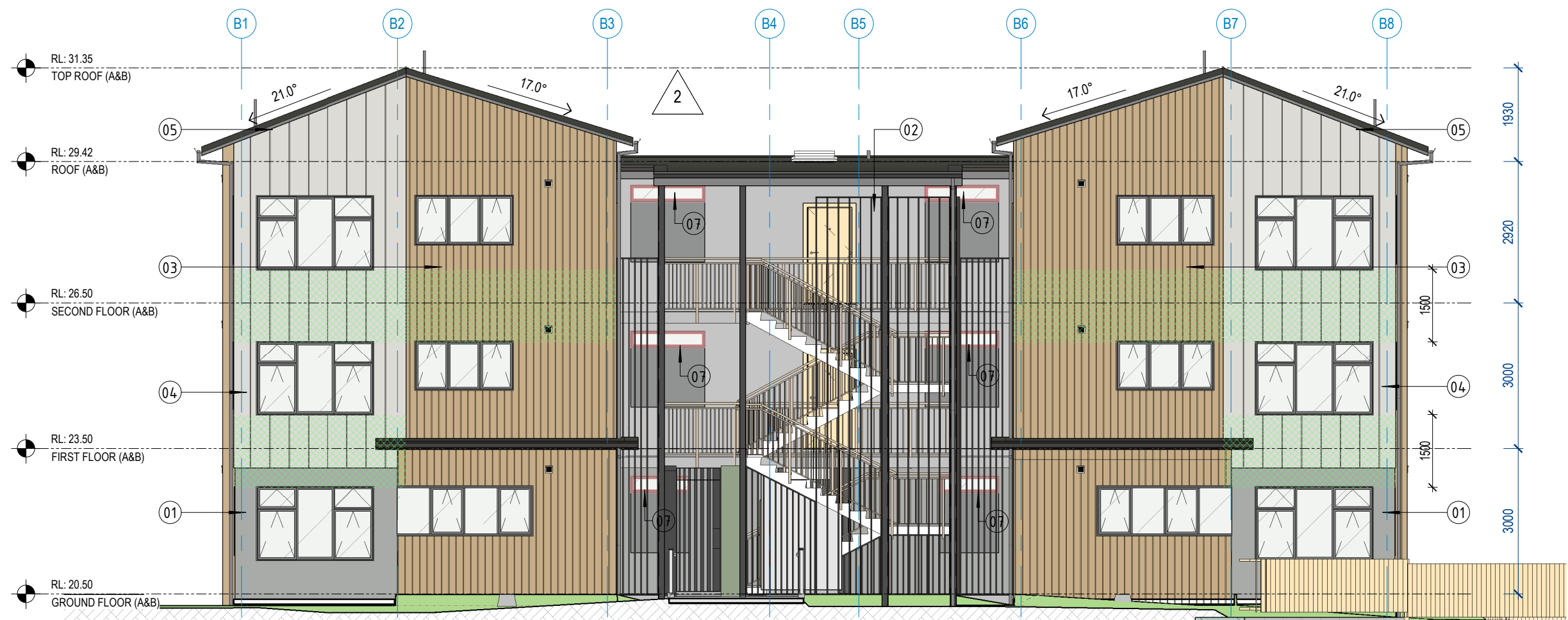
SHEET NOTES

- ALL GLAZING TO COMPLY WITH NZS4223.3 2016
- PAIR OF WINDOW RESTRICTOR STAYS REQUIRED TO BE INSTALLED TO ALL OPENING WINDOWS ON FIRST FLOOR AND AND OPENING WINDOWS ON GROUND FLOOR LEVEL ADJACENT TO AN ACCESS ROUTE
- PENETRATIONS IN FIRE SPANDREL TO BE SEALED WITH FIRE COLLAR TO THE SAME RATING AS THE PC PANEL.



WEST ELEVATION - BLOCK B

02



SOUTH ELEVATION - BLOCK B

01

SCALE: 1 : 100
1 / A5-A3050

Auckland Council
18/12/2020
BCO10313722-3
APPROVED BUILDING CONSENT PLANS



SCALE: 1 : 100
 01 / A5-A3060

EAST ELEVATION - BLOCK C 02

KEY NOTES / LEGEND

- 01 PRECAST CONCRETE PANEL 150MM - RESENE STACK
- 02 PRECAST CONCRETE PANEL 170MM - RESENE QUILL GREY
- 03 PRECAST CONCRETE PANEL 170MM GROOVES - RESENE JUDGE GREY
- 04 PRECAST CONCRETE PANEL 170MM GROOVES - RESENE DOUBLE SEA FOG
- 05 ROOFING INDUSTRIES TRIM RIB ROOF - RESENE THUNDER GREY
- 06 PRECAST CONCRETE PANEL 170MM NO GROOVES - RESENE JUDGE GREY
- PRECAST CONCRETE PANEL 150MM - RESENE BLUE BAYOUX
- DOOR SOLID PANEL - RESENE BLUE BAYOUX
- DOUBLE GLAZING
- TWO-WAY FIRE RATED SPANDREL (60)/60/60
- TWO-WAY FIRE RATED WALL (60)/60/60
- FRR (60)/60/60 TO UNDERSIDE OF FLOOR AND SUPPORTING ELEMENTS
- 07 -60-SM FRR WINDOW

SHEET NOTES

1. ALL GLAZING TO COMPLY WITH NZS4223.3 2016
2. PAIR OF WINDOW RESTRICTOR STAYS REQUIRED TO BE INSTALLED TO ALL OPENING WINDOWS ON FIRST FLOOR AND AND OPENING WINDOWS ON GROUND FLOOR LEVEL ADJACENT TO AN ACCESS ROUTE
3. PENETRATIONS IN FIRE SPANDREL TO BE SEALED WITH FIRE COLLAR TO THE SAME RATING AS THE PC PANEL.

Young+Richards+

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

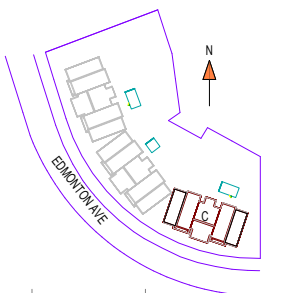
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

PROPOSED BLOCK C ELEVATIONS (NORTH & EAST)

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A4060

REVISION

2



SCALE: 1 : 100
 1 / A5-A3050

NORTH ELEVATION - BLOCK C 01

Plot: 17/12/2020 3:40:01 pm
 File: BIM_360//200003-8_18 Edmonton Ave/200003-8_18 Edmonton Aven.rvt



SCALE: 1 : 100
 01 / A5-A3060
WEST ELEVATION - BLOCK C 02

KEY NOTES / LEGEND

- 01** PRECAST CONCRETE PANEL 150MM - RESENE STACK
- 02** PRECAST CONCRETE PANEL 170MM - RESENE QUILL GREY
- 03** PRECAST CONCRETE PANEL 170MM GROOVES - RESENE JUDGE GREY
- 04** PRECAST CONCRETE PANEL 170MM GROOVES - RESENE DOUBLE SEA FOG
- 05** ROOFING INDUSTRIES TRIM RIB ROOF - RESENE THUNDER GREY
- 06** PRECAST CONCRETE PANEL 170MM NO GROOVES - RESENE JUDGE GREY
- PRECAST CONCRETE PANEL 150MM - RESENE BLUE BAYOUX
- DOOR SOLID PANEL - RESENE BLUE BAYOUX
- DOUBLE GLAZING
- TWO-WAY FIRE RATED SPANDREL (60)/60/60
- TWO-WAY FIRE RATED WALL (60)/60/60
- FRR (60)/60/60 TO UNDERSIDE OF FLOOR AND SUPPORTING ELEMENTS
- 07** -/60-SM FRR WINDOW

SHEET NOTES

1. ALL GLAZING TO COMPLY WITH NZS4223.3 2016
2. PAIR OF WINDOW RESTRICTOR STAYS REQUIRED TO BE INSTALLED TO ALL OPENING WINDOWS ON FIRST FLOOR AND AND OPENING WINDOWS ON GROUND FLOOR LEVEL ADJACENT TO AN ACCESS ROUTE
3. PENETRATIONS IN FIRE SPANDREL TO BE SEALED WITH FIRE COLLAR TO THE SAME RATING AS THE PC PANEL.

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
 CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

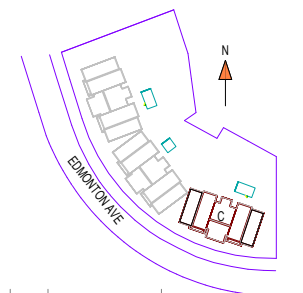
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**PROPOSED BLOCK C ELEVATIONS
 (SOUTH & WEST)**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR

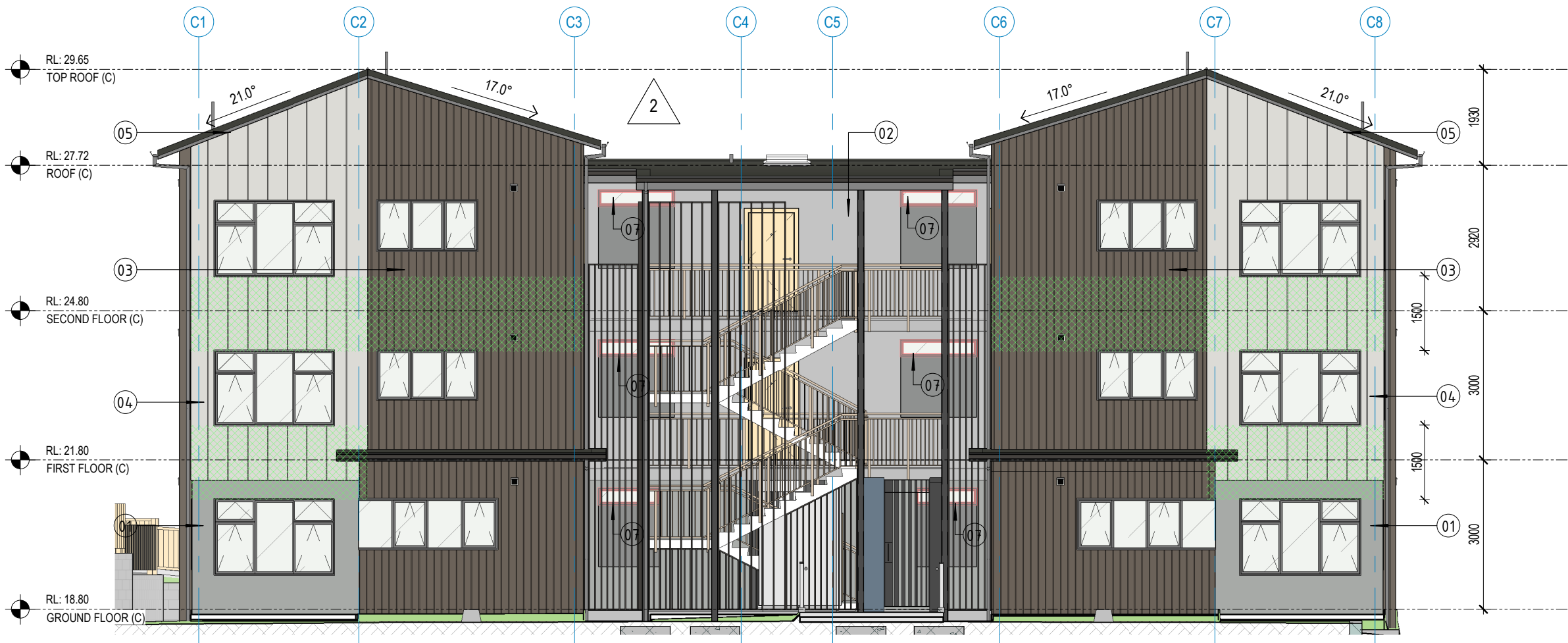


SHEET NUMBER

A5-A4061

REVISION

2



SCALE: 1 : 100
 01 / A5-A3060
SOUTH ELEVATION - BLOCK C 01

NZBC CLAUSE E2: BUILDING ENVELOPE RISK MATRIX - EAST ELEVATION

RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH	SUBTOTAL
WIND ZONE	0	0	1	2	0
NUMBER OF STOREYS	0	1	2	4	4
ROOF/WALL INTERSECTION DESIGN	0	1	3	5	0
EAVES WIDTH	0	1	2	5	5
ENVELOPE COMPLEXITY	0	1	3	6	0
DECK DESIGN	0	2	4	6	0
				Total:	9

NZBC CLAUSE E2: BUILDING ENVELOPE RISK MATRIX - NORTH ELEVATION

RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH	SUBTOTAL
WIND ZONE	0	0	1	2	0
NUMBER OF STOREYS	0	1	2	4	4
ROOF/WALL INTERSECTION DESIGN	0	1	3	5	0
EAVES WIDTH	0	1	2	5	5
ENVELOPE COMPLEXITY	0	1	3	6	0
DECK DESIGN	0	2	4	6	2
				Total:	11

NZBC CLAUSE E2: BUILDING ENVELOPE RISK MATRIX - WEST ELEVATION

RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH	SUBTOTAL
WIND ZONE	0	0	1	2	0
NUMBER OF STOREYS	0	1	2	4	4
ROOF/WALL INTERSECTION DESIGN	0	1	3	5	0
EAVES WIDTH	0	1	2	5	5
ENVELOPE COMPLEXITY	0	1	3	6	0
DECK DESIGN	0	2	4	6	0
				Total:	9

NZBC CLAUSE E2: BUILDING ENVELOPE RISK MATRIX - SOUTH ELEVATION

RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH	SUBTOTAL
WIND ZONE	0	0	1	2	0
NUMBER OF STOREYS	0	1	2	4	4
ROOF/WALL INTERSECTION DESIGN	0	1	3	5	0
EAVES WIDTH	0	1	2	5	5
ENVELOPE COMPLEXITY	0	1	3	6	0
DECK DESIGN	0	2	4	6	2
				Total:	11



Ad Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

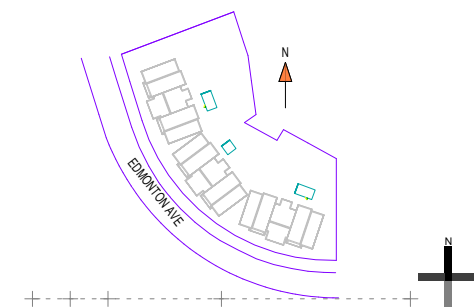
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

RISK MATRIX-E2

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

NONE

SHEET SIZE

A3=100%

PRINT IN COLOUR



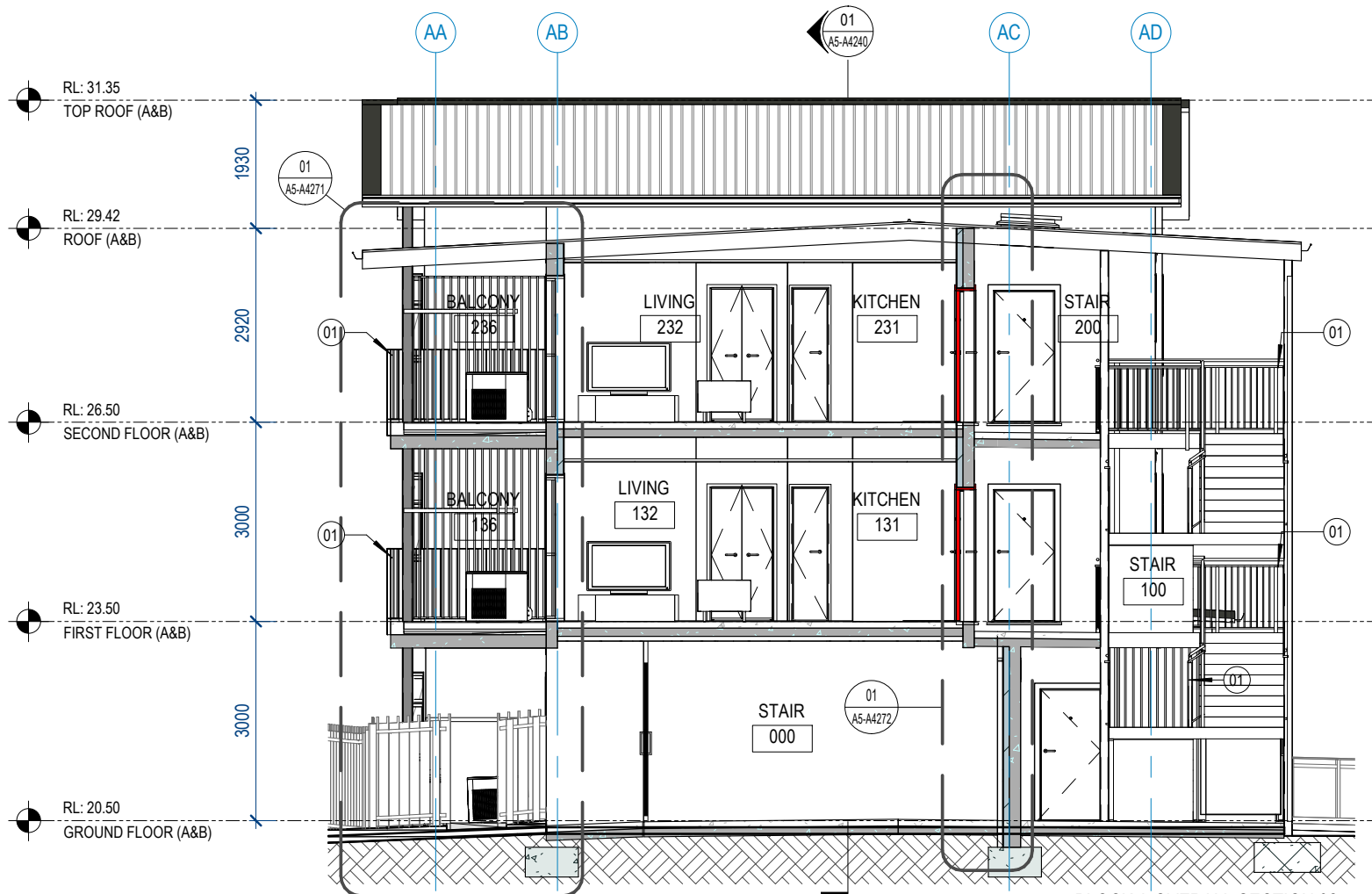
SHEET NUMBER

A5-A4070

REVISION

1

Auckland Council
18/12/2020
BCO10313722-3
APPROVED
BUILDING CONSENT PLANS



SCALE: 1:100
 01 / A5-A2340
 BLOCK A OVERALL SECTION 02

- KEY NOTES / LEGEND**
- INTERTENANCY FIRE RATED WALL (TWO WAY FRR(60)/60/60 TO THE WALL AND ITS SUPPORTING ELEMENTS)
 - TWO WAY FRR(60)/60/60 TO THE WALL AND ITS SUPPORTING ELEMENTS
 - 01 HANDRAIL / BALUSTRADE
 - 02 BARRIER WITH APRON PROJECTION

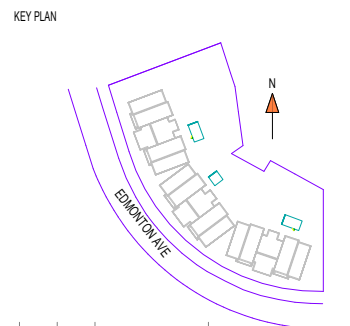
Young+Richards+

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com youngrichards.com
 +64 9 520 6444

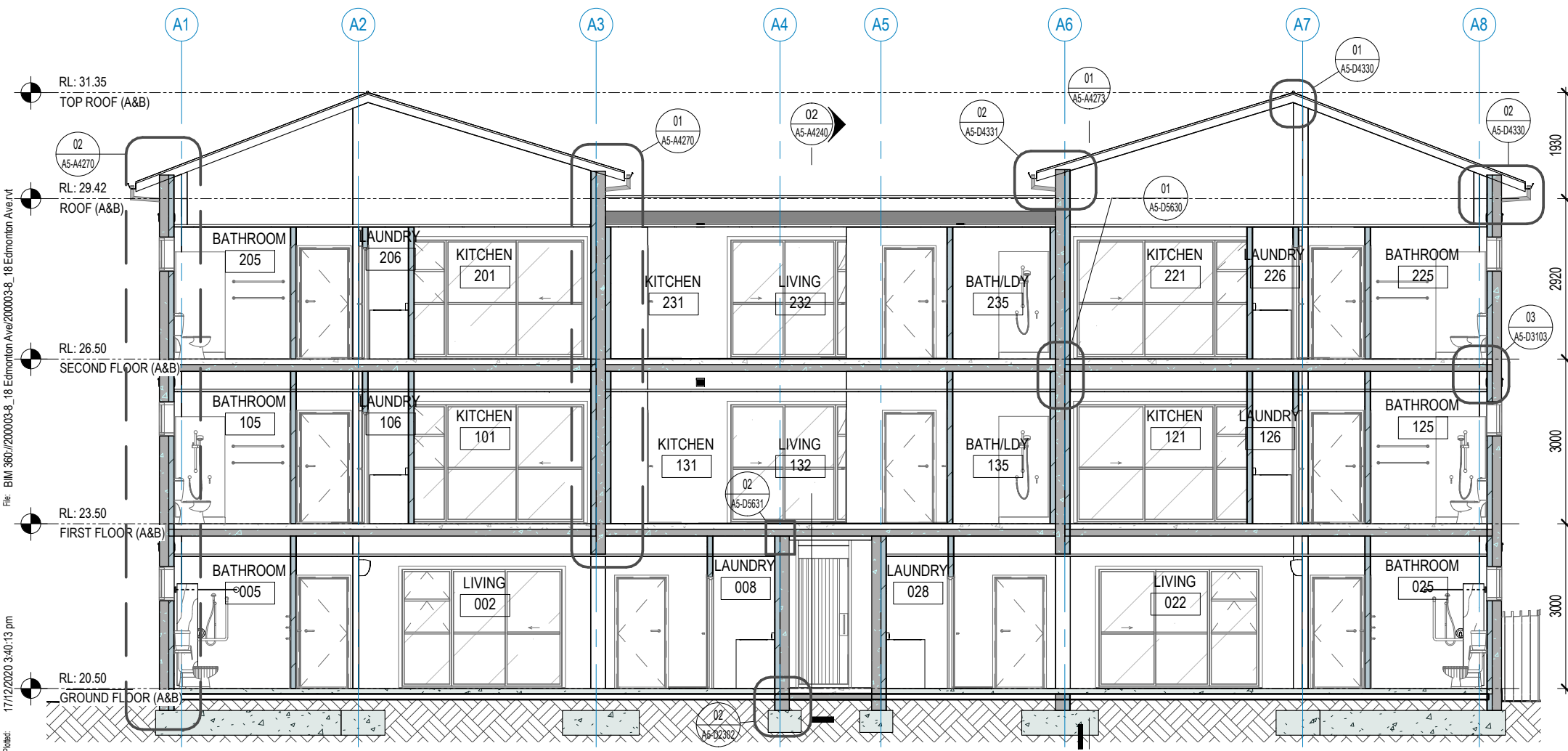


CLIENT
DOMINION CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER
200003



- SHEET NOTES**
- ALL GLAZING TO COMPLY WITH NZS4223.3 2016
 - PAIR OF WINDOW RESTRICTOR STAYS REQUIRED TO BE INSTALLED TO ALL OPENING WINDOWS ON FIRST FLOOR AND OPENING WINDOWS ON GROUND FLOOR LEVEL ADJACENT TO AN ACCESS ROUTE
 - PENETRATIONS IN FIRE SPANDEL TO BE SEALED WITH FIRE COLLAR TO THE SAME RATING AS THE PC PANEL.



SCALE: 1:100
 01 / A5-A2340
 BLOCK A OVERALL SECTION 01

STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
PROPOSED BUILDING SECTIONS

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1:100

SHEET SIZE
A3=100%

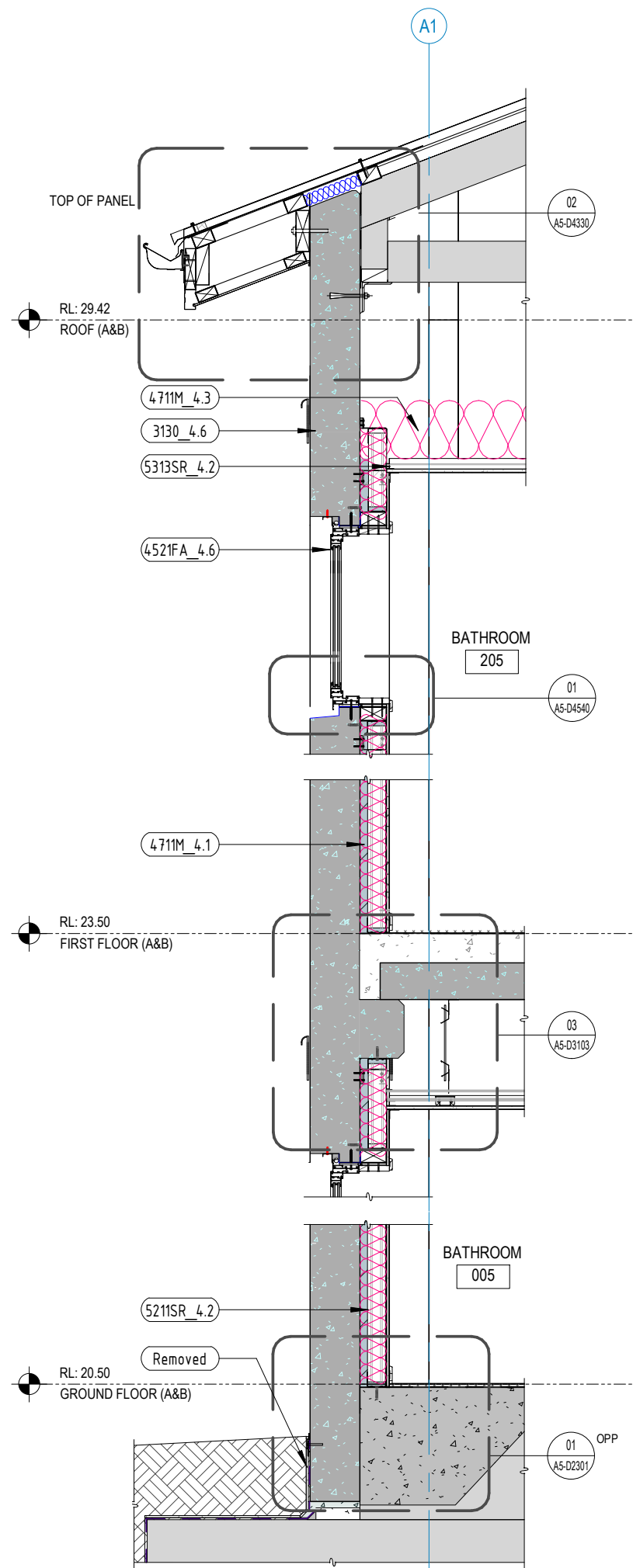
PRINT IN COLOUR

SHEET NUMBER
A5-A4240

REVISION
1

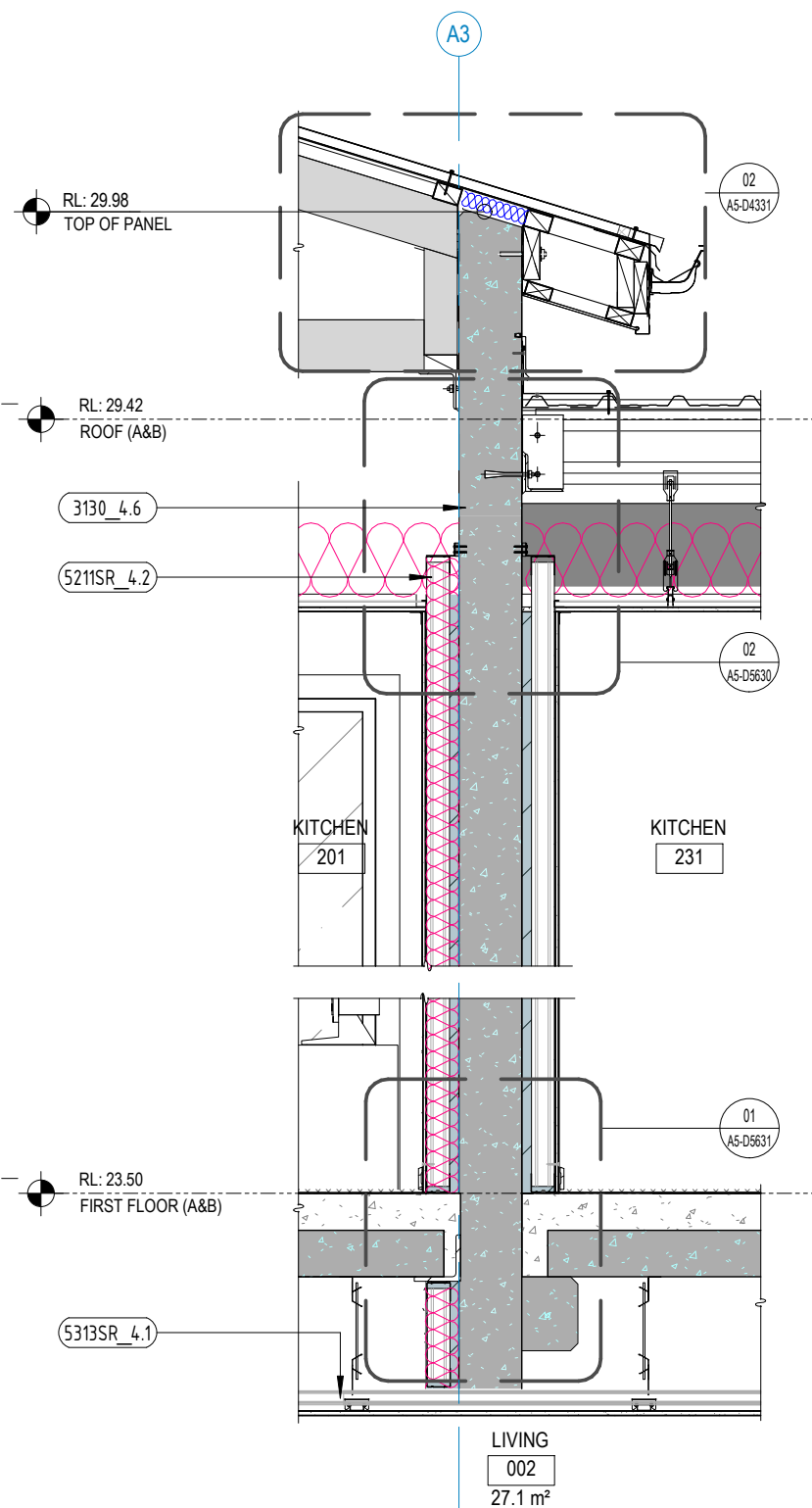
File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
 Print: 17/12/2020 3:40:13 pm

Key Value	Keynote Text
3130_4.6	CONCRETE COLOUR
4521FA_4.6	FAIRVIEW ARCHITECTURAL CUBIC AC35 SERIES WINDOW
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4711M_4.3	MAMMOTH CEILING BLANKET - R3.6 - 225MM THICK
5211SR_4.2	SRP™ TRACK SECTIONS 64MM
5313SR_4.1	CEILING BATTEN SYSTEM - SUSPENSION - TOP CROSS RAIL SYSTEM
5313SR_4.2	SRP™ CEILING BATTEN 35MM



SCALE: 1 : 20
01 / A5-A4240

WALL SECTION 02



SCALE: 1 : 20
01 / A5-A4240

WALL SECTION 01

Young+Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

PROPOSED WALL SECTIONS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 20

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

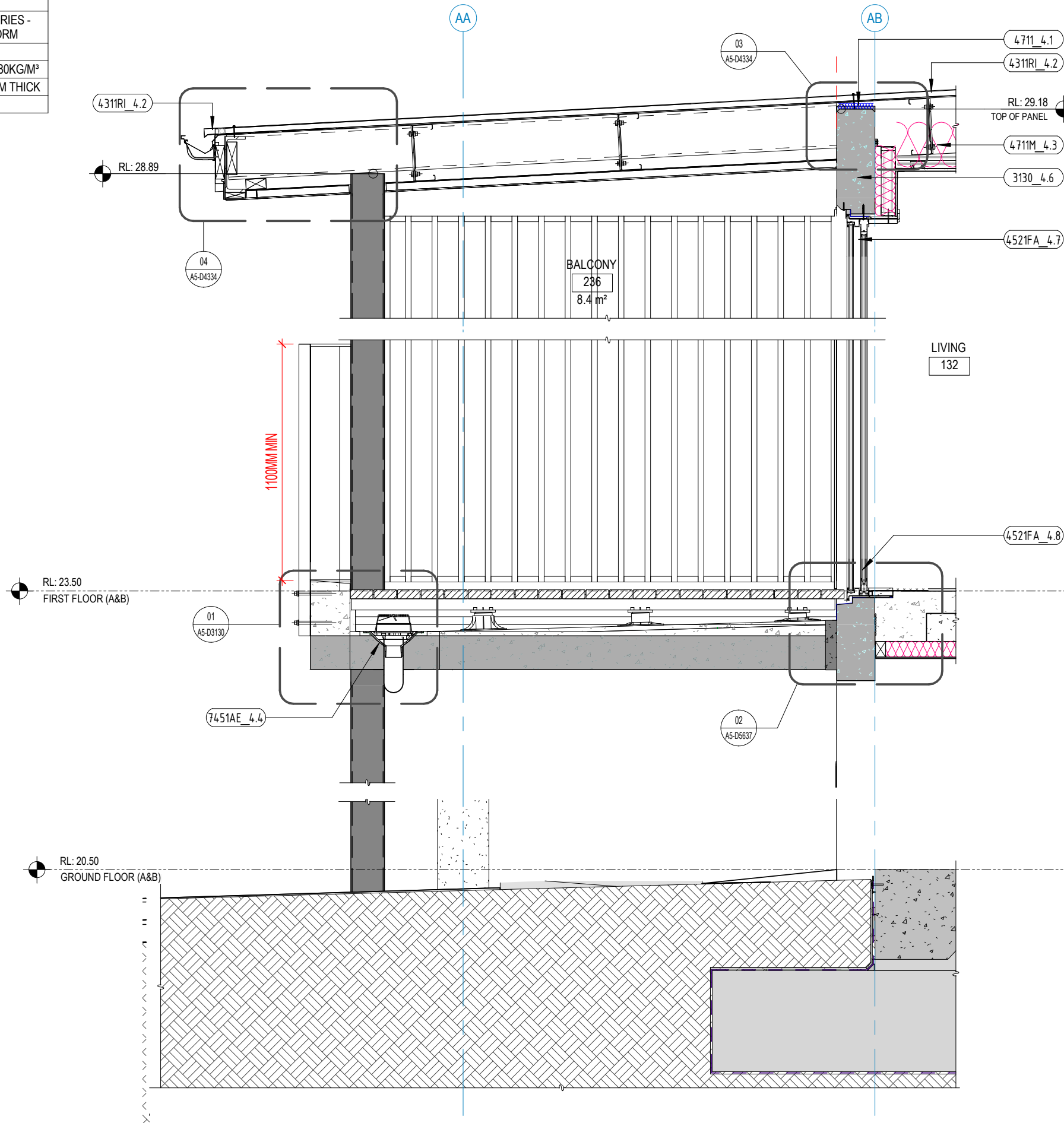
A5-A4270

REVISION

1



Key Value	Keynote Text
3130_4.6	CONCRETE COLOUR
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4521FA_4.7	FAIRVIEW ARCHITECTURAL CUBIC AC35 SERIES - EXTERNAL STACKING DOOR, 35MM PLATFORM
4521FA_4.8	PLASTIC PACKER
4711_4.1	ROCKWOOL PROROX SL 950SA, DENSITY 80KG/M³
4711M_4.3	MAMMOTH CEILING BLANKET - R3.6 - 225MM THICK
7451AE_4.4	ALLPROOF SUREFLOW80 OVERFLOW



SCALE: 1 : 20
02 / A5-A4240

WALL SECTION 01

Young+Richards+

40 Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

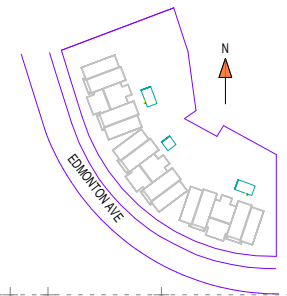
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

PROPOSED WALL SECTIONS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 20

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A4271

REVISION

1



Key Value	Keynote Text
3130_4.6	CONCRETE COLOUR
4521FA_4.6	FAIRVIEW ARCHITECTURAL CUBIC AC35 SERIES WINDOW
4581NZ_4.2	NZ FIRE DOORS DOORSET - UTILITY ROOM
4711_4.1	ROCKWOOL PROROX SL 950SA, DENSITY 80KG/M³
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4711M_4.3	MAMMOTH CEILING BLANKET - R3.6 - 225MM THICK
5313SR_4.1	CEILING BATTEN SYSTEM - SUSPENSION - TOP CROSS RAIL SYSTEM

Young+Richards+

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

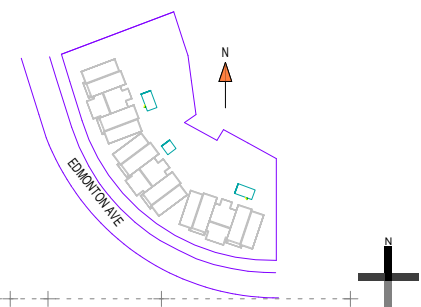
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

PROPOSED WALL SECTIONS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 20

SHEET SIZE

A3=100%

PRINT IN COLOUR

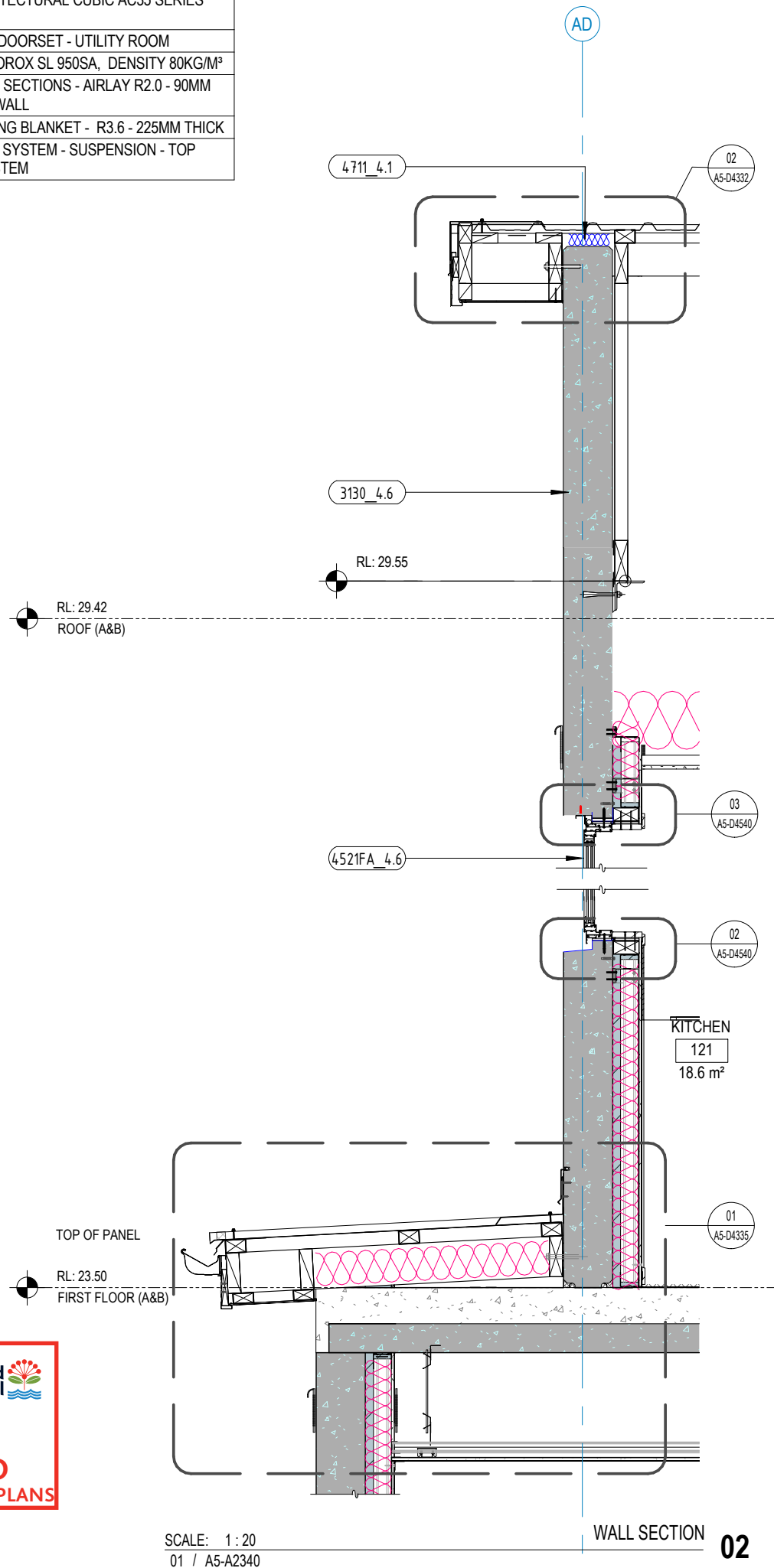


SHEET NUMBER

A5-A4272

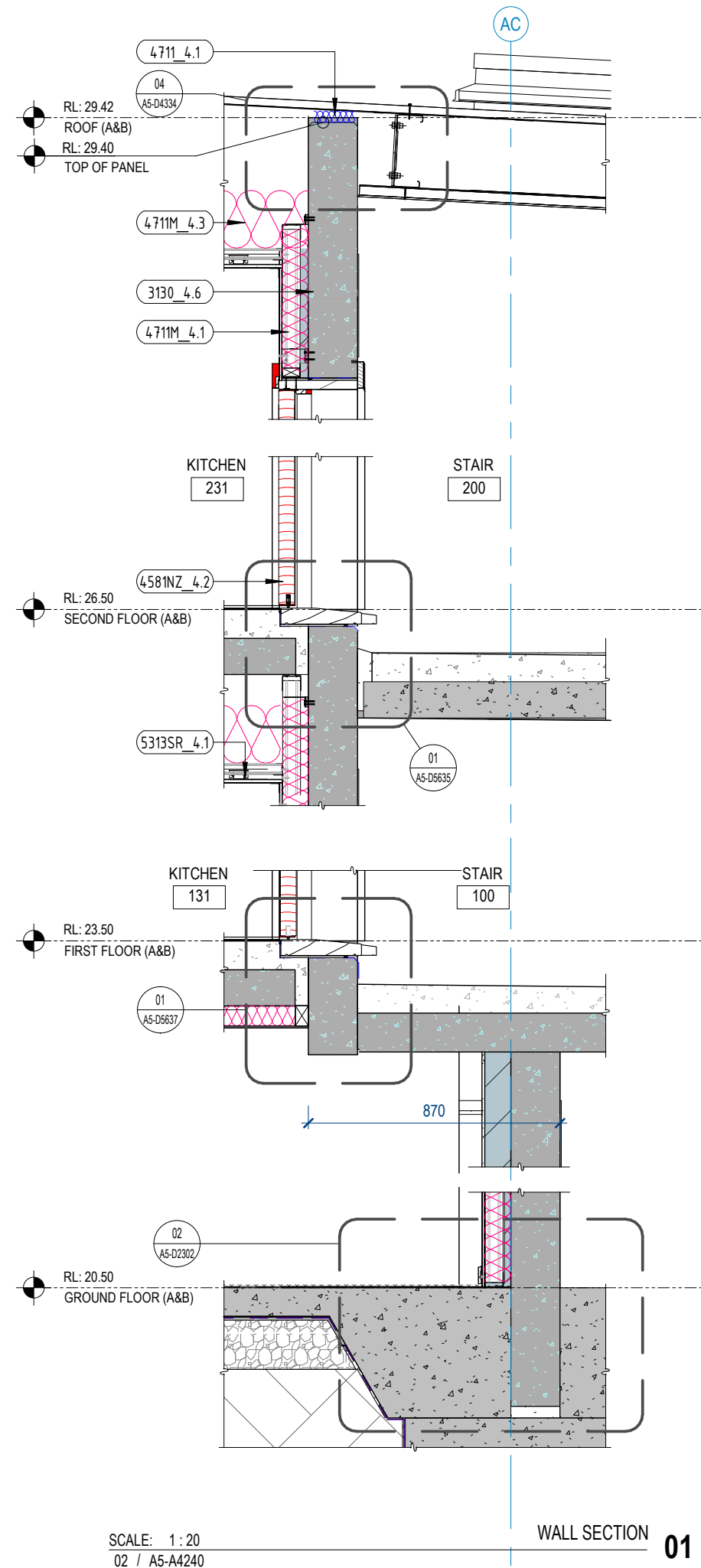
REVISION

1



SCALE: 1 : 20
01 / A5-A2340

02

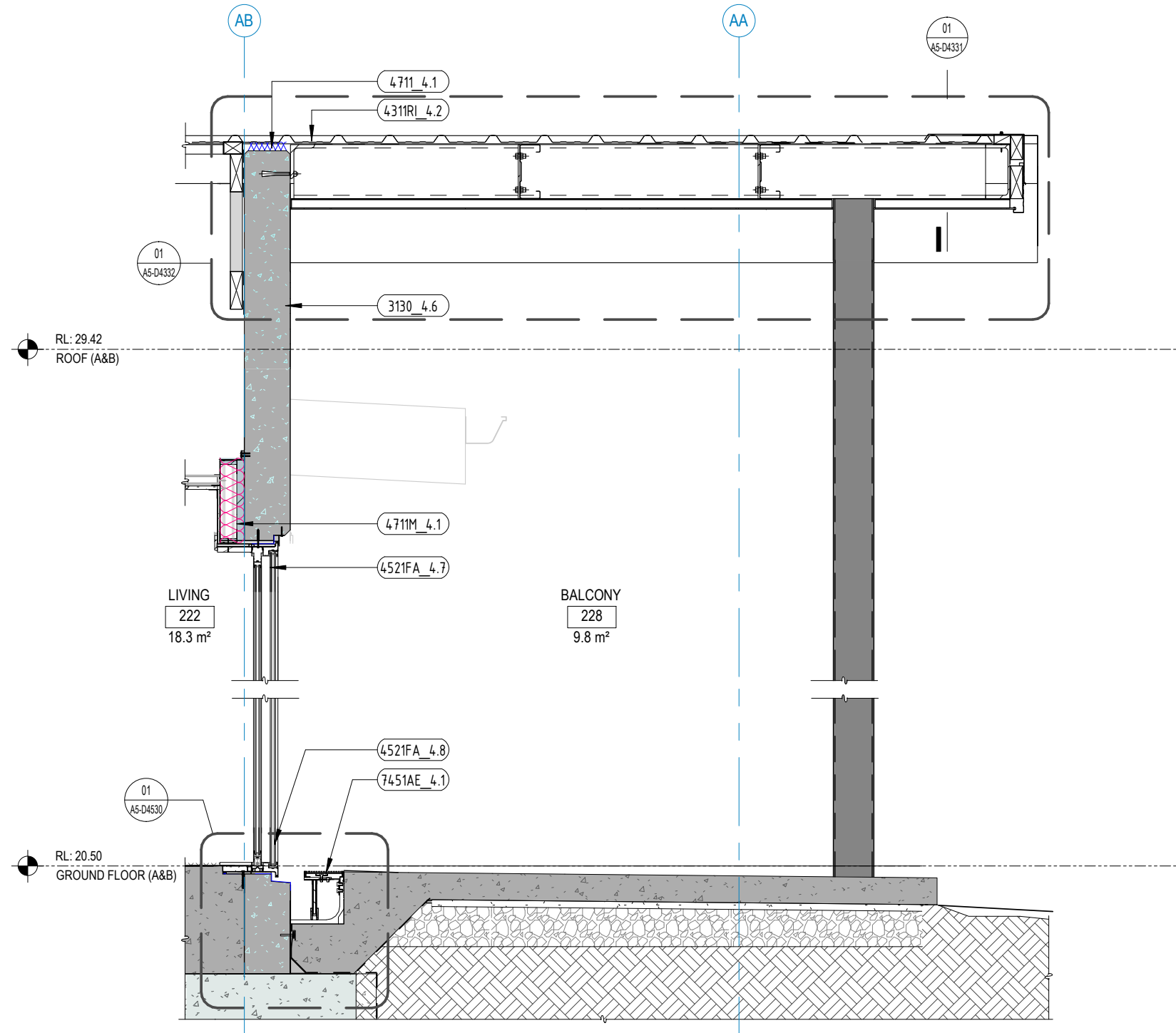


SCALE: 1 : 20
02 / A5-A4240

01



Key Value	Keynote Text
3130_4.6	CONCRETE COLOUR
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4521FA_4.7	FAIRVIEW ARCHITECTURAL CUBIC AC35 SERIES - EXTERNAL STACKING DOOR, 35MM PLATFORM
4521FA_4.8	PLASTIC PACKER
4711_4.1	ROCKWOOL PROROX SL 950SA, DENSITY 80KG/M³
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
7451AE_4.1	ALLPROOF PLASTIC DOMESTIC DRAINAGE CHANNEL SYSTEM



SCALE: 1:20
01 / A5-A2340

WALL SECTION 01

Young+Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

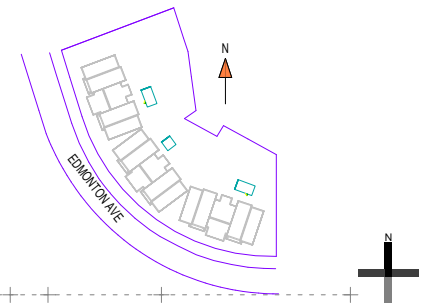
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

PROPOSED WALL SECTIONS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:20

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A4273

REVISION

1





CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

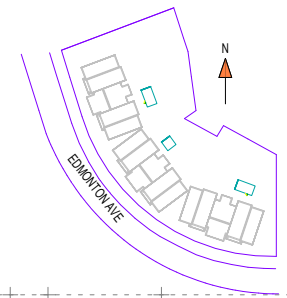
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

BLOCK A&C GL STAIR SETOUT PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 50

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A5040

REVISION

1

KEYNOTE

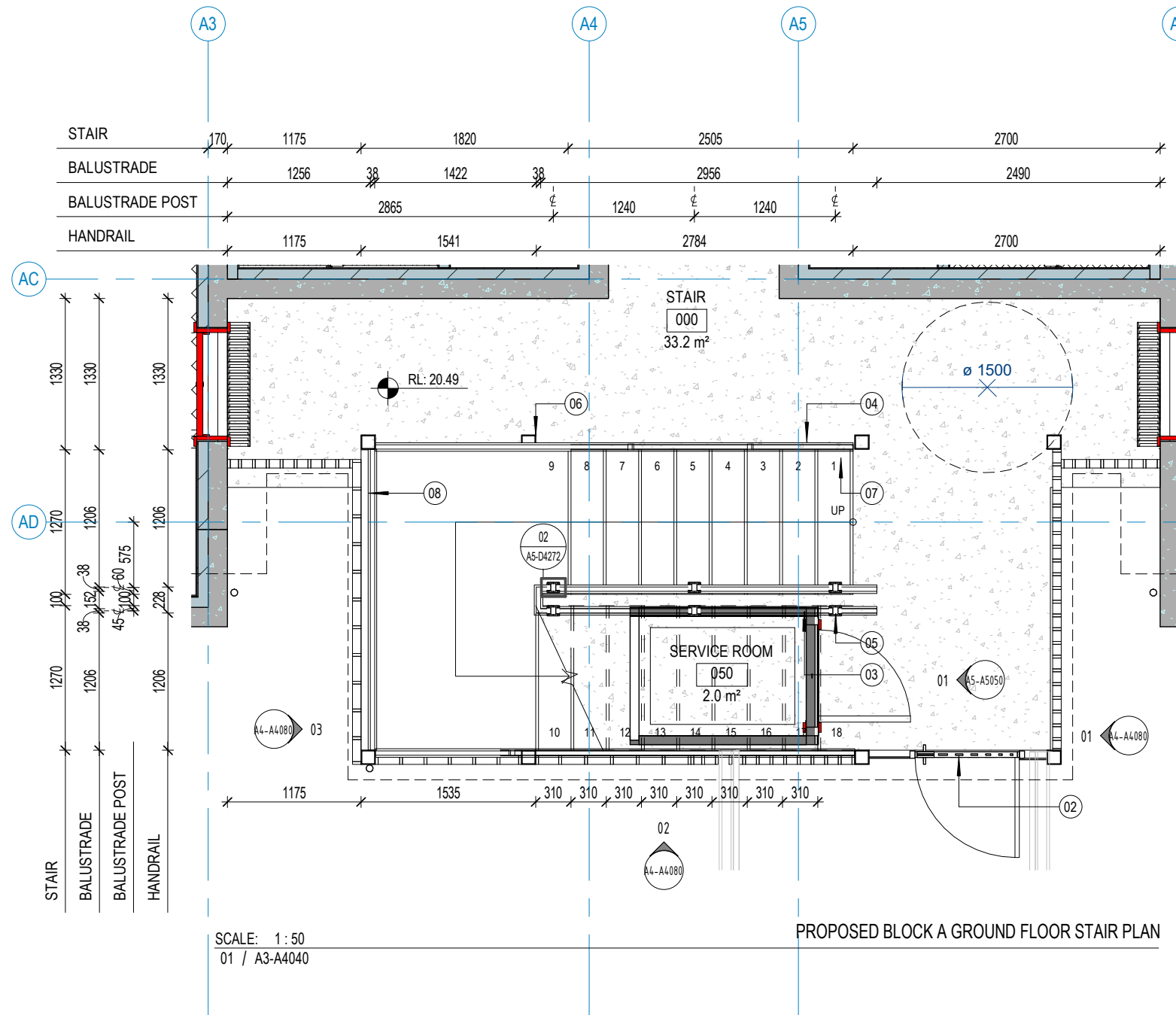
- 01 DRAIN CHANNEL
- 02 METAL SCREEN / GATE
- 03 TOP MOUNT BALUSTRADE
- 04 SIDE FIXING BALUSTRADE
- 05 BALUSTRADE BASEPLATE
- 06 STRUCTURAL FIRE RATED STEEL POST
- 07 HANDRAIL
- 08 PROPOSED STAIR SCREEN

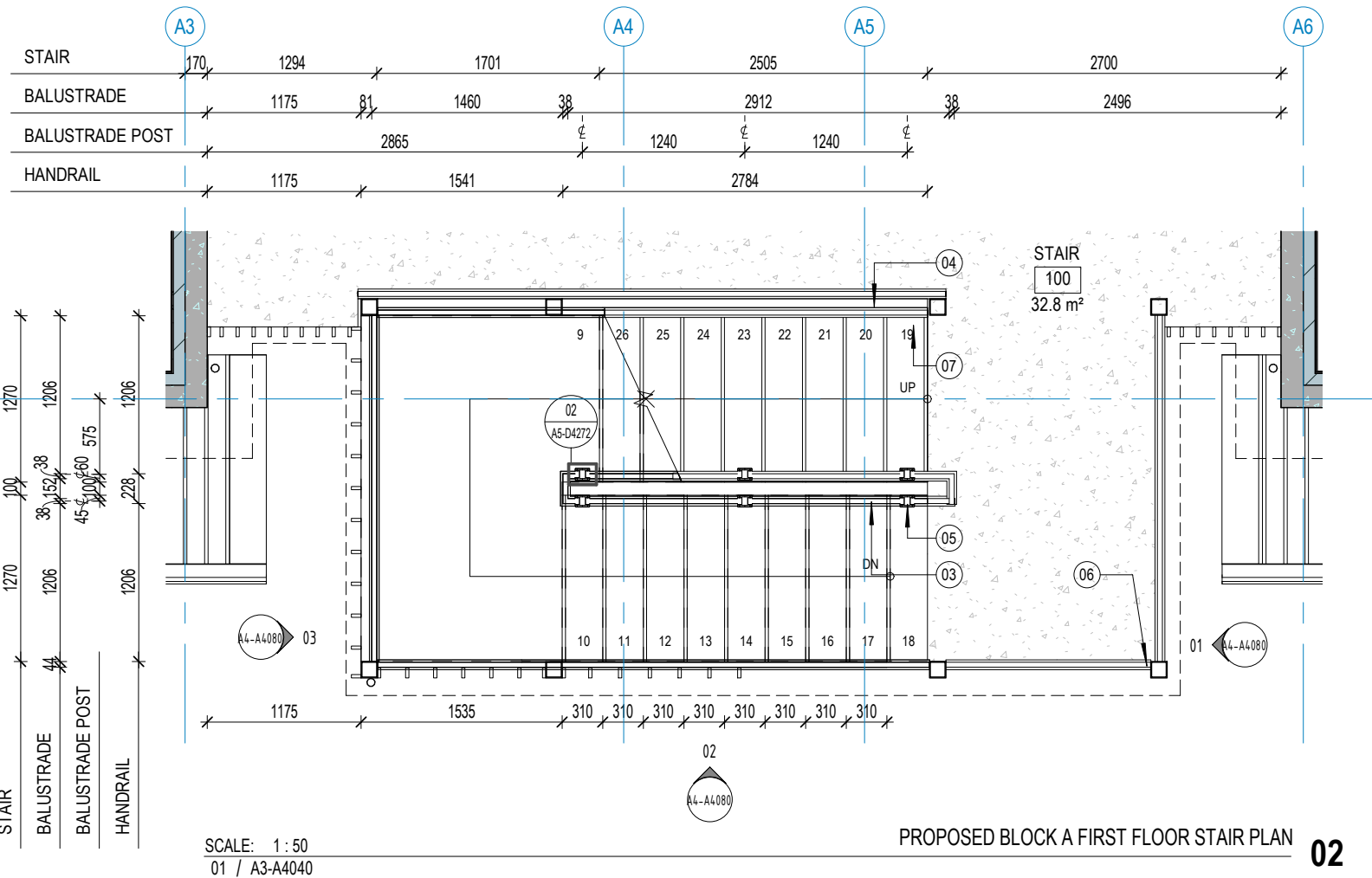
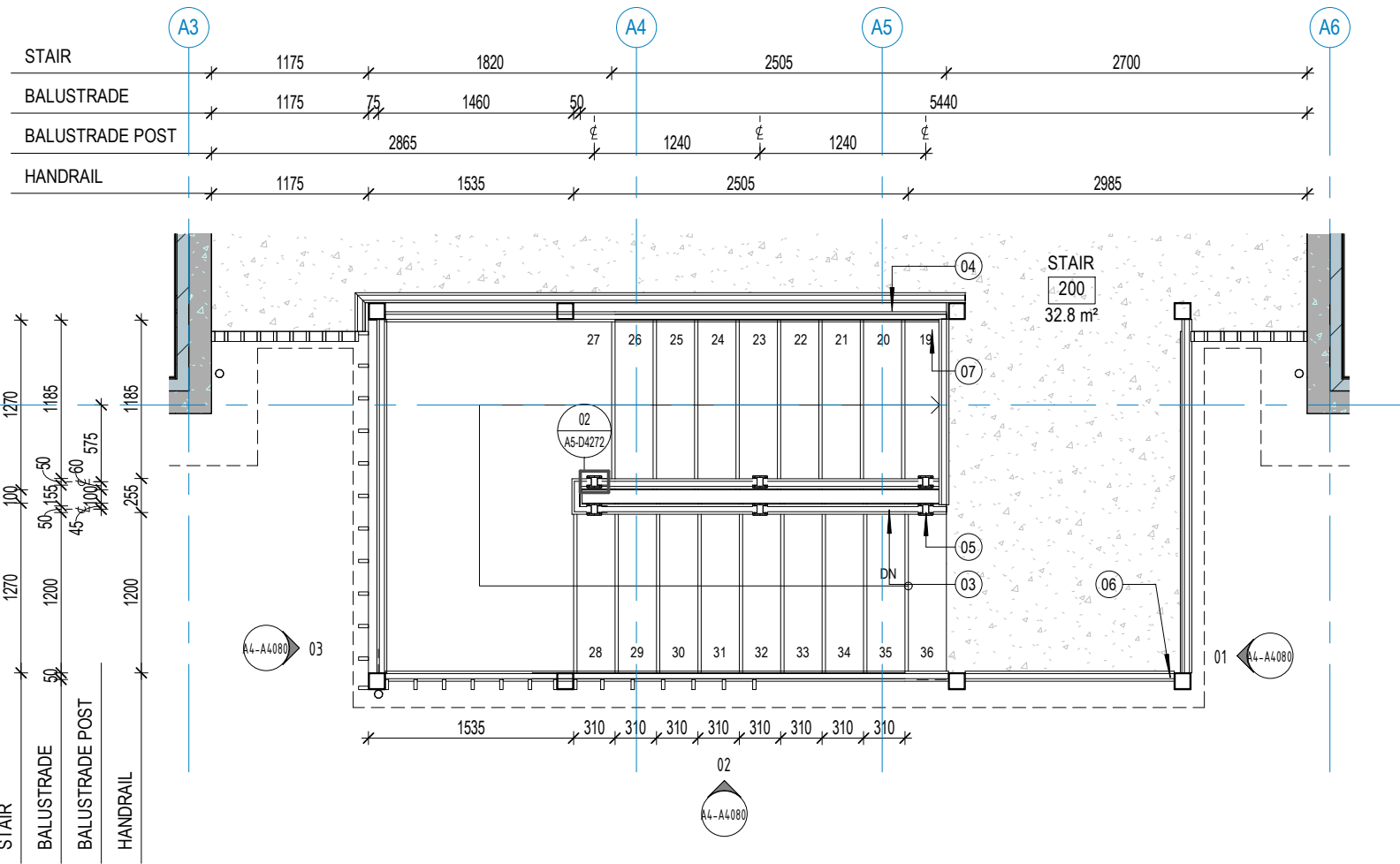
SHEET NOTES

- REFER TO GENERAL NOTES, SHEET A90.01
- REFER TO CONSTRUCTION NOTES, SHEET A90.01
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. RED DOOR NUMBER TAGS WITH [FD] REQUIRES FRR DOOR AS PER FIRE REPORT. READ IN CONJUNCTION WITH FIRE REPORT BY "FIREFORCE LTD".
- READ IN CONJUNCTION WITH STRUCTURAL DRAWING SET BY "KIRK ROBERTS CONSULTING LTD".

LEGEND

- PRECAST WALL
- STEEL STUD
- PRECAST CONCRETE FLOOR
- ROOF OUTLINE





KEYNOTE

- 01 DRAIN CHANNEL
- 02 METAL SCREEN / GATE
- 03 TOP MOUNT BALUSTRADE
- 04 SIDE FIXING BALUSTRADE
- 05 BALUSTRADE BASEPLATE
- 06 STRUCTURAL FIRE RATED STEEL POST
- 07 HANDRAIL
- 08 PROPOSED STAIR SCREEN

SHEET NOTES

1. REFER TO GENERAL NOTES, SHEET A90.01
2. REFER TO CONSTRUCTION NOTES, SHEET A90.01
3. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
4. RED DOOR NUMBER TAGS WITH [FD] REQUIRES FRR DOOR AS PER FIRE REPORT. READ IN CONJUNCTION WITH FIRE REPORT BY "FIREFORCE LTD".
5. READ IN CONJUNCTION WITH STRUCTURAL DRAWING SET BY "KIRK ROBERTS CONSULTING LTD".

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

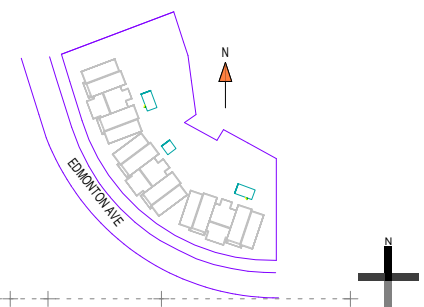
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

LEGEND

- PRECAST WALL
- STEEL STUD
- PRECAST CONCRETE FLOOR
- ROOF OUTLINE

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

BLOCK A&C L1 & L2 STAIR SETOUT PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 50

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A5041

REVISION

1



CLIENT

DOMINION
 CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

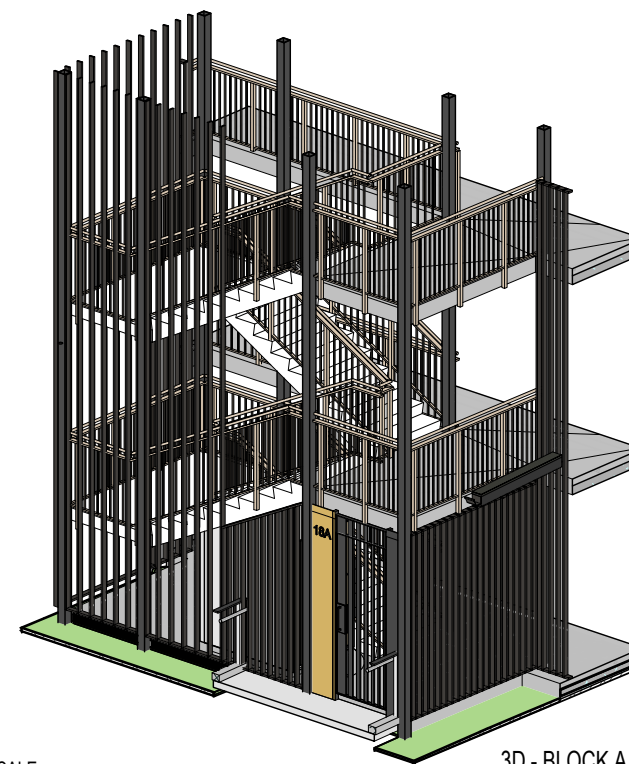
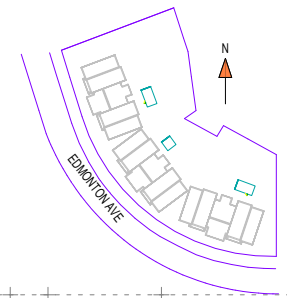
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

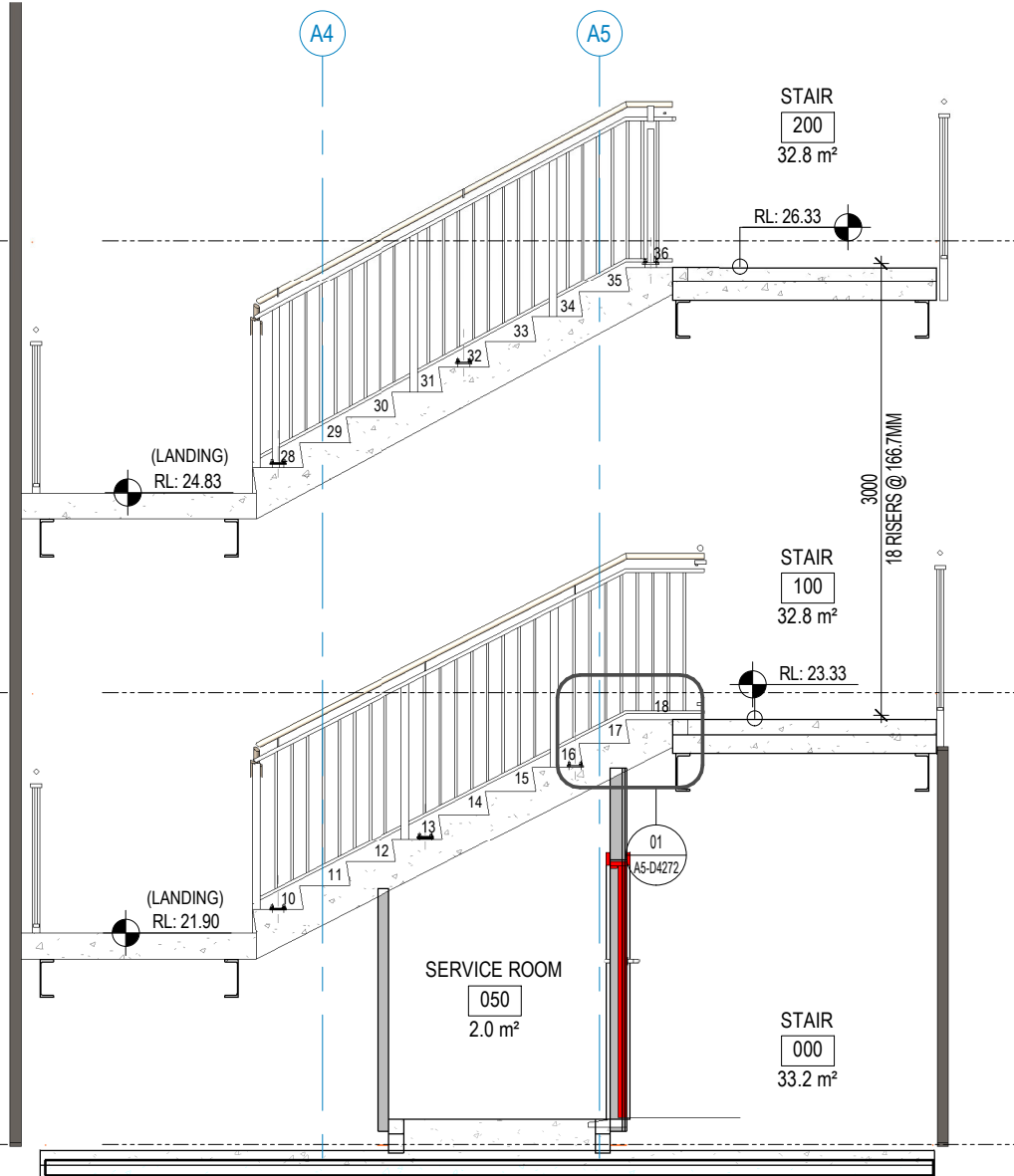
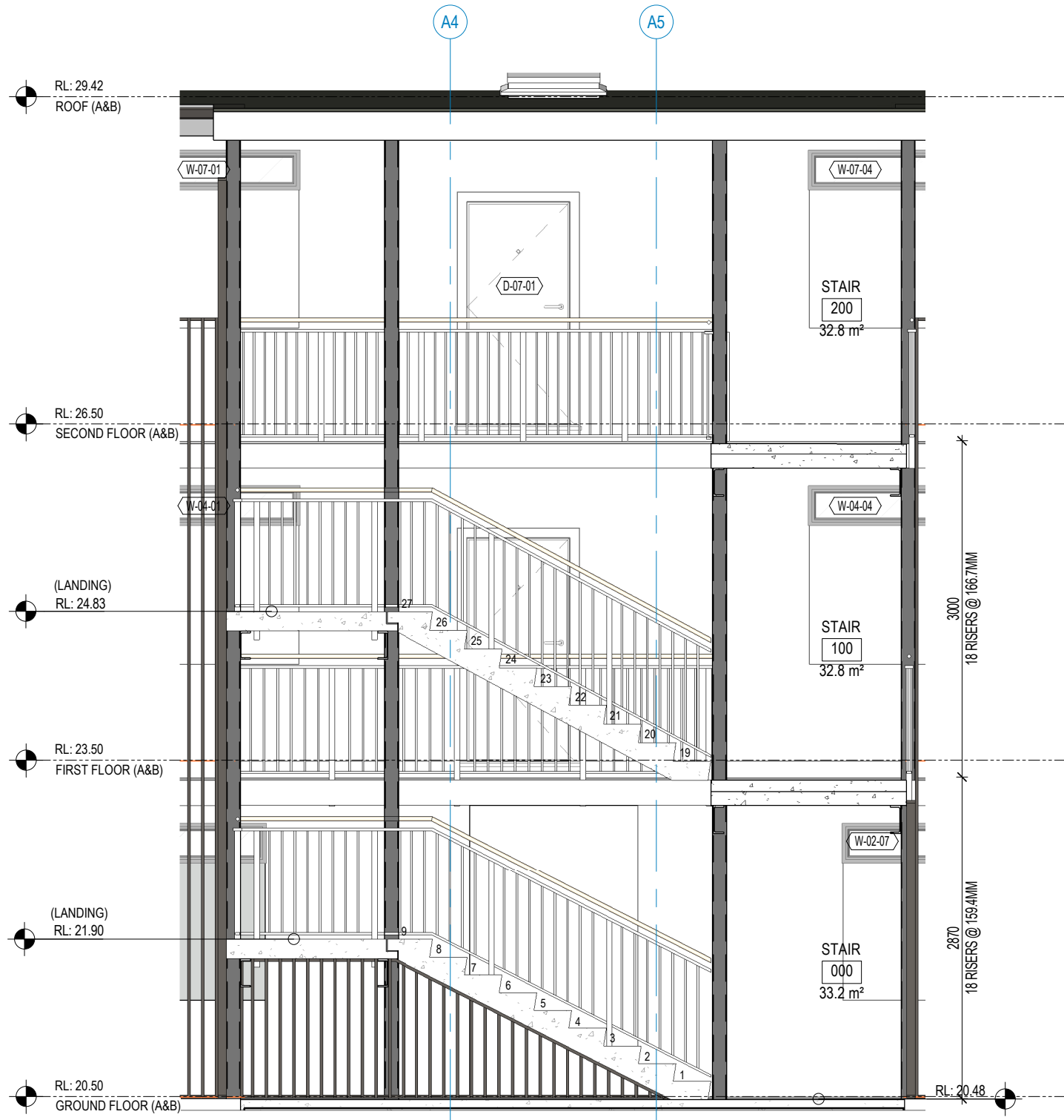
PROJECT NUMBER

200003

KEY PLAN



SCALE: 1/3D - BLOCK A STAIR 03



BALUSTRADE POST 1703 986
 SCALE: 1:50 BLOCK A STAIR SECTION 02 02

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
BLOCK A&C STAIR SECTIONS

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1:50

SHEET NUMBER
A5-A5042

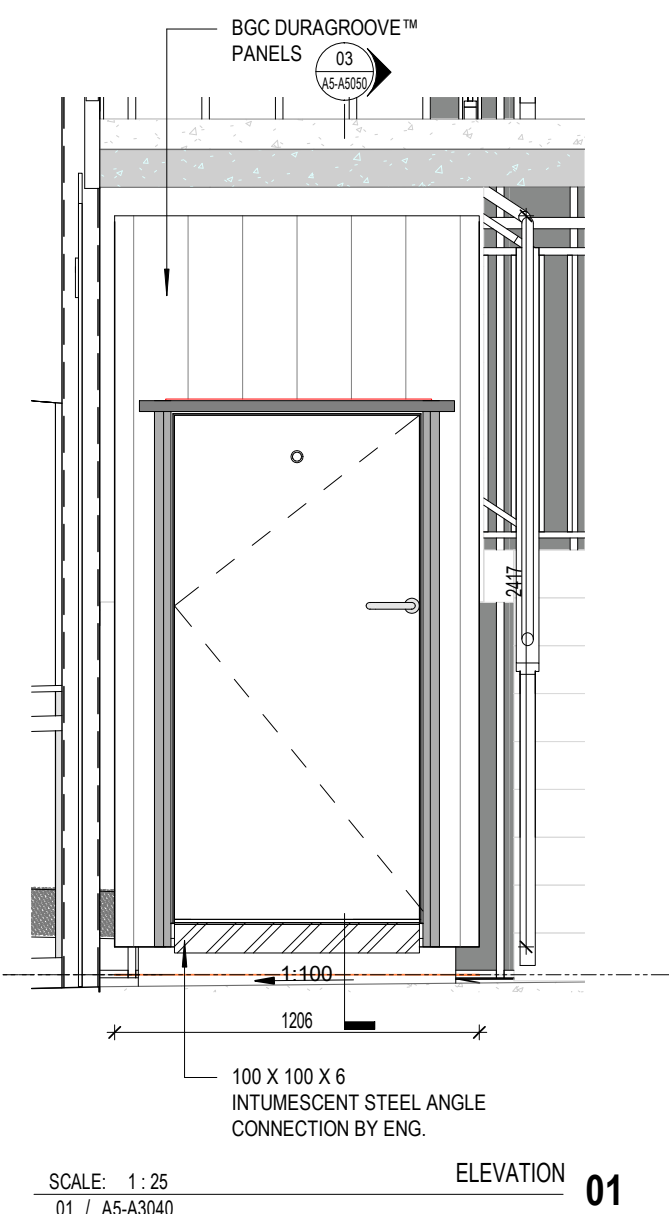
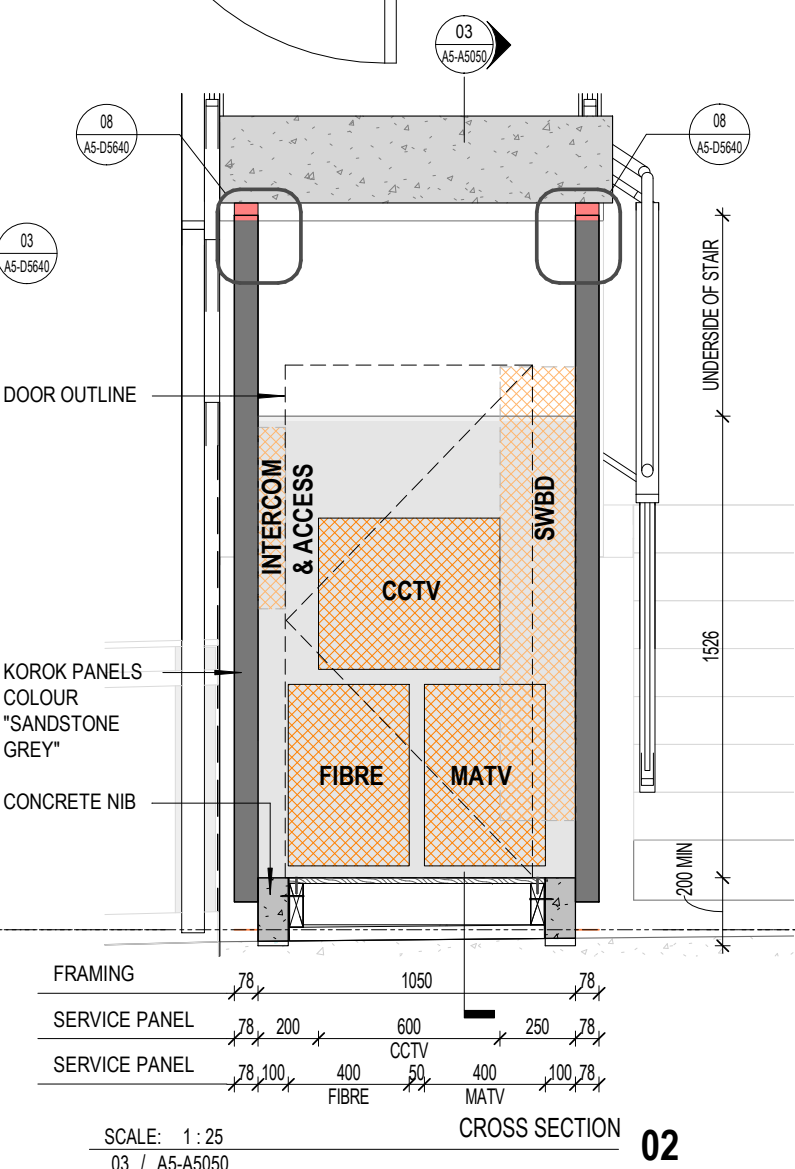
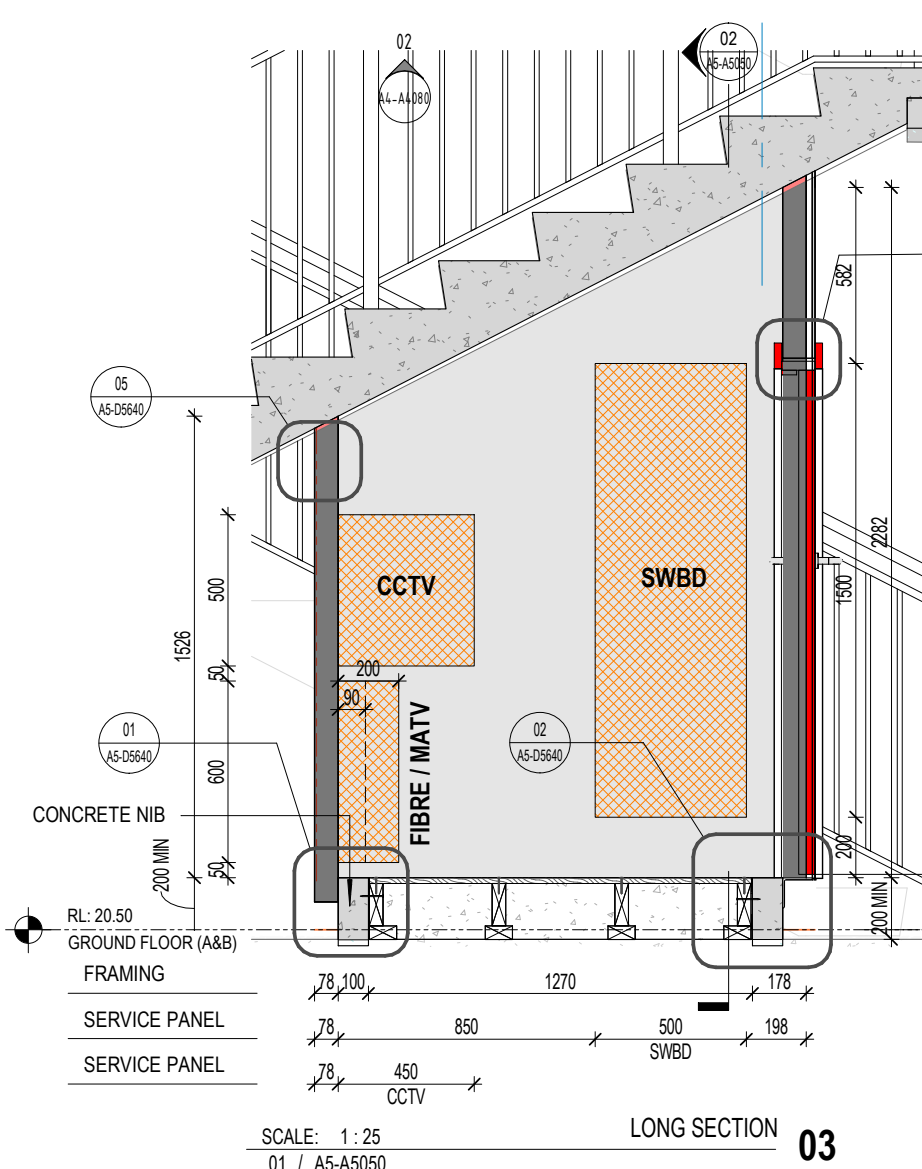
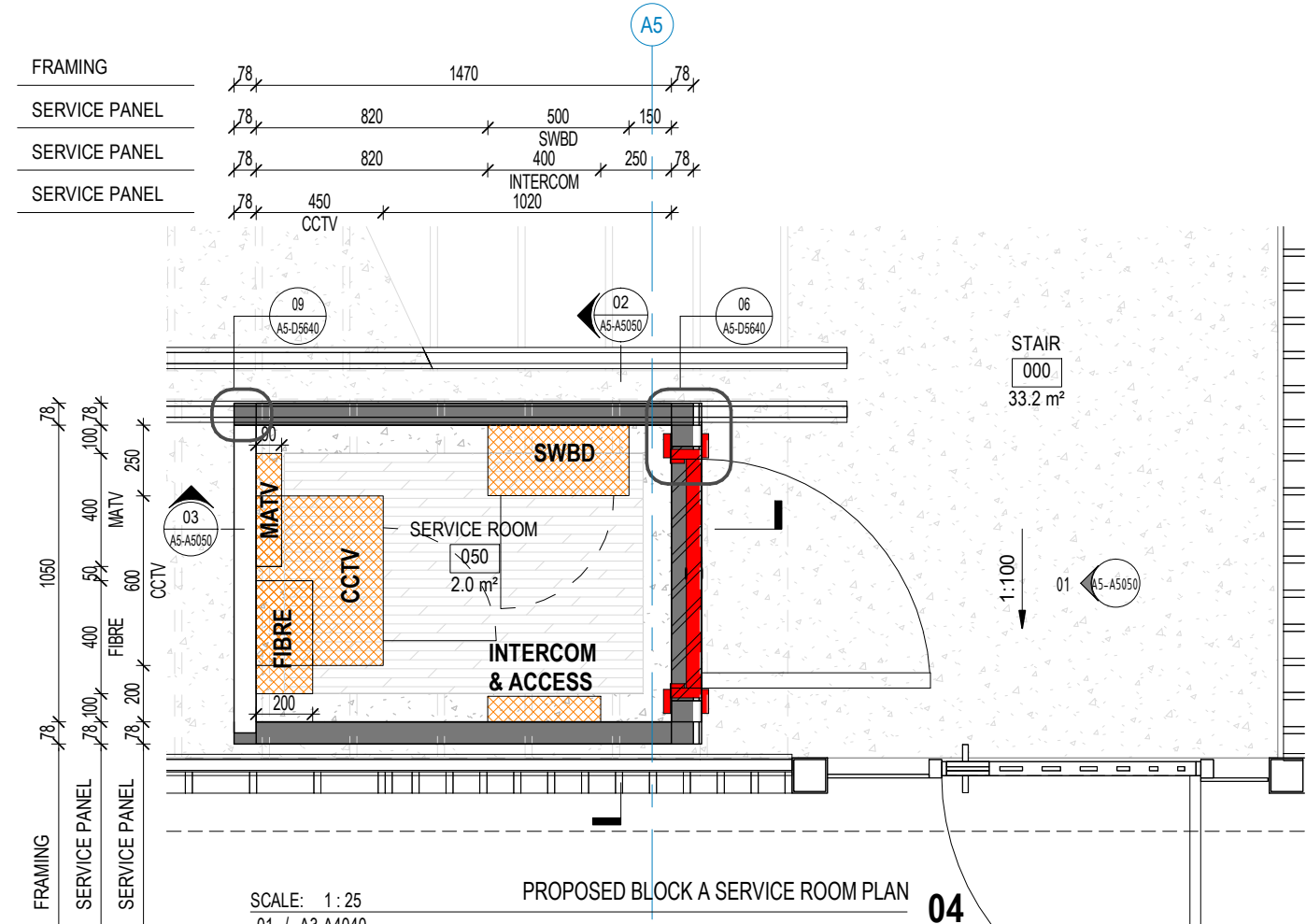
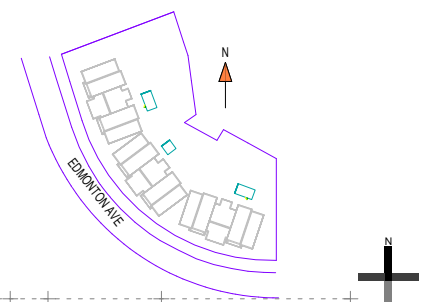
SHEET SIZE
A3=100%

PRINT IN COLOUR

REVISION
1



CLIENT
DOMINION CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061
 PROJECT NUMBER
200003
 KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
BLOCK A&C GL SERVICE ROOM PLAN

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1:25

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-A5050

REVISION
1



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

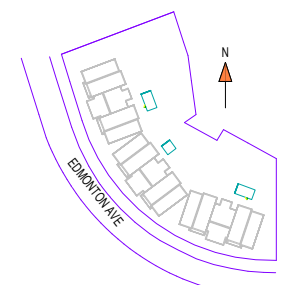
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

TYPICAL BIKE AND BIN STORAGE PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE
As indicated

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER

A5-A5080

REVISION

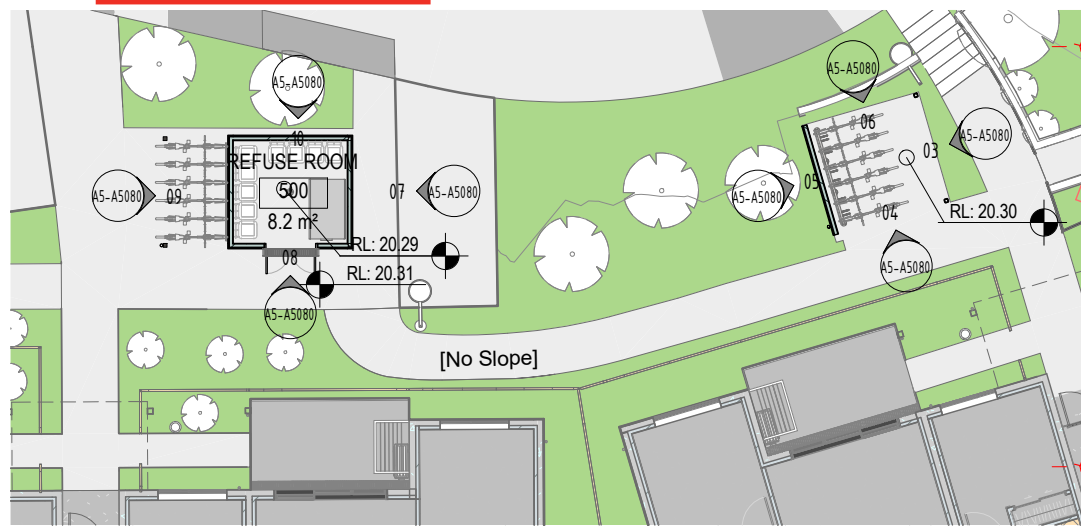
2

KEY NOTES / LEGEND

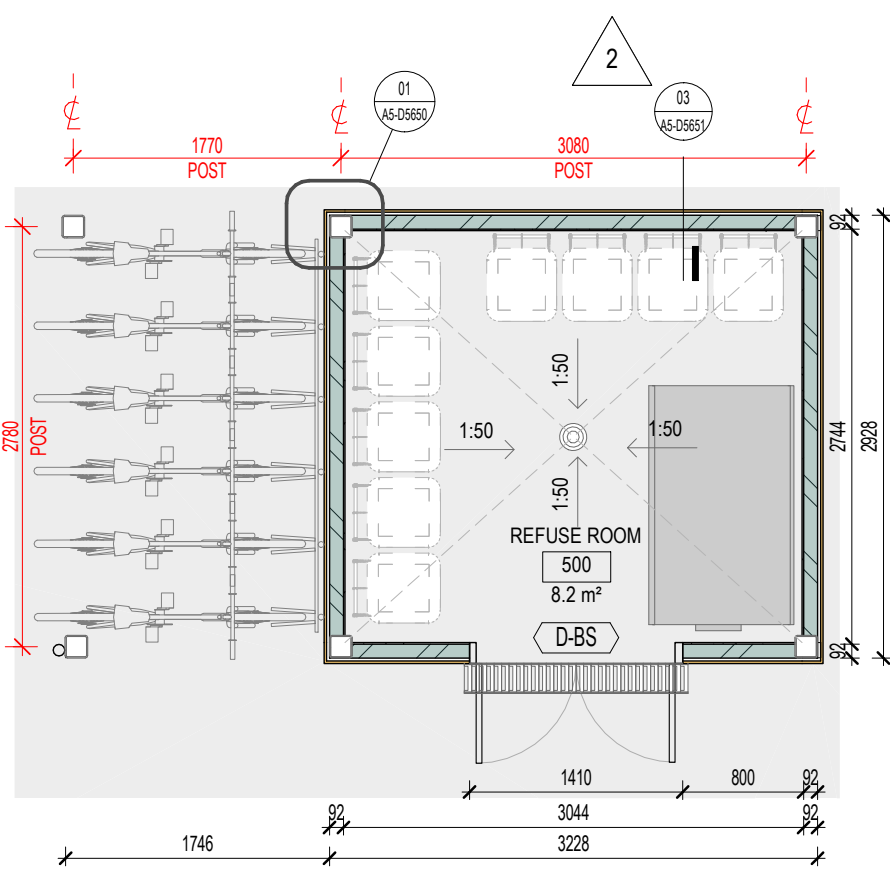
- 01 METALCRAFT T-RIB ROOF
- 02 VERTICAL METAL CLADDING
- 03 STEEL POST
- 04 BIKE RACKS

SHEET NOTES

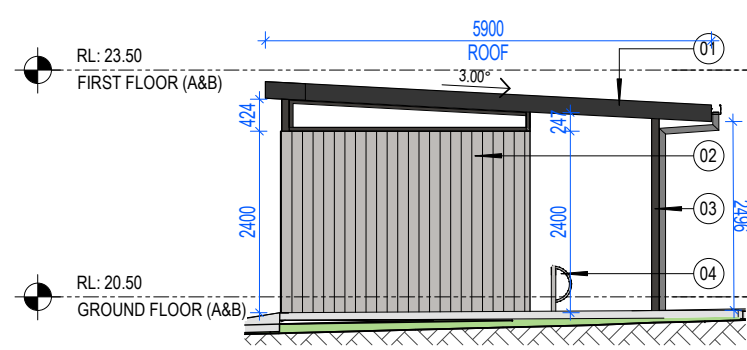
1. REFER TO APPROVED RESOURCE CONSENT DRAWINGS AS PROVIDED BY GREENWOOD ASSOCIATES LANDSCAPE ARCHITECTURE DATED 30/04/2020.
2. POST & ROOF STRUCTURE REFER TO STRUCTURAL ENGINEER'S DOCUMENTATION.



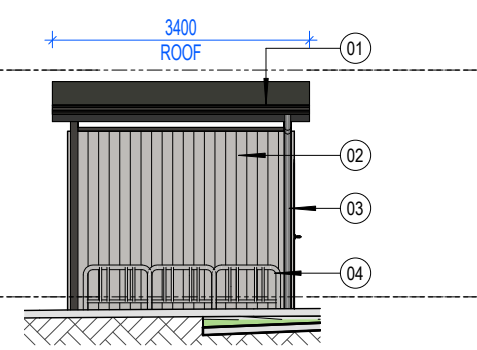
SCALE: 1:200
01 / A3-A4060
BIKE AND BIN STORAGE PLAN 01



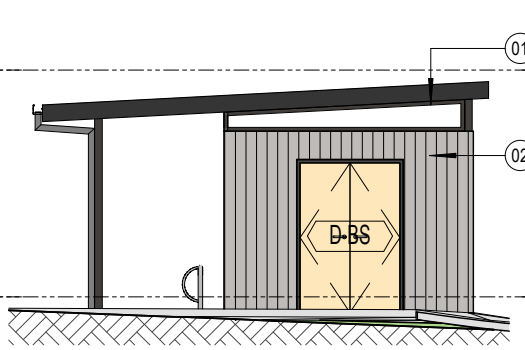
SCALE: 1:50
01 / A3-A4060
BIN STORAGE ENLARGED PLAN 02



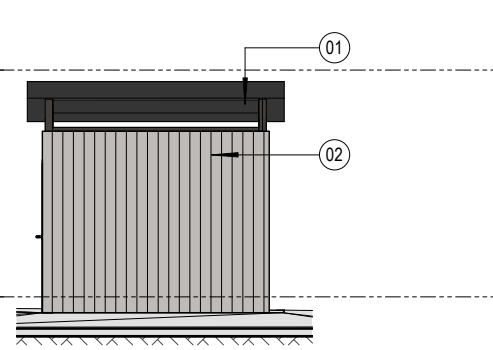
SCALE: 1:100
01 / A5-A5080
NORTH ELEVATION 10
BIN STORAGE



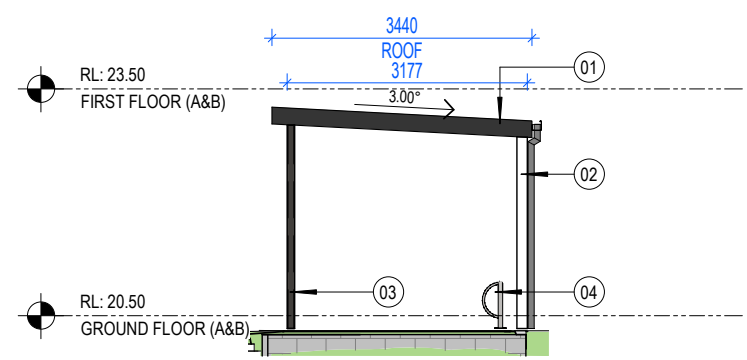
SCALE: 1:100
01 / A5-A5080
WEST ELEVATION 09
BIN STORAGE



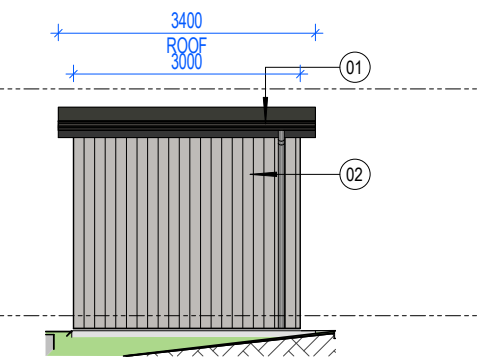
SCALE: 1:100
01 / A5-A3040
SOUTH ELEVATION 08
BIN STORAGE



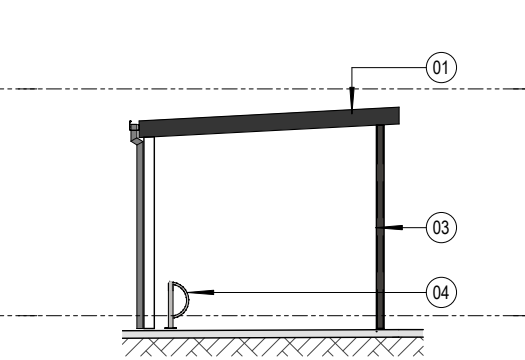
SCALE: 1:100
01 / A5-A5080
EAST ELEVATION 07
BIN STORAGE



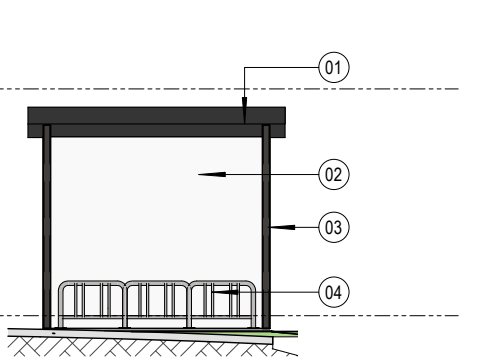
SCALE: 1:100
01 / A5-A5080
NORTH ELEVATION 06
BIKE SHED



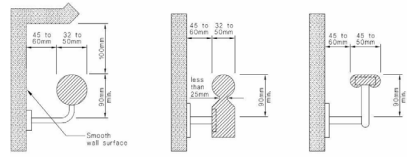
SCALE: 1:100
1 / A5-A3050
WEST ELEVATION 05
BIKE SHED



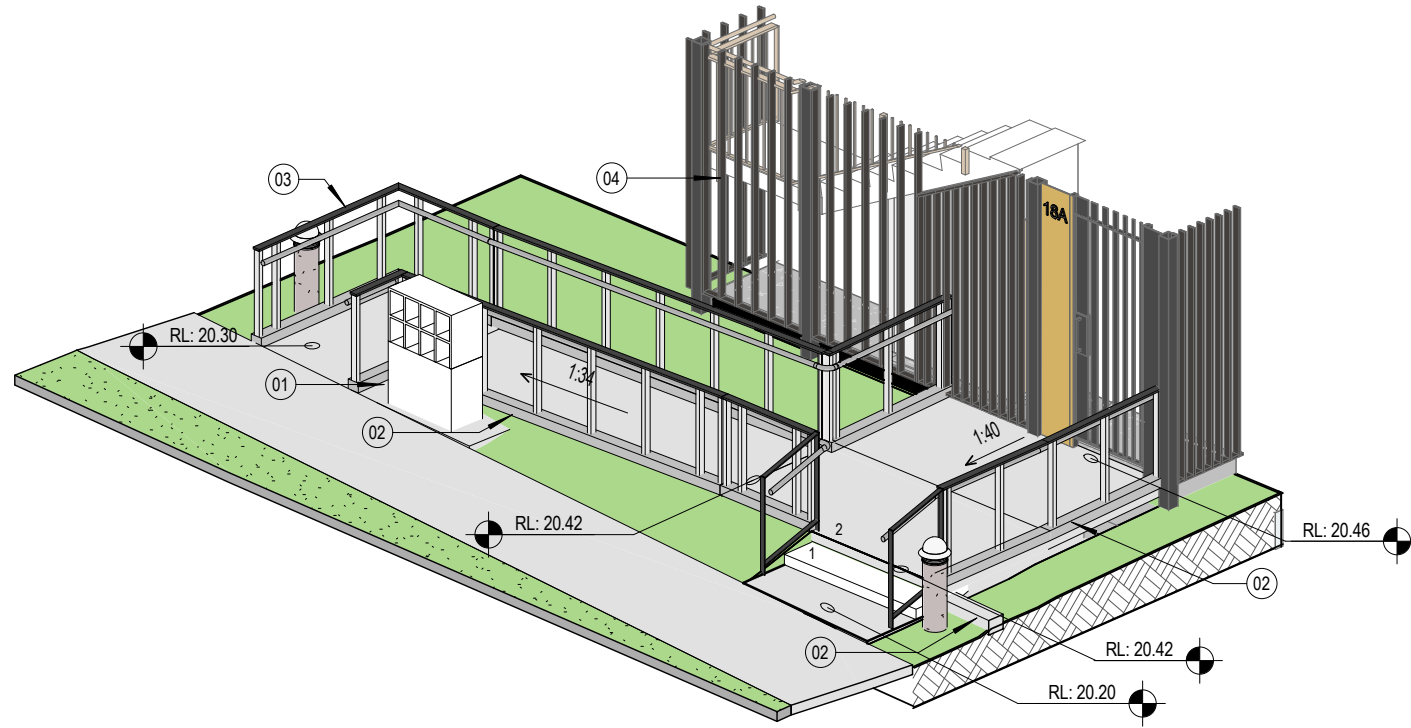
SCALE: 1:100
01 / A5-A5080
SOUTH ELEVATION 04
BIKE SHED



SCALE: 1:100
1 / A5-A3050
EAST ELEVATION 03
BIKE SHED



D1 HANDRAIL DETAIL



SCALE:

3D - BLOCK A ENTRY 02

KEYNOTE

- 01 LETTERBOXES
- 02 KERB
- 03 TOP MOUNT BALUSTRADE WITH HANDRAIL
- 04 PROPOSED STAIR SCREEN

SHEET NOTES

1. REFER TO GENERAL NOTES, SHEET A90.01
2. REFER TO CONSTRUCTION NOTES, SHEET A90.01
3. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
4. READ IN CONJUNCTION WITH STRUCTURAL DRAWING SET BY "KIRK ROBERTS CONSULTING LTD".

Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

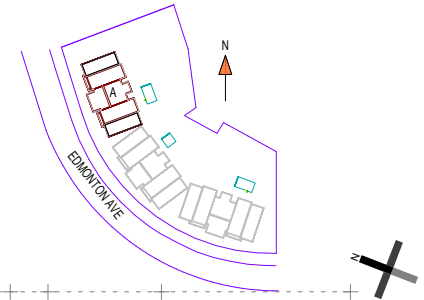
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

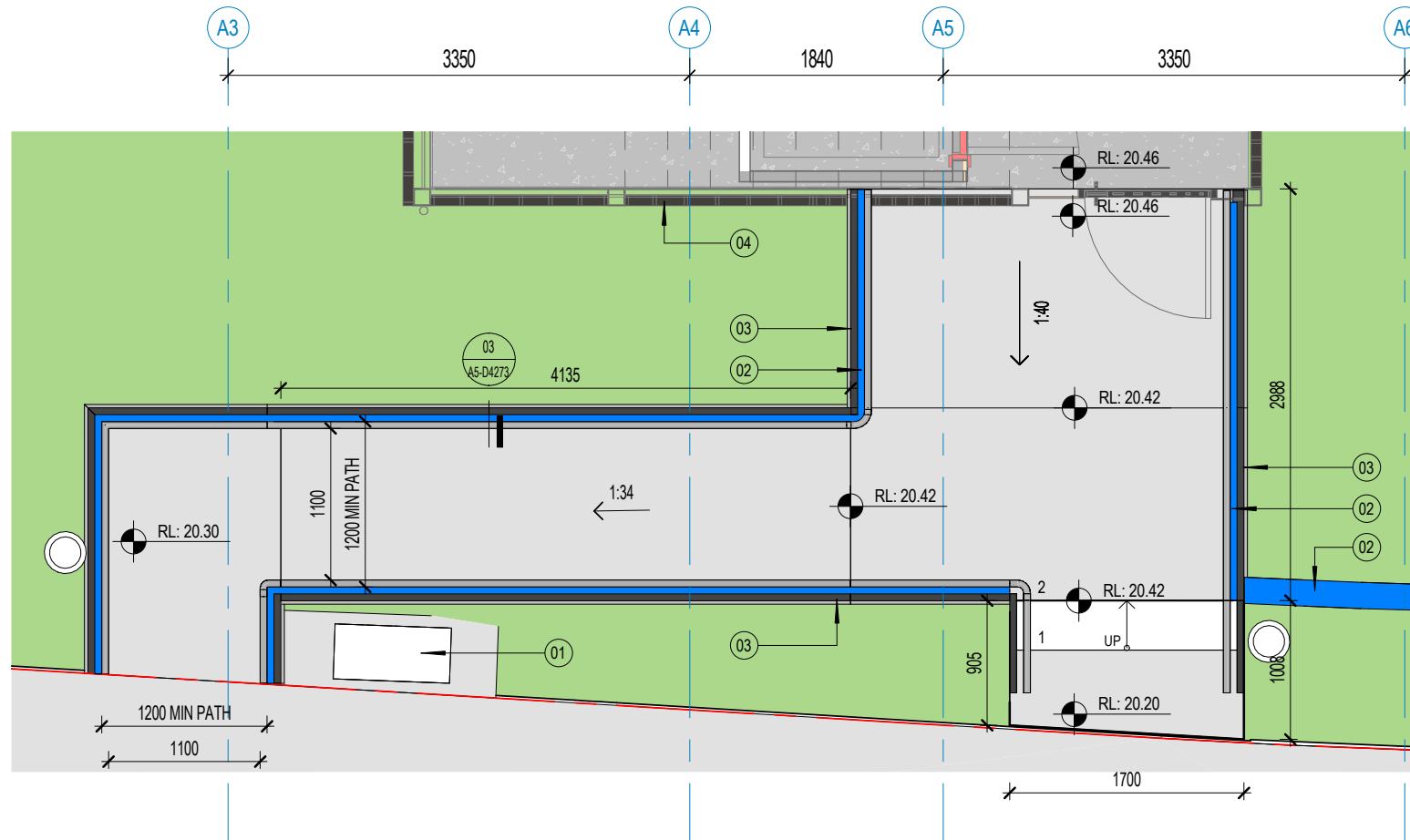
PROJECT NUMBER

200003

KEY PLAN



STAMP



SCALE: 1 : 50

BLOCK A GROUND ENTRY PLAN 01

LEGEND

- SITE BOUNDARY
- PROPOSED SITE LANDSCAPING
- PROPOSED DRIVEWAY/ FOOTPATH STANDARD CONCRETE BRUSH FINISH
- PROPOSED RETAINING WALL
- PROPOSED NIB WALL

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
• ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
• BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
• FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
• FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
• THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
• THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
• DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

BLOCK A ENTRY PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 50

SHEET SIZE

A3=100%

PRINT IN COLOUR

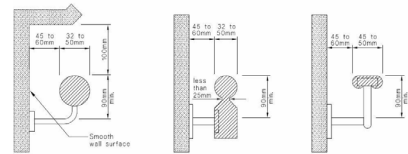


SHEET NUMBER

A5-A5140

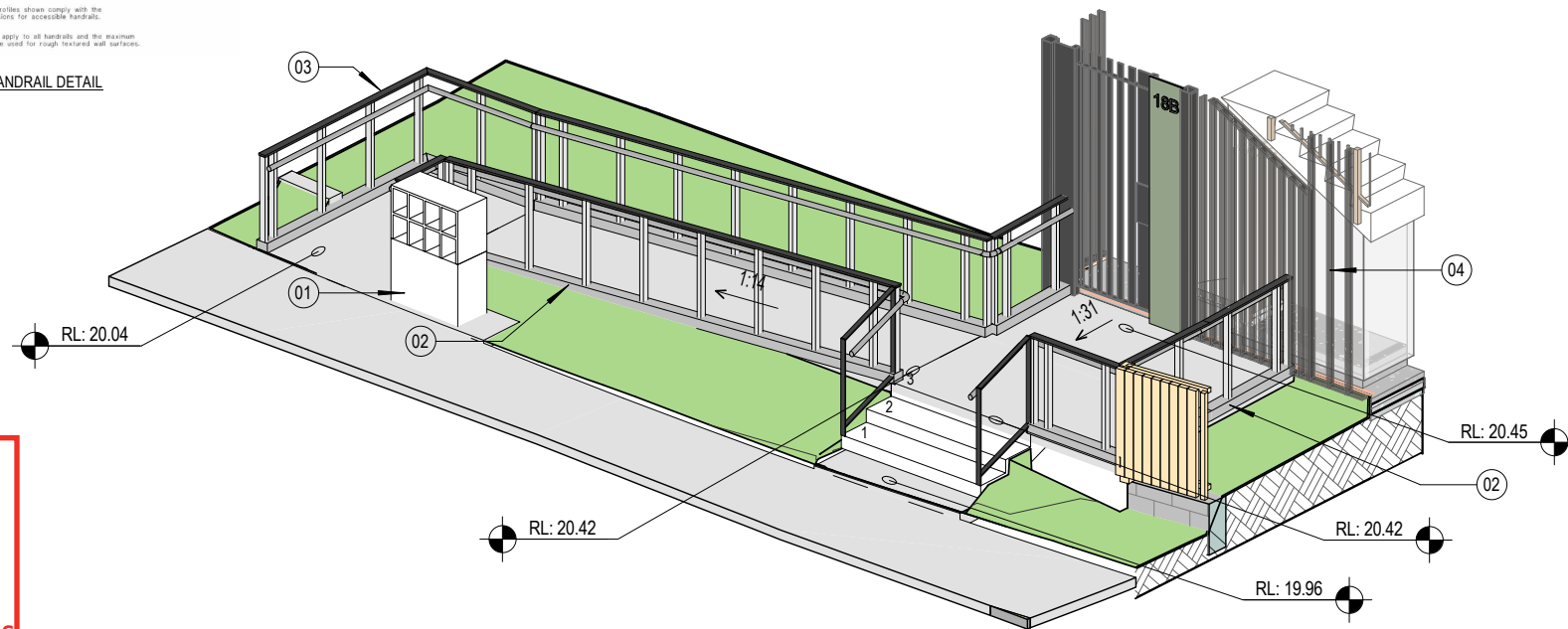
REVISION

1



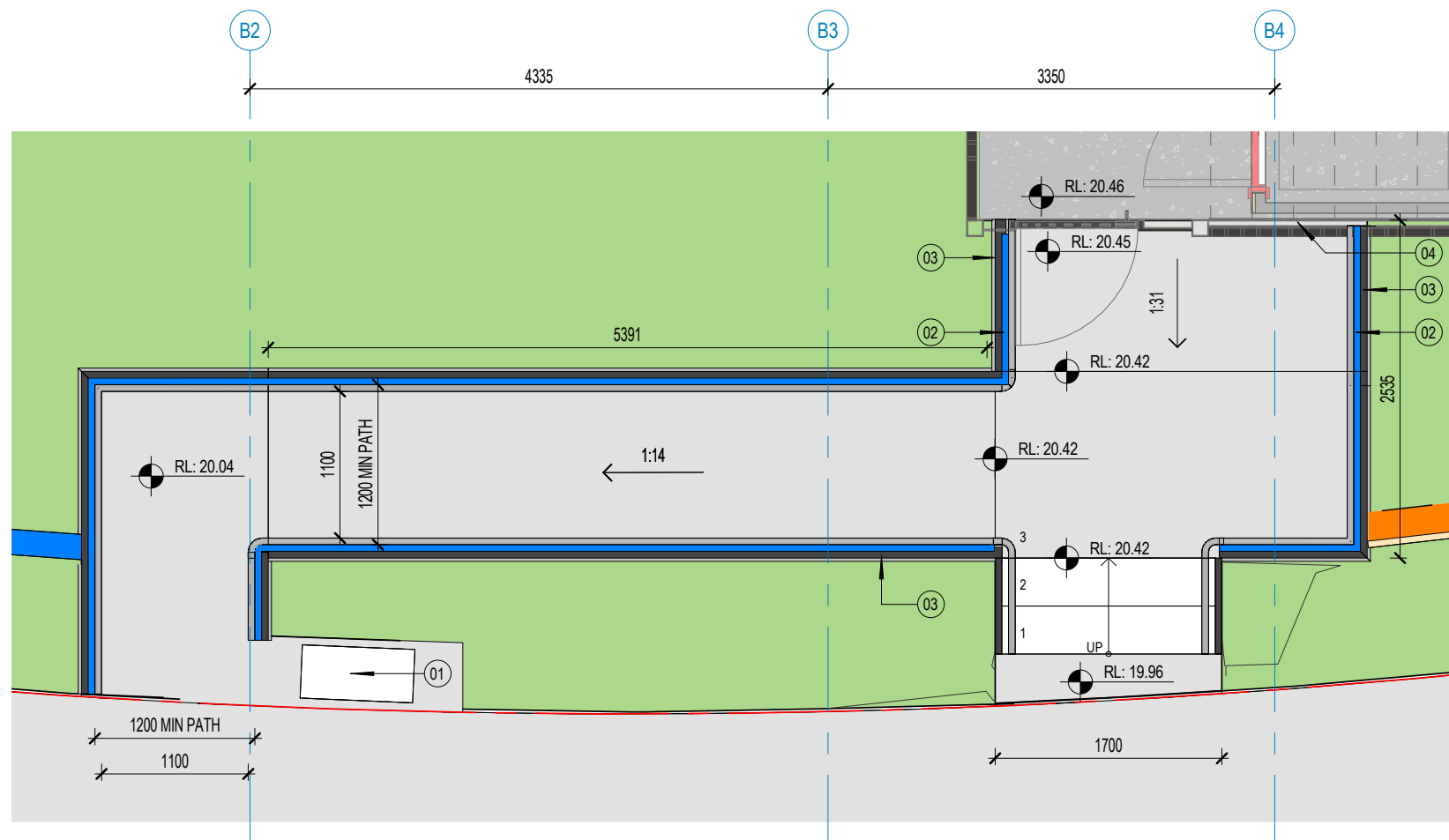
The profiles shown comply with the provisions for accessible handrails. The clearances apply to all handrails and the maximum dimension must be used for rough textured wall surfaces.

D1 HANDRAIL DETAIL



SCALE:

3D - BLOCK B ENTRY 02



SCALE: 1 : 50

BLOCK B GROUND ENTRY PLAN 01

KEYNOTE

- 01 LETTERBOXES
- 02 KERB
- 03 TOP MOUNT BALUSTRADE WITH HANDRAIL
- 04 PROPOSED STAIR SCREEN

SHEET NOTES

1. REFER TO GENERAL NOTES, SHEET A90.01
2. REFER TO CONSTRUCTION NOTES, SHEET A90.01
3. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. READ IN CONJUNCTION WITH STRUCTURAL DRAWING SET BY "KIRK ROBERTS CONSULTING LTD".
- 4.

Young+Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

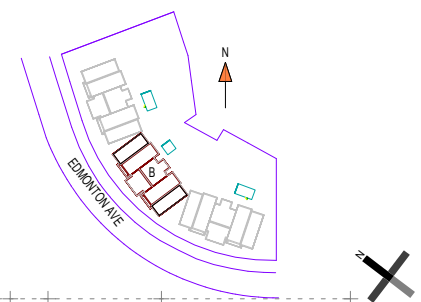
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

LEGEND

- SITE BOUNDARY
- PROPOSED SITE LANDSCAPING
- PROPOSED DRIVEWAY/ FOOTPATH STANDARD CONCRETE BRUSH FINISH
- PROPOSED RETAINING WALL
- PROPOSED NIB WALL

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

BLOCK B ENTRY PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 50

SHEET SIZE

A3=100%

PRINT IN COLOUR

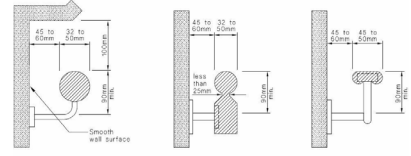


SHEET NUMBER

A5-A5150

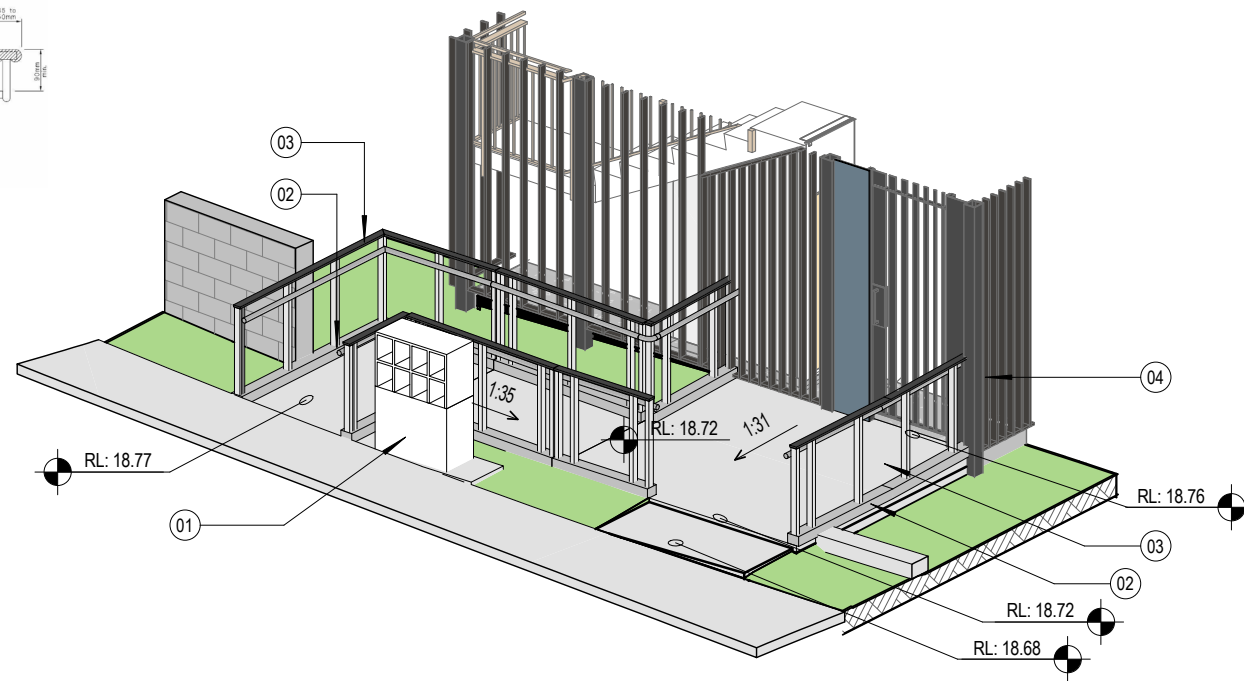
REVISION

1



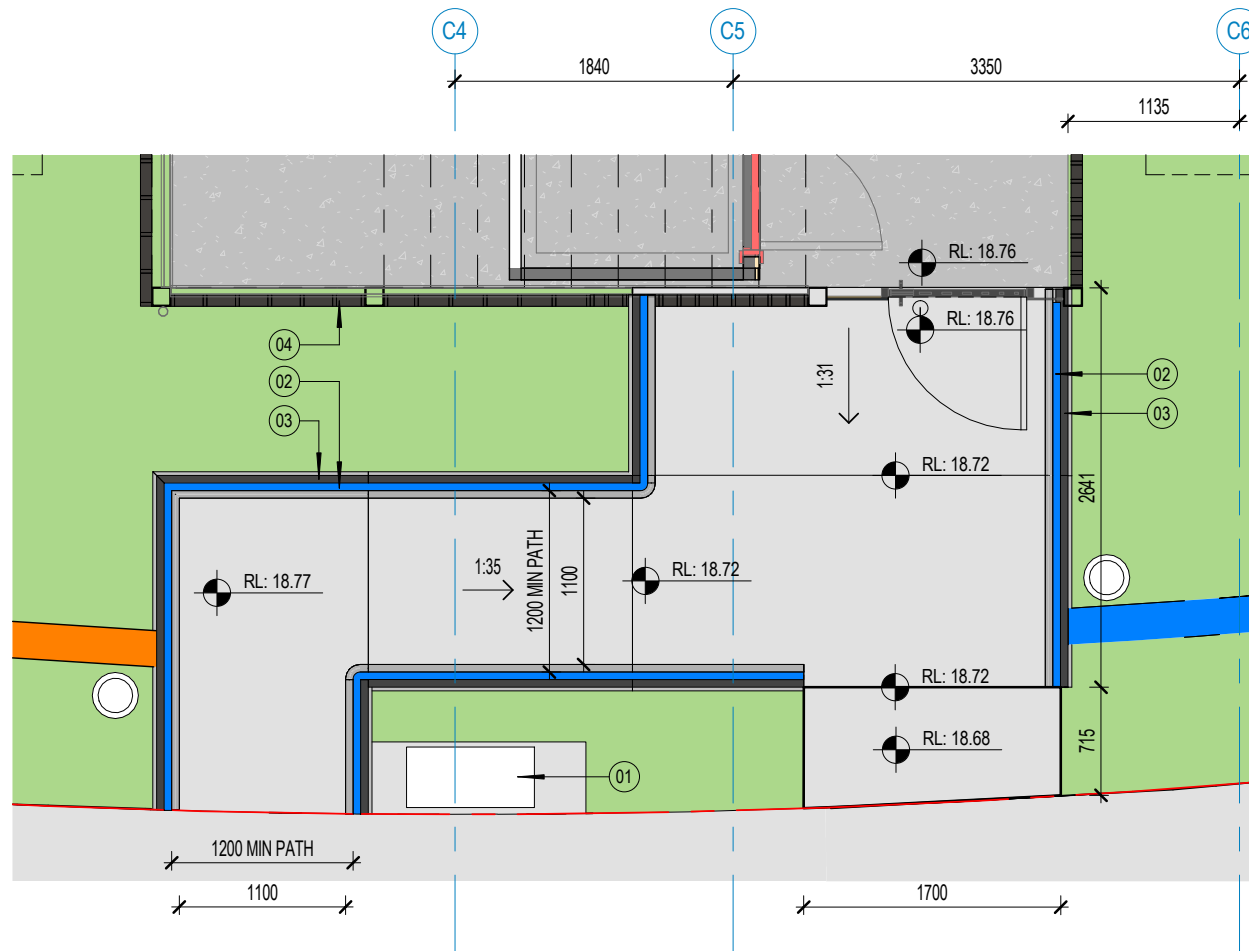
The profiles shown comply with the provisions for accessible handrails. The clearances apply to all handrails and the maximum dimension must be used for rough textured wall surfaces.

D1 HANDRAIL DETAIL



SCALE:

3D - BLOCK C ENTRY 02



SCALE: 1:50

BLOCK C GROUND ENTRY PLAN 01

KEYNOTE

- 01 LETTERBOXES
- 02 KERB
- 03 TOP MOUNT BALUSTRADE WITH HANDRAIL
- 04 PROPOSED STAIR SCREEN

Young+Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

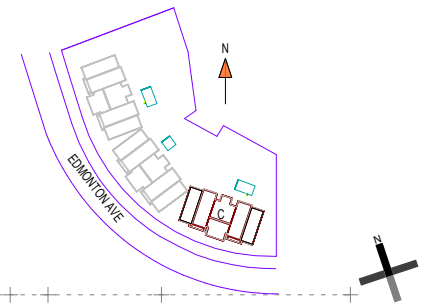
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

LEGEND

- SITE BOUNDARY
- PROPOSED SITE LANDSCAPING
- PROPOSED DRIVEWAY/ FOOTPATH STANDARD CONCRETE BRUSH FINISH
- PROPOSED RETAINING WALL
- PROPOSED NIB WALL

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

BLOCK C ENTRY PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:50

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A5160

REVISION

1





CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

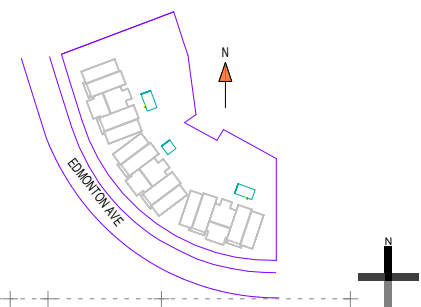
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



Key Value	Keynote Text
7151_4.6	KITCHEN SINK
7151_4.7	KITCHEN SINK MIXER
7701_4.10	OVEN
7701_4.11	RANGE HOOD
7701_4.12	HEATPUMP INDOOR & OUTDOOR UNITS

KEYNOTE & LEGEND

- 01 100mm HIGH TOE KICK
- 02 150mm BENCH TOP UPSTAND
- 03 PVC SCOTIA MOULDING

P PANTRY

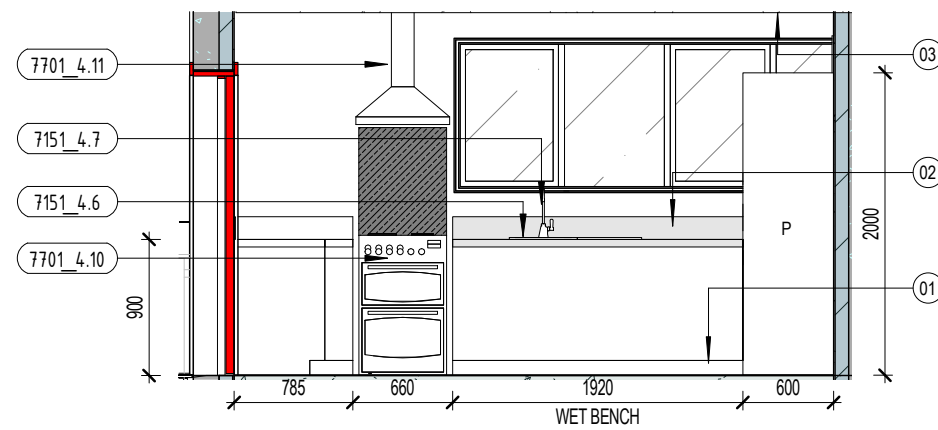
F FRIDGE

STAINLESS STEEL KITCHEN SPLASHBACK

VINYL (DRY AREA)

SHEET NOTES

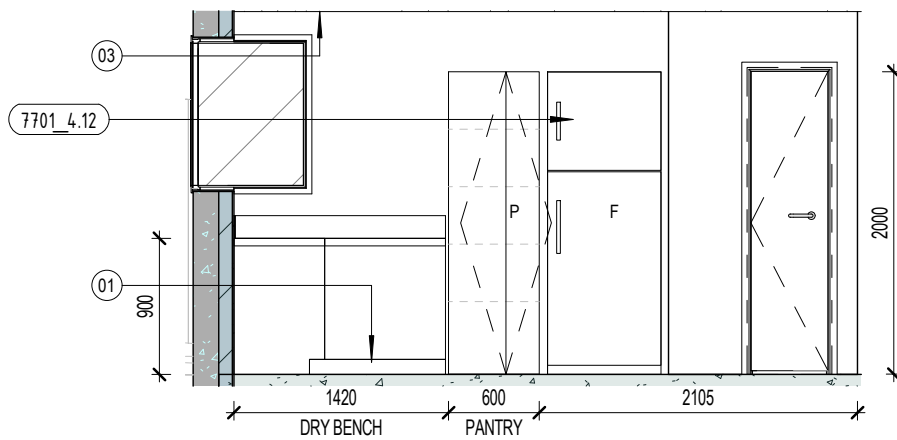
- BENCHTOPS - MIN. 600MM DEEP; WET BENCH - 1250MM LENGTH (1&2 BEDROOM), 1650MM LENGTH (3 BEDROOM); DRY BENCH - 1400MM LENGTH (1&2 BEDROOM), 2400MM LENGTH (3 BEDROOM).
- HIGH PRESSURE LAMINATE (DRY BENCH) WITH COVED LAMINATE UPSTAND BEHIND, AND POLISHED STAINLESS STEEL WITH INTEGRAL UPSTAND, ANTI-SPILL LIP TO FRONT AND SIDES (WET BENCH) AND 37MM HIGH FRONT EDGE. BENCHTOPS ARE TO BE RESISTANT TO BURNS, CUTS AND STAIN AND TO PROVIDE AN EASILY CLEANABLE HYGIENIC SURFACE.
- PANTRY - MIN. 600MM DEPTH & 2000MM HEIGHT; 450MM WIDTH (1&2 BEDROOM), 600MM WIDTH (3 BEDROOM).
- PANTRY HAS 5 X FULL-WIDTH FIXED SHELVES.
- CABINERY IS MINIMUM 18MM MOISTURE-RESISTANT CARCASS, DOORS AND DRAWERS WITH PRE-FINISHED LOW PRESSURE LAMINATE (MELTICA / MELAMINE VENEER OR SIMILAR) TO BOTH SIDES WITH 2MM PVC EDGINGS. TOE KICK IS MINIMUM 100MM HIGH AND MOISTURE RESISTANT.
- DOORS ARE MAXIMUM WIDTH 450MM, HINGES ARE 115 DEGREE TO 170 DEGREE OPENING AND RECESS MOUNTED, THREE PER UNDER-BENCH LEAF AND FOUR TO DOORS OVER BENCH HEIGHT.
- CHILD RESISTANT CATCH PROVIDED TO ONE CUPBOARD, PREFERABLY BENEATH THE SINK. THE UNDERSIDE OF THE BENCH HAS DRAWERS IN BANKS OF FOUR - TWO SMALLER DRAWERS ABOVE TWO LARGER DRAWERS. PROVIDE CUTLERY INSERT TRAYS FOR TOP DRAWER. HANDLES ARE HORIZONTAL METAL BOW PULL STYLE WITH 150MM X 25MM FINGER CLEARANCE.
- FRIDGE SPACE MIN. DEPTH IS 700MM AND TO BE LOCATED AT END OF THE JOINERY UNITS. CLEAR HEIGHT IS 2000MM MIN.
- STOVE SHOULD HAVE CLEARANCE EACH SIDE TO JOINERY, MIN 300MM AWAY FROM INTERNAL CORNERS AND VERTICAL WALL, PANTRY, FRIDGE.
- CHILD RESISTANT CATCH PROVIDED TO CUPBOARD UNDER SINK.
- KITCHEN TAP MUST BE < 6L/MIN AS MEASURED AT THE TAP AFTER INSTALLATION AS MEASURED AT THE TAP AFTER INSTALLATION BY THE PLUMBER OR BUILDER USING A GRADED BUCKET AND A STOPWATCH.
- KITCHEN SINK REQUIRE OVERFLOWS, FLOW RATE MATCH M-255 REQUIREMENT.



SCALE: 1:50
01 / A5-A5040

KITCHEN ELEVATION 01 - TYPE A

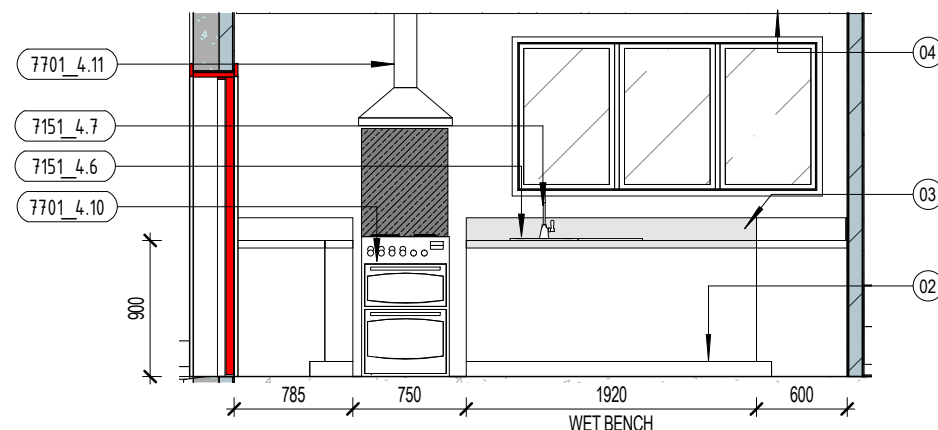
06



SCALE: 1:50
02 / A5-A5240

KITCHEN ELEVATION 02 - TYPE A

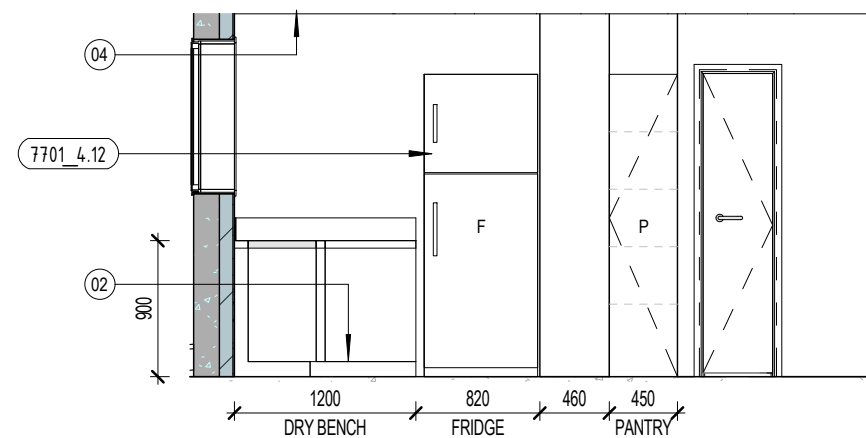
05



SCALE: 1:50
02 / A5-A5041

KITCHEN ELEVATION 01 - TYPE B

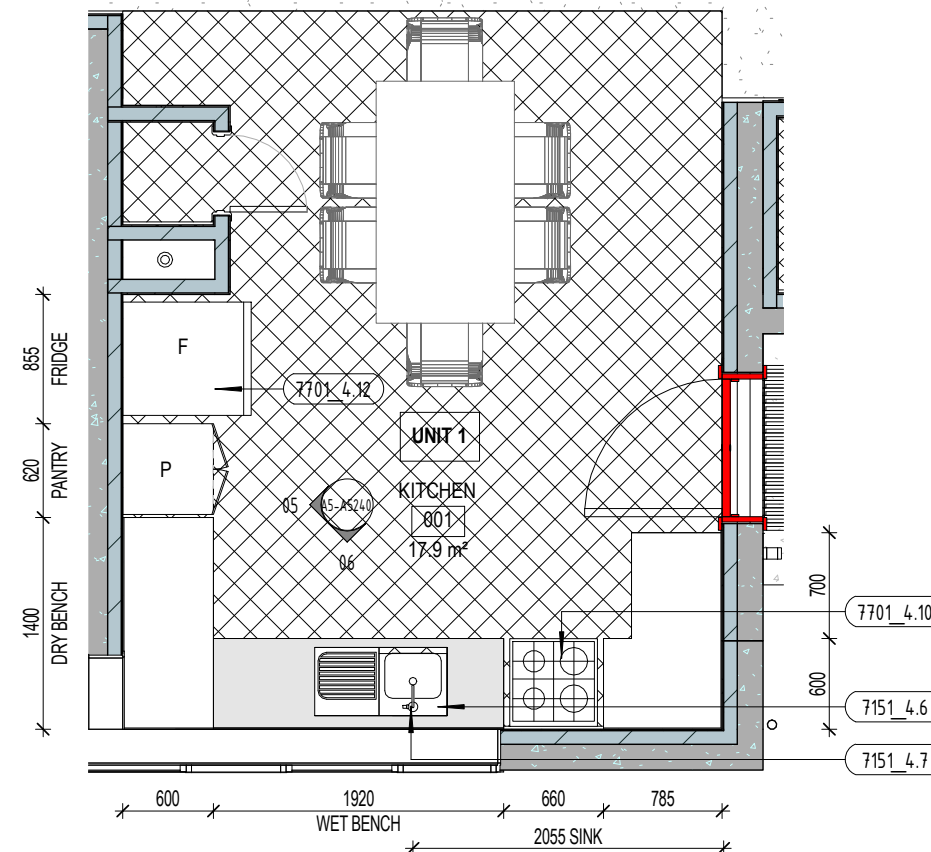
04



SCALE: 1:50
01 / A5-A5240

KITCHEN ELEVATION 02 - TYPE B

03

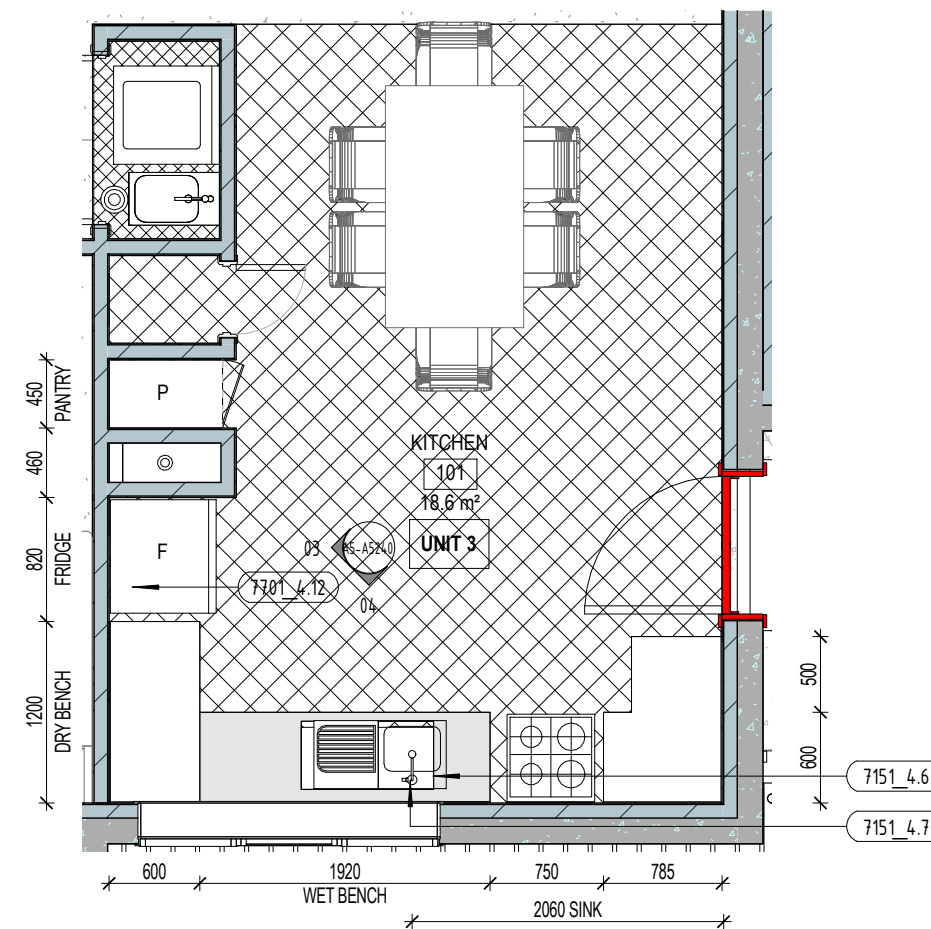


SCALE: 1:50
01 / A3-A4040

ENLARGED KITCHEN PLAN - TYPE A

3 BEDROOM UNITS - UNIT 01,02

02



SCALE: 1:50
01 / A3-A4040

ENLARGED KITCHEN PLAN - TYPE B

2 BEDROOM UNITS - UNIT 03,05,06,08

01

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR



THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

INTERIOR ELEVATIONS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE
As indicated

SHEET SIZE
A3=100%



SHEET NUMBER

A5-A5240

REVISION

1



CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

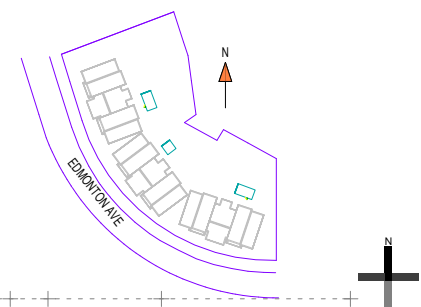
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

INTERIOR ELEVATIONS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

As indicated

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A5241

REVISION

1

Key Value	Keynote Text
7151_4.6	KITCHEN SINK
7151_4.7	KITCHEN SINK MIXER
7701_4.10	OVEN
7701_4.11	RANGE HOOD
7701_4.12	HEATPUMP INDOOR & OUTDOOR UNITS

KEYNOTE & LEGEND

- 01 100mm HIGH TOE KICK
- 02 150mm BENCH TOP UPSTAND
- 03 PVC SCOTIA MOULDING

P PANTRY

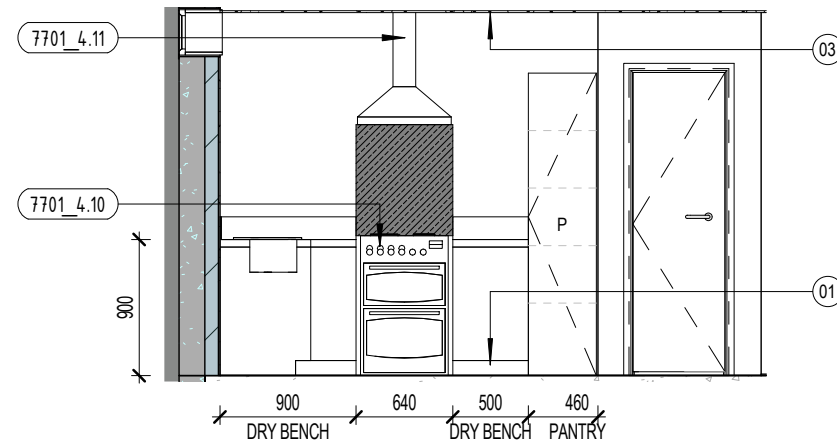
F FRIDGE

STAINLESS STEEL KITCHEN SPLASHBACK

VINYL (DRY AREA)

SHEET NOTES

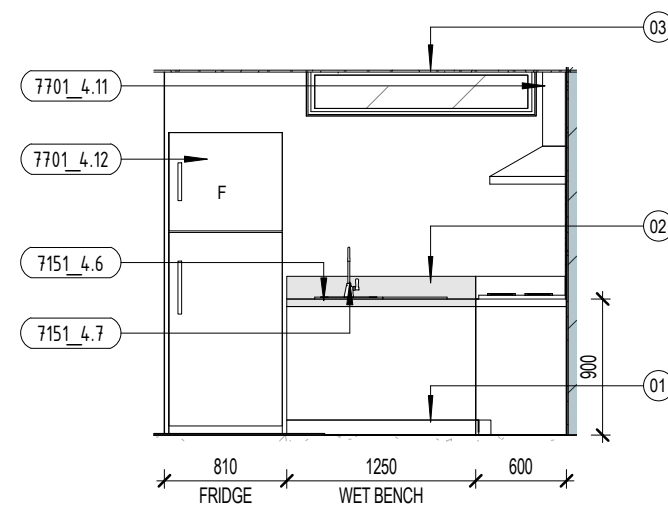
- BENCHTOPS - MIN. 600MM DEEP; WET BENCH - 1250MM LENGTH (1&2 BEDROOM), 1650MM LENGTH (3 BEDROOM); DRY BENCH - 1400MM LENGTH (1&2 BEDROOM), 2400MM LENGTH (3 BEDROOM).
- HIGH PRESSURE LAMINATE (DRY BENCH) WITH COVED LAMINATE UPSTAND BEHIND, AND POLISHED STAINLESS STEEL WITH INTEGRAL UPSTAND, ANTI-SPILL LIP TO FRONT AND SIDES (WET BENCH) AND 37MM HIGH FRONT EDGE. BENCHTOPS ARE TO BE RESISTANT TO BURNS, CUTS AND STAIN AND TO PROVISION AN EASILY CLEANABLE HYGIENIC SURFACE.
- PANTRY - MIN. 600MM DEPTH & 2000MM HEIGHT; 450MM WIDTH (1&2 BEDROOM), 600MM WIDTH (3 BEDROOM).
- PANTRY HAS 5 X FULL-WIDTH FIXED SHELVES.
- CABINETRY IS MINIMUM 18MM MOISTURE-RESISTANT CARCASS, DOORS AND DRAWERS WITH PRE-FINISHED LOW PRESSURE LAMINATE (MELTICA / MELAMINE VENEER OR SIMILAR) TO BOTH SIDES WITH 2MM PVC EDGINGS. TOE KICK IS MINIMUM 100MM HIGH AND MOISTURE RESISTANT.
- DOORS ARE MAXIMUM WIDTH 450MM, HINGES ARE 115 DEGREE TO 170 DEGREE OPENING AND RECESS MOUNTED, THREE PER UNDER-BENCH LEAF AND FOUR TO DOORS OVER BENCH HEIGHT.
- CHILD RESISTANT CATCH PROVIDED TO ONE CUPBOARD, PREFERABLY BENEATH THE SINK. THE UNDERSIDE OF THE BENCH HAS DRAWERS IN BANKS OF FOUR - TWO SMALLER DRAWERS ABOVE TWO LARGER DRAWERS. PROVIDE CUTLERY INSERT TRAYS FOR TOP DRAWER. HANDLES ARE HORIZONTAL METAL BOW PULL STYLE WITH 150MM X 25MM FINGER CLEARANCE.
- FRIDGE SPACE MIN. DEPTH IS 700MM AND TO BE LOCATED AT END OF THE JOINERY UNITS. CLEAR HEIGHT IS 2000MM MIN.
- STOVE SHOULD HAVE CLEARANCE EACH SIDE TO JOINERY, MIN 300MM AWAY FROM INTERNAL CORNERS AND VERTICAL WALL, PANTRY, FRIDGE.
- CHILD RESISTANT CATCH PROVIDED TO CUPBOARD UNDER SINK.
- KITCHEN TAP MUST BE < 6L/MIN AS MEASURED AT THE TAP AFTER INSTALLATION AS MEASURED AT THE TAP AFTER INSTALLATION BY THE PLUMBER OR BUILDER USING A GRADED BUCKET AND A STOPWATCH.
- KITCHEN SINK REQUIRE OVERFLOWS, FLOW RATE MATCH M-255 REQUIREMENT.



SCALE: 1:50
02 / A5-A5041

KITCHEN ELEVATION 01 - TYPE C

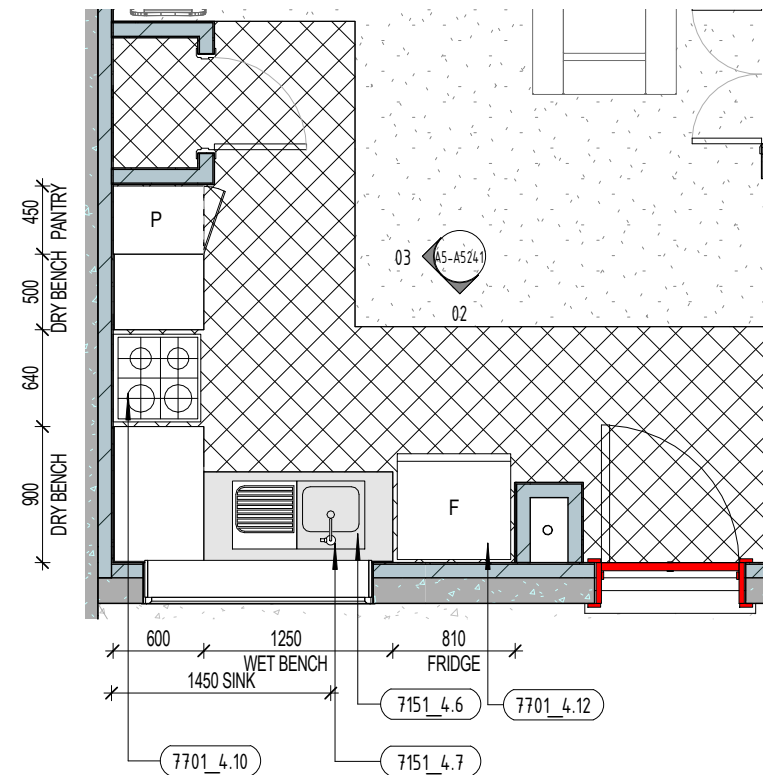
03



SCALE: 1:50
01 / A5-A5240

KITCHEN ELEVATION 02 - TYPE C

02



SCALE: 1:50
01 / A3-A4040

ENLARGED KITCHEN PLAN - TYPE C

1 BEDROOM UNITS - UNIT 04,07

01





Key Value	Keynote Text
7151_4.1	TOILET
7151_4.3	WC BASINS
7151_4.4	SHOWER TRAY & ENCLOSURE
7151_4.5	SHOWER MIXER
7151_4.8	LAUNDRY TUB
7151_4.11	MEDICINE CABINET/MIRROR
7151_4.15	ACCESSORIES: TOWEL RAIL
7701_4.13	REFRIGERATOR

KEYNOTE & LEGEND

- 01 150mm SPLASH BACK
- 02 100mm HIGH COVING
- 03 PVC SCOTIA MOULDING

- CLEARLITE - SHOWER LINER
- LINING & LAUNDRY SPLASHBACK
- VINYL (WET AREA)

SHEET NOTES

- BATHROOM: PROVIDE 100 HIGH VINYL FLOOR COVING WITH ALUMINIUM COVE CAPPING STRIP TO EXPOSED TOP EDGE. FLOORING EXTENDS INTO STORAGE AND LINEN CUPBOARD WHERE ADJACENT.
- SHOWER ROOM EXTRACT VENTILATION SYSTEM MIN. 223M³/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF. CONNECTED TO LIGHT SWITCH.
- TOILET TO BE LOW FLOW SMART-FLUSH DUAL 3/4.5 LITRE CISTERN.
- WASH HAND BASIN TAPWARE WITH EASILY ADJUSTABLE FLOW RATE SET FOR < 6L/MINUTE.
- SHOWER TAPWARE WITH EASILY ADJUSTABLE DELIVERY TEMPERATURE AND LOW FLOW WITH SET FLOW FOR < 9L/MINUTE.
- CHILD RESISTANT CATCH PROVIDED TO CUPBOARD UNDER VANITY, MEDICINE CABINET AND LAUNDRY TUB.
- ALL FIXTURES IN ACCORDANCE WITH HNZ PROCUREMENT SCHEDULE.
- 10MM GIB AQUALINE PLASTERBOARD LINING TO WALLS

FIXTURES (NOTE 7)

- A. ACCESSIBLE CAROMA COSMO SOVEREIGN CARE
- B. CAROMA CONCORDE WALL BASIN 500MM 1TH WH
- C. CAROMA CONCORDE CONCEALED TOILET PAN
- D. LAUNDRY TUB
- E. WALL HANGING VANITY 750mm HEIGHT
- F. SHOWER TRAY

CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

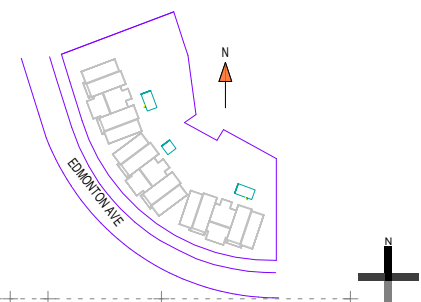
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

INTERIOR ELEVATIONS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

As indicated

SHEET SIZE

A3=100%

PRINT IN COLOUR

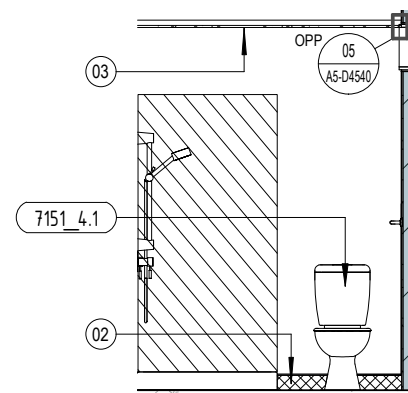


SHEET NUMBER

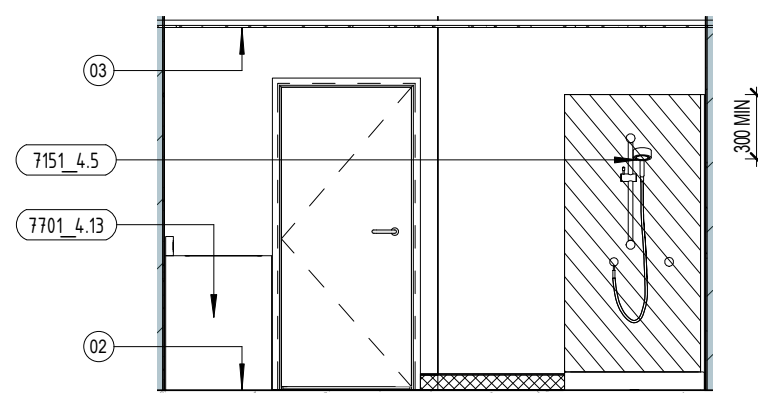
A5-A5243

REVISION

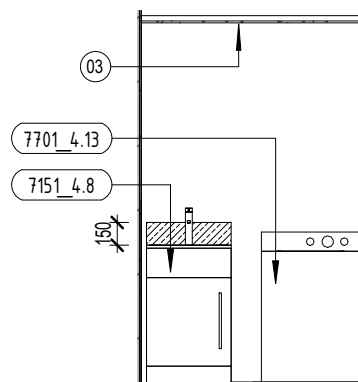
1



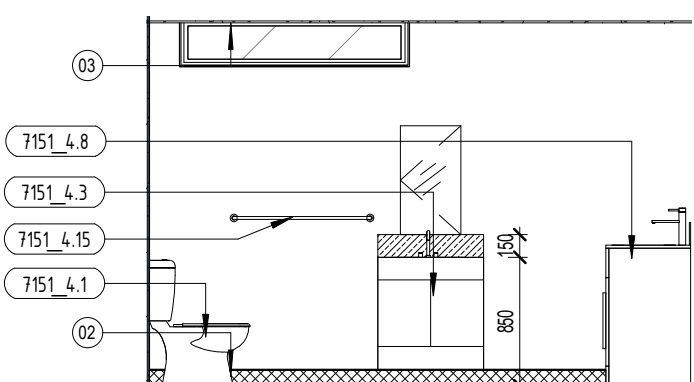
SCALE: 1:50 BATHROOM ELEVATION 04 - TYPE D
06 / A5-A5243



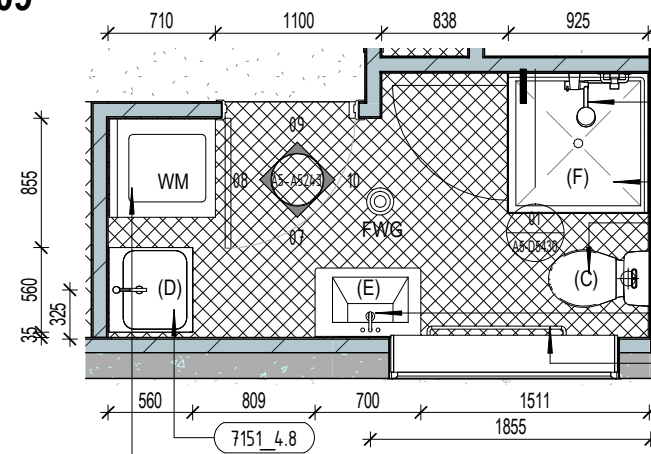
SCALE: 1:50 BATHROOM ELEVATION 03 - TYPE D
01 / A5-A5241



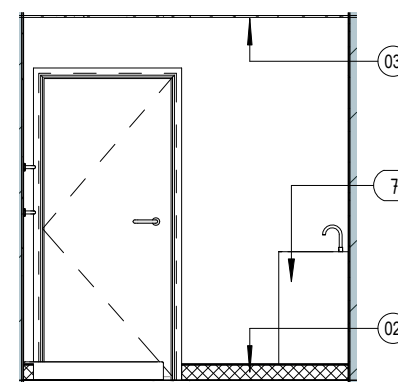
SCALE: 1:50 BATHROOM ELEVATION 02 - TYPE D
06 / A5-A5243



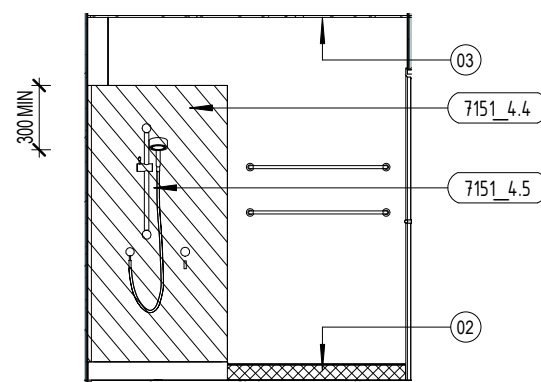
SCALE: 1:50 BATHROOM ELEVATION 01 - TYPE D
06 / A5-A5243



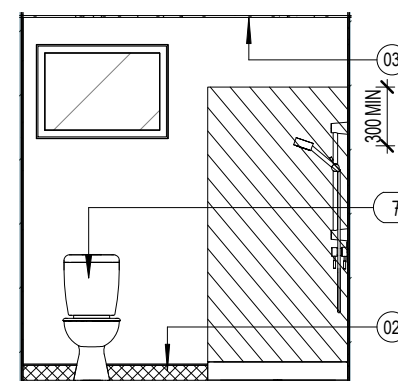
SCALE: 1:50 ENLARGED BATHROOM PLAN - TYPE D
01 / A3-A4040 UNIT 04, 07



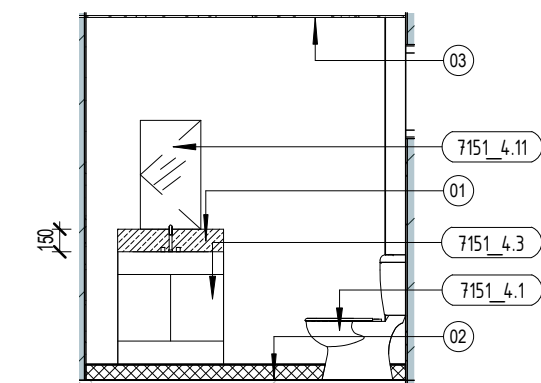
SCALE: 1:50 BATHROOM ELEVATION 04 - TYPE C
01 / A5-A5243



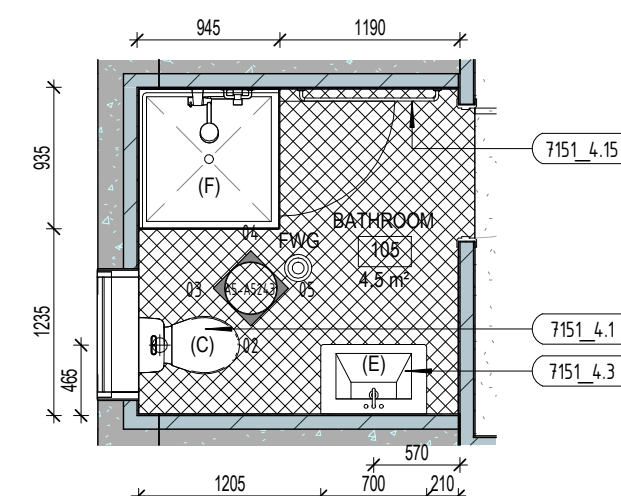
SCALE: 1:50 BATHROOM ELEVATION 03 - TYPE C
01 / A5-A5243



SCALE: 1:50 BATHROOM ELEVATION 02 - TYPE C
01 / A5-A5243



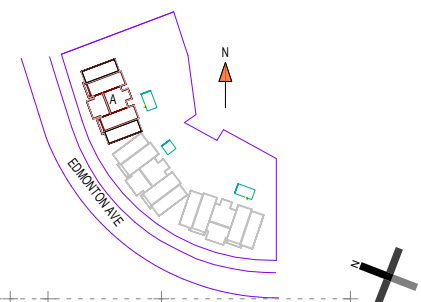
SCALE: 1:50 BATHROOM ELEVATION 01 - TYPE C
01 / A5-A5243



SCALE: 1:50 ENLARGED BATHROOM PLAN - TYPE C
01 / A3-A4040 UNIT 03, 05, 06, 08



CLIENT
DOMINION
 CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**
 PROJECT NUMBER
200003
 KEY PLAN



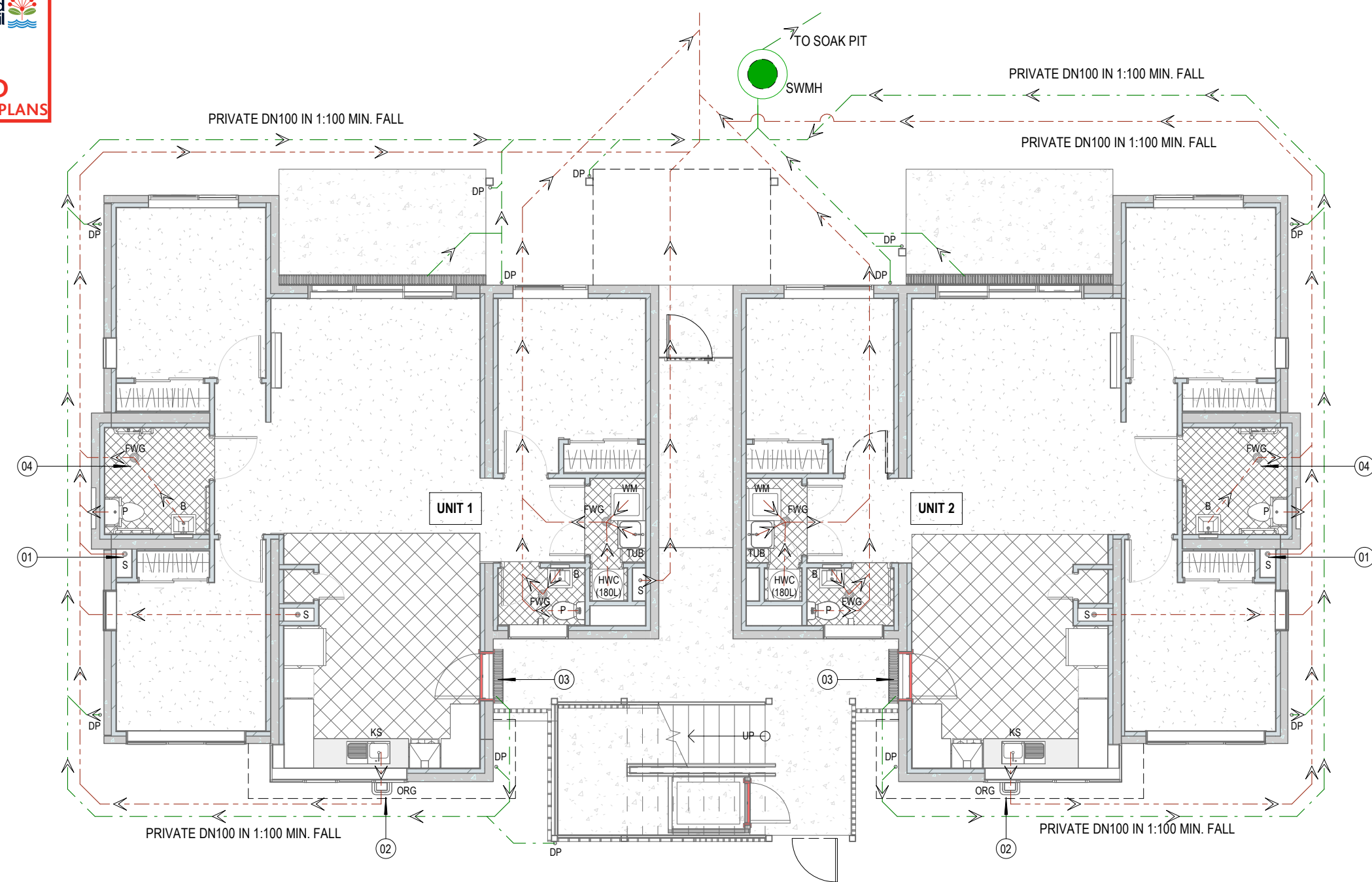
STAMP
AUCKLAND COUNCIL
Reviewed
 By: Kishore Rana Date: 14/12/2020
DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
**PROPOSED BLOCK A GROUND FLOOR
 PLUMBING & DRAINAGE PLAN**
 PROJECT STATUS
BC-CONSTRUCTION-STAGE3
 SHEET SCALE
1 : 100
 SHEET NUMBER
A5-A7440
 SHEET SIZE
A3=100%
 PRINT IN COLOUR
REVISION
2

Auckland Council
 18/12/2020
 BCO10313722-3
**APPROVED
 BUILDING CONSENT PLANS**



File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
 Plot: 17/12/2020 4:06:54 pm

KEY NOTES & LEGEND

- 01 STACK FROM LEVEL ABOVE
- 02 TUNDISH DISCHARGE TO EXTERIOR
- 03 DRAINAGE CHANNEL
- 04 USER FRIENDLY SHOWER

TUB	DN50 @ 1:40 MIN
B: BASIN	DN50/65 @ 1:40 MIN
SHOWER	DN50 @ 1:40 MIN
KS: SINK	DN50/65 @ 1:40 MIN
WM	DN40 @ 1:40 MIN
P: WC	DN100 @ 1:60 MIN
HWC	DN40 @ 1:40 MIN
VENT	DN50 MIN
STACK	DN100 MIN
HWC	DN20 COLD/HOT SUPPLY
WATER MAIN	DN 25 DMPE

SHEET NOTES

1. REFER TO PLUMBING NOTES, SHEET A0091
2. REFER TO FINISHES NOTES, SHEET A5-0091
3. ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.
4. DRAINLAYER CONTRACTOR IS TO CONFIRM ALL LOCATIONS OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE.
5. ALL SPECIFIED KITCHEN SINKS, TUBS AND BASINS HAVE INTEGRAL OVERFLOWS. ADJUSTABLE FLOW RATES SET AS FOLLOWS:
 LAUNDRY AND BASIN MIXERS - 6 LITRES PER MINUTE.
 KITCHEN MIXERS - 7.5L PER MINUTE
 SHOWER MIXERS - 9 LITRES PER MINUTE
6. CONTRACTOR TO COORDINATE DETENTION TANK LOCATION WITH WINDOW LAYOUT AND MANUFACTURERS SPECIFICATION INCLUDING SEISMIC RESTRAINTS.
- 7.

LEGEND

---	PROPOSED PRIVATE SEWER PIPE	P	TOILET PANS
---	PROPOSED PRIVATE STORM WATER PIPE	B	BASIN
HWC	HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE
DP	Ø80 DOWNPIPE	HT	HOSE TAP
ORG	OVERFLOW RELIF GULLY	SHR	SHOWER
TV	TERMINAL VENT	WM	WASHING MACHINE
SS	SEWER STACK	KS	KITCHEN SINK
S&V	STACK & TERMINAL VENT		
AV	AIR ADMITTANCE VALVE		
FWG	FLOOR WASTE GULLY		



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

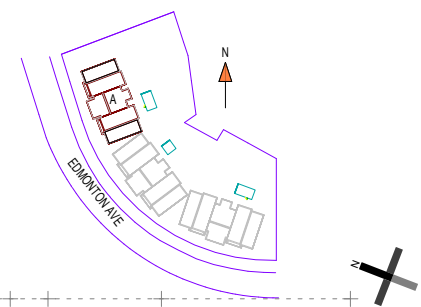
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN

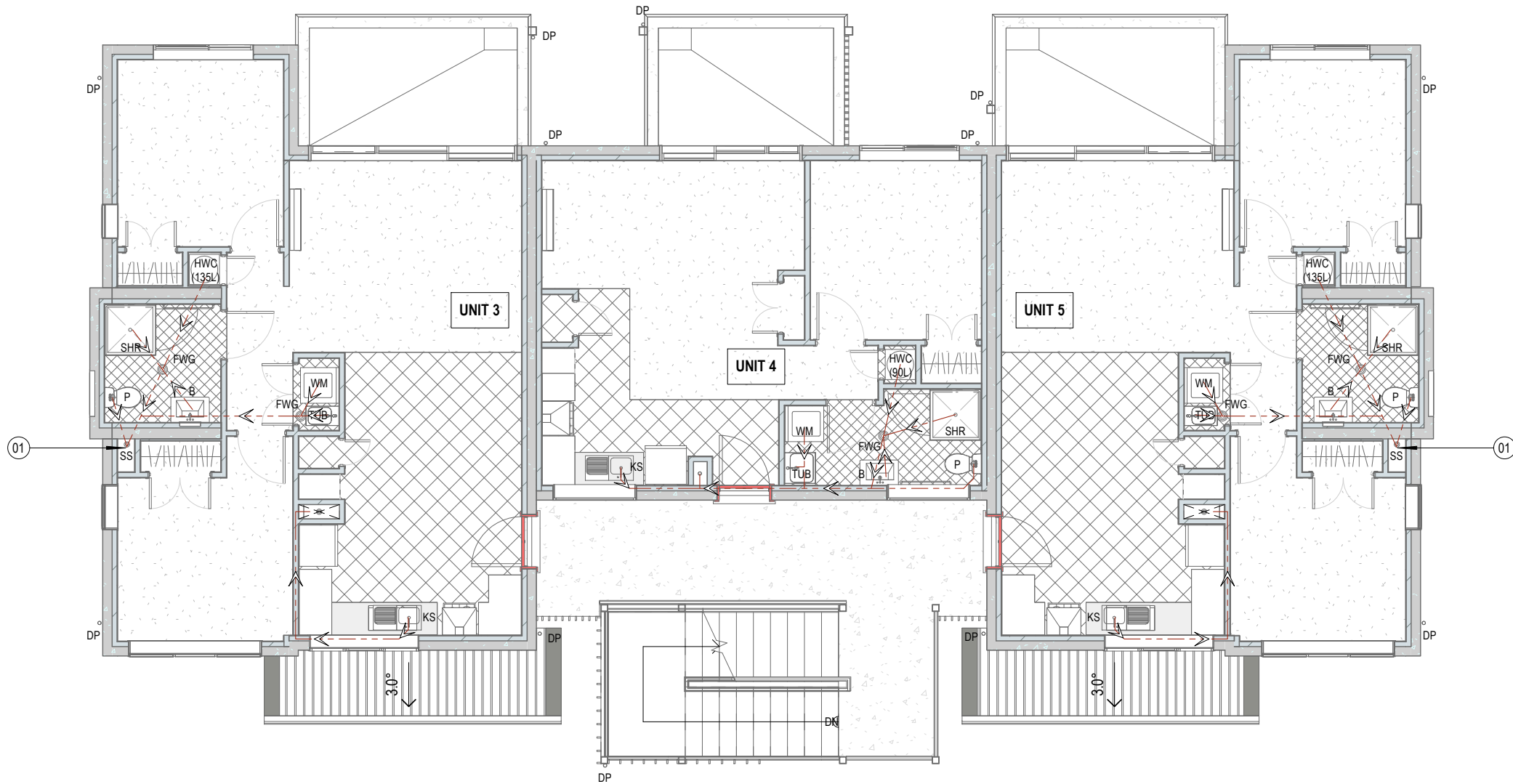


STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.



KEY NOTES & LEGEND

- 01 STACK FROM LEVEL ABOVE
- 02 TUNDISH DISCHARGE TO EXTERIOR
- 03 DRAINAGE CHANNEL
- 04 USER FRIENDLY SHOWER

TUB	DN50 @ 1:40 MIN
B: BASIN	DN50/65 @ 1:40 MIN
SHOWER	DN50 @ 1:40 MIN
KS: SINK	DN50/65 @ 1:40 MIN
WM	DN40 @ 1:40 MIN
P: WC	DN100 @ 1:60 MIN
HWC	DN40 @ 1:40 MIN
VENT	DN50 MIN
STACK	DN100 MIN
HWC	DN20 COLD/HOT SUPPLY
WATER MAIN	DN 25 DMPE

SHEET NOTES

- REFER TO PLUMBING NOTES, SHEET A0091
- REFER TO FINISHES NOTES, SHEET A5-0091
- ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.
- DRAINLAYER CONTRACTOR IS TO CONFIRM ALL LOCATIONS OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE.
- ALL SPECIFIED KITCHEN SINKS, TUBS AND BASINS HAVE INTEGRAL OVERFLOWS. ADJUSTABLE FLOW RATES SET AS FOLLOWS:
 LAUNDRY AND BASIN MIXERS - 6 LITRES PER MINUTE.
 KITCHEN MIXERS - 7.5L PER MINUTE
 SHOWER MIXERS - 9 LITRES PER MINUTE
- CONTRACTOR TO COORDINATE DETENTION TANK LOCATION WITH WINDOW LAYOUT AND MANUFACTURERS SPECIFICATION INCLUDING SEISMIC RESTRAINTS.

LEGEND

---	PROPOSED PRIVATE SEWER PIPE	P	TOILET PANS
---	PROPOSED PRIVATE STORM WATER PIPE	B	BASIN
HWC	HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE
DP	Ø80 DOWNPIPE	HT	HOSE TAP
ORG	OVERFLOW RELIF GULLY	SHR	SHOWER
TV	TERMINAL VENT	WM	WASHING MACHINE
SS	SEWER STACK	KS	KITCHEN SINK
S&V	STACK & TERMINAL VENT		
AV	AIR ADMITTANCE VALVE		
FWG	FLOOR WASTE GULLY		

SHEET NAME
**PROPOSED BLOCK A FIRST FLOOR
 PLUMBING & DRAINAGE PLAN**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE: **1 : 100**
 SHEET SIZE: **A3=100%**
 PRINT IN COLOUR

SHEET NUMBER
A5-A7441

REVISION
2



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

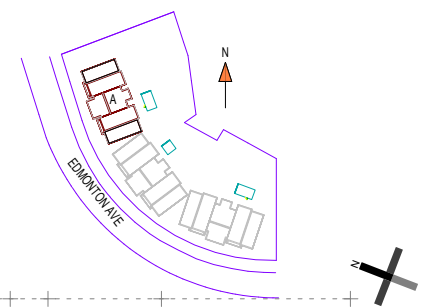
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN

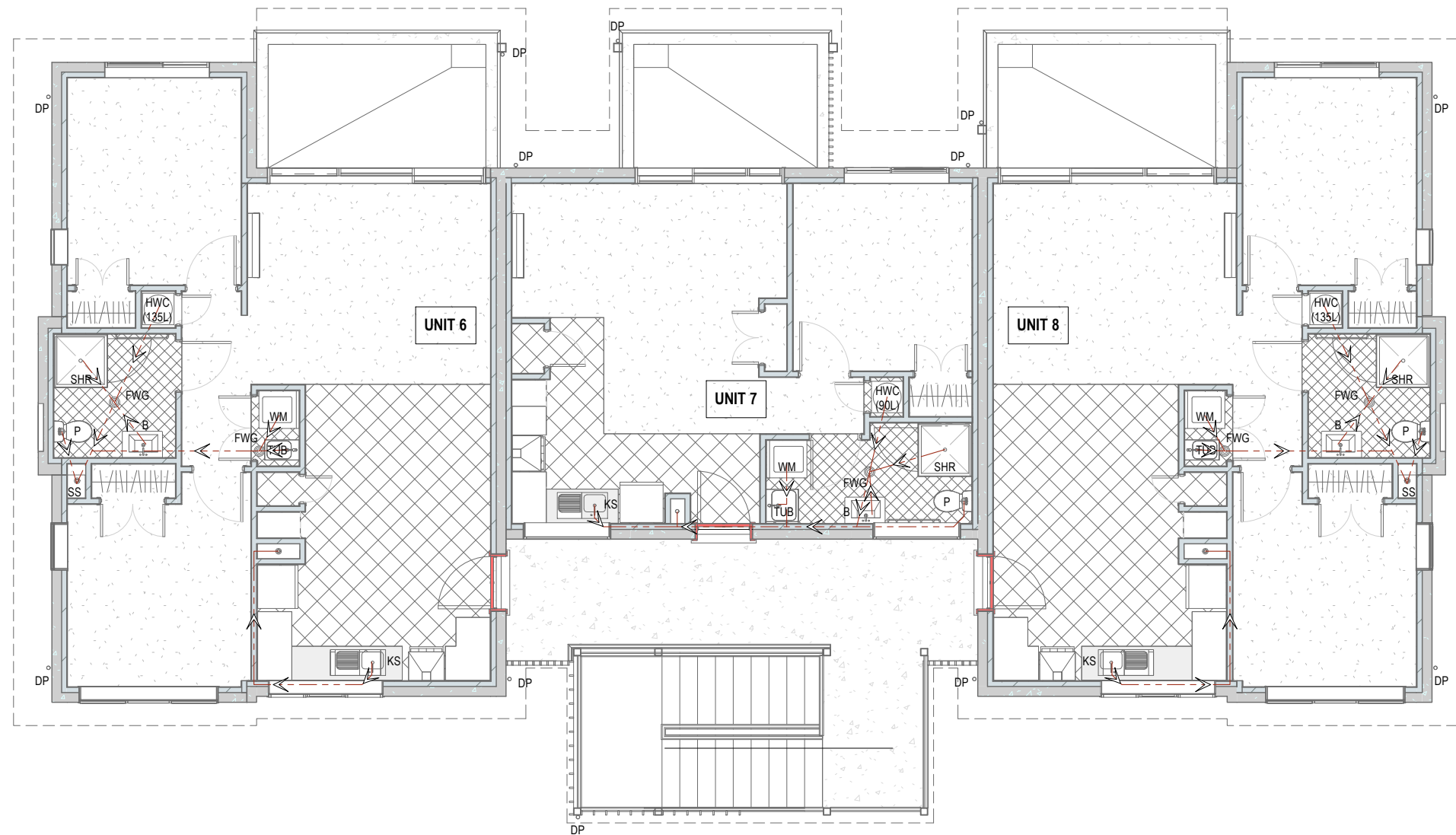


STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.



KEY NOTES & LEGEND

- 01 STACK FROM LEVEL ABOVE
- 02 TUNDISH DISCHARGE TO EXTERIOR
- 03 DRAINAGE CHANNEL
- 04 USER FRIENDLY SHOWER

TUB	DN50 @ 1:40 MIN
B: BASIN	DN50/65 @ 1:40 MIN
SHOWER	DN50 @ 1:40 MIN
KS: SINK	DN50/65 @ 1:40 MIN
WM	DN40 @ 1:40 MIN
P: WC	DN100 @ 1:60 MIN
HWC	DN40 @ 1:40 MIN
VENT	DN50 MIN
STACK	DN100 MIN
HWC	DN20 COLD/HOT SUPPLY
WATER MAIN	DN 25 MDPE

SHEET NOTES

- REFER TO PLUMBING NOTES, SHEET A0091
- REFER TO FINISHES NOTES, SHEET A5-0091
- ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.
- DRAINLAYER CONTRACTOR IS TO CONFIRM ALL LOCATIONS OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE.
- ALL SPECIFIED KITCHEN SINKS, TUBS AND BASINS HAVE INTEGRAL OVERFLOWS. ADJUSTABLE FLOW RATES SET AS FOLLOWS:
LAUNDRY AND BASIN MIXERS - 6 LITRES PER MINUTE.
KITCHEN MIXERS - 7.5L PER MINUTE
SHOWER MIXERS - 9 LITRES PER MINUTE
- CONTRACTOR TO COORDINATE DETENTION TANK LOCATION WITH WINDOW LAYOUT AND MANUFACTURERS SPECIFICATION INCLUDING SEISMIC RESTRAINTS.

LEGEND

--- (Red dashed)	PROPOSED PRIVATE SEWER PIPE	P	TOILET PANS
--- (Green dashed)	PROPOSED PRIVATE STORM WATER PIPE	B	BASIN
HWC	HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE
DP	Ø80 DOWNPIPE	HT	HOSE TAP
ORG	OVERFLOW RELIF GULLY	SHR	SHOWER
TV	TERMINAL VENT	WM	WASHING MACHINE
SS	SEWER STACK	KS	KITCHEN SINK
S&V	STACK & TERMINAL VENT		
AV	AIR ADMITTANCE VALVE		
FWG	FLOOR WASTE GULLY		

SHEET NAME

**PROPOSED BLOCK A SECOND FLOOR
PLUMBING & DRAINAGE PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A7442

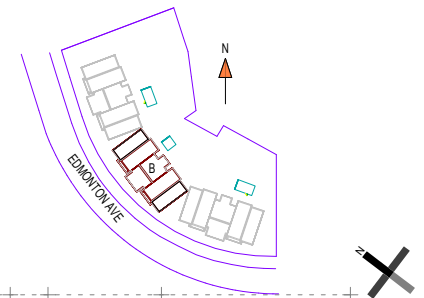
REVISION

2



CLIENT
DOMINION
 CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**
 PROJECT NUMBER
200003

KEY PLAN



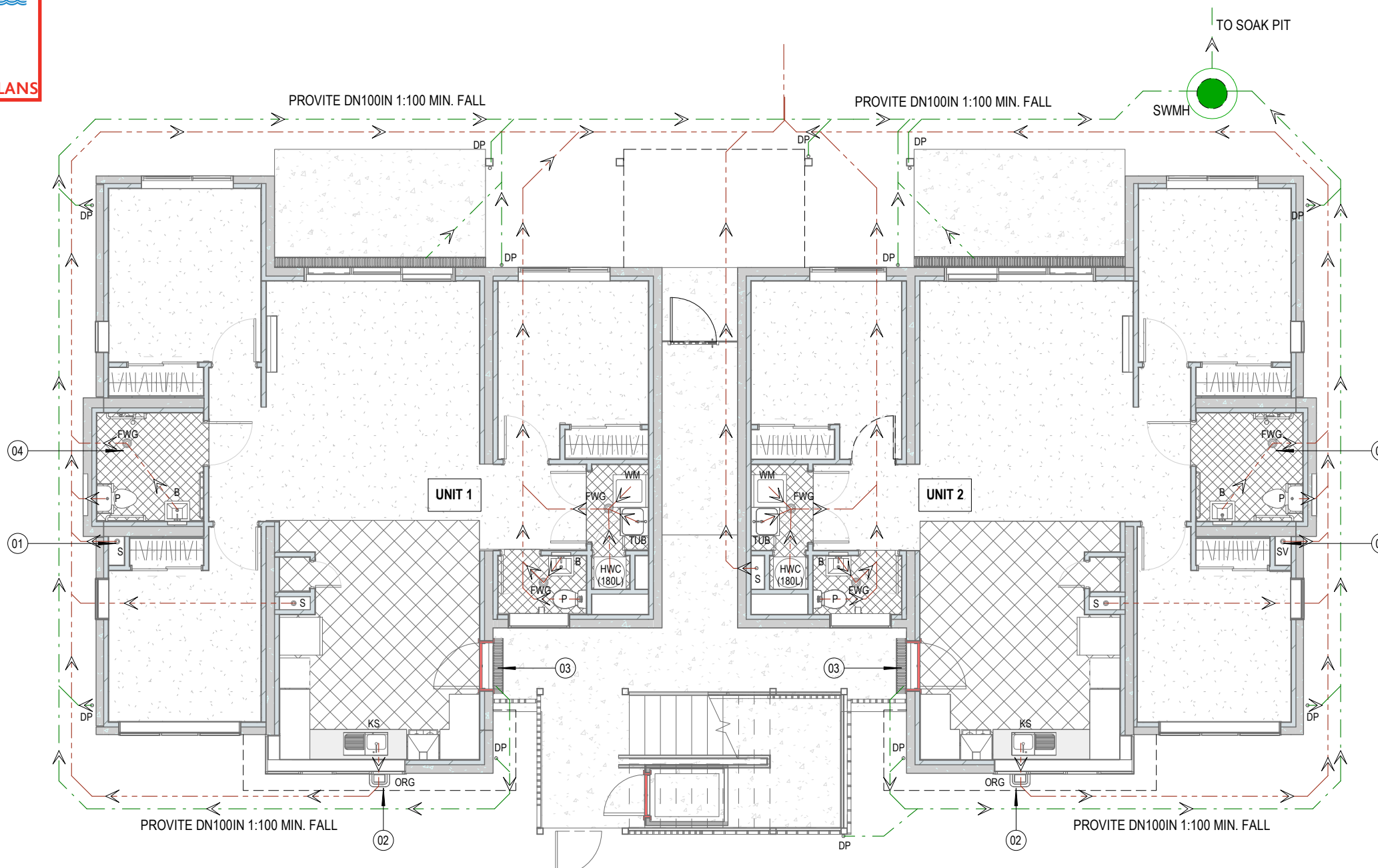
STAMP



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

Auckland Council
 18/12/2020
 BCO10313722-3
APPROVED
BUILDING CONSENT PLANS



File: BIM_360_/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
 Plot: 17/12/2020 4:06:57 pm

KEY NOTES & LEGEND

- 01 STACK FROM LEVEL ABOVE
- 02 TUNDISH DISCHARGE TO EXTERIOR
- 03 DRAINAGE CHANNEL
- 04 USER FRIENDLY SHOWER

TUB	DN50 @ 1:40 MIN
B: BASIN	DN50/65 @ 1:40 MIN
SHOWER	DN50 @ 1:40 MIN
KS: SINK	DN50/65 @ 1:40 MIN
WM	DN40 @ 1:40 MIN
P: WC	DN100 @ 1:60 MIN
HWC	DN40 @ 1:40 MIN
VENT	DN50 MIN
STACK	DN100 MIN
HWC	DN20 COLD/HOT SUPPLY
WATER MAIN	DN 25 DMPE

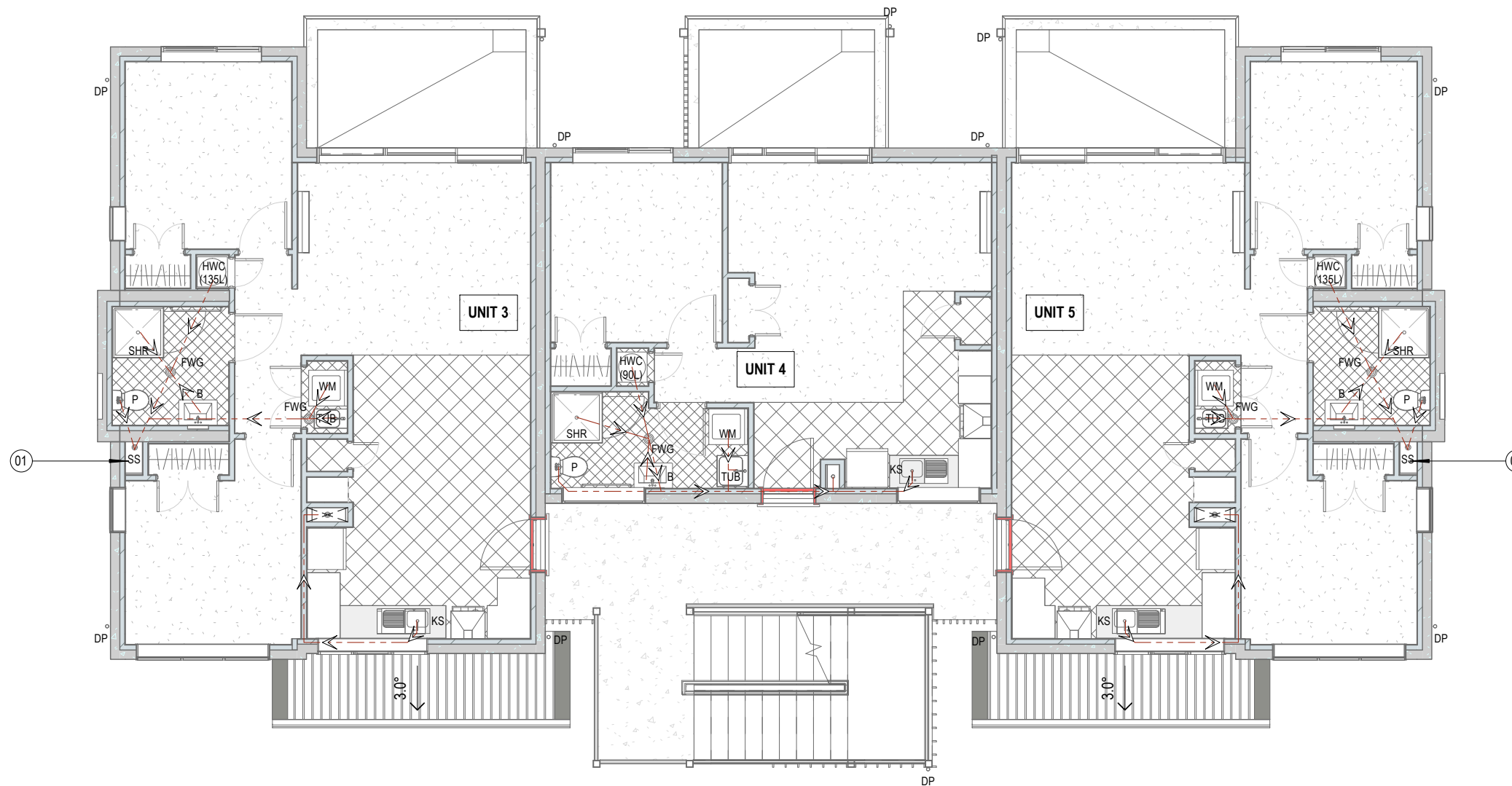
SHEET NOTES

- REFER TO PLUMBING NOTES, SHEET A0091
- REFER TO FINISHES NOTES, SHEET A5-0091
- ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.
- DRAINLAYER CONTRACTOR IS TO CONFIRM ALL LOCATIONS OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE.
- ALL SPECIFIED KITCHEN SINKS, TUBS AND BASINS HAVE INTEGRAL OVERFLOWS. ADJUSTABLE FLOW RATES SET AS FOLLOWS:
 LAUNDRY AND BASIN MIXERS - 6 LITRES PER MINUTE.
 KITCHEN MIXERS - 7.5L PER MINUTE
 SHOWER MIXERS - 9 LITRES PER MINUTE
- CONTRACTOR TO COORDINATE DETENTION TANK LOCATION WITH WINDOW LAYOUT AND MANUFACTURERS SPECIFICATION INCLUDING SEISMIC RESTRAINTS.
-

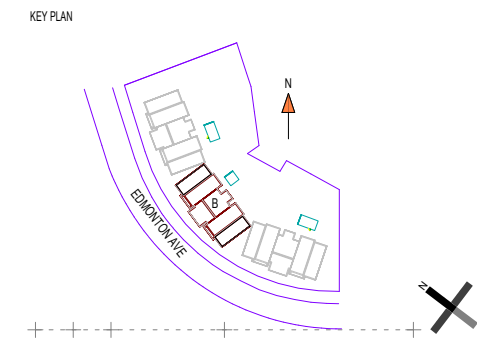
LEGEND

- - - - -	PROPOSED PRIVATE SEWER PIPE	P	TOILET PANS
- . - . -	PROPOSED PRIVATE STORM WATER PIPE	B	BASIN
HWC	HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE
DP	Ø80 DOWNPIPE	HT	HOSE TAP
ORG	OVERFLOW RELIF GULLY	SHR	SHOWER
TV	TERMINAL VENT	WM	WASHING MACHINE
SS	SEWER STACK	KS	KITCHEN SINK
S&V	STACK & TERMINAL VENT		
AV	AIR ADMITTANCE VALVE		
FWG	FLOOR WASTE GULLY		

SHEET NAME
**PROPOSED BLOCK B GROUND FLOOR
 PLUMBING & DRAINAGE PLAN**
 PROJECT STATUS
BC-CONSTRUCTION-STAGE3
 SHEET SCALE
1 : 100
 SHEET NUMBER
A5-A7450
 SHEET SIZE
A3=100%
 PRINT IN COLOUR
 REVISION
2



CLIENT
DOMINION
 CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**
 PROJECT NUMBER
200003



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

KEY NOTES & LEGEND

- 01 STACK FROM LEVEL ABOVE
- 02 TUNDISH DISCHARGE TO EXTERIOR
- 03 DRAINAGE CHANNEL
- 04 USER FRIENDLY SHOWER

TUB	DN50 @ 1:40 MIN
B: BASIN	DN50/65 @ 1:40 MIN
SHOWER	DN50 @ 1:40 MIN
KS: SINK	DN50/65 @ 1:40 MIN
WM	DN40 @ 1:40 MIN
P: WC	DN100 @ 1:60 MIN
HWC	DN40 @ 1:40 MIN
VENT	DN50 MIN
STACK	DN100 MIN
HWC	DN20 COLD/HOT SUPPLY
WATER MAIN	DN 25 MDPE

SHEET NOTES

1. REFER TO PLUMBING NOTES, SHEET A0091
2. REFER TO FINISHES NOTES, SHEET A5-0091
3. ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.
4. DRAINLAYER CONTRACTOR IS TO CONFIRM ALL LOCATIONS OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE.
5. ALL SPECIFIED KITCHEN SINKS, TUBS AND BASINS HAVE INTEGRAL OVERFLOWS. ADJUSTABLE FLOW RATES SET AS FOLLOWS:
 LAUNDRY AND BASIN MIXERS - 6 LITRES PER MINUTE.
 KITCHEN MIXERS - 7.5L PER MINUTE
 SHOWER MIXERS - 9 LITRES PER MINUTE
6. CONTRACTOR TO COORDINATE DETENTION TANK LOCATION WITH WINDOW LAYOUT AND MANUFACTURERS SPECIFICATION INCLUDING SEISMIC RESTRAINTS.
- 7.

LEGEND

---	PROPOSED PRIVATE SEWER PIPE	P	TOILET PANS
---	PROPOSED PRIVATE STORM WATER PIPE	B	BASIN
HWC	HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE
DP	Ø80 DOWNPIPE	HT	HOSE TAP
ORG	OVERFLOW RELIF GULLY	SHR	SHOWER
TV	TERMINAL VENT	WM	WASHING MACHINE
SS	SEWER STACK	KS	KITCHEN SINK
S&V	STACK & TERMINAL VENT		
AV	AIR ADMITTANCE VALVE		
FWG	FLOOR WASTE GULLY		

SHEET NAME
**PROPOSED BLOCK B FIRST FLOOR
 PLUMBING & DRAINAGE PLAN**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1 : 100

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-A7451





CLIENT

**DOMINION
CONSTRUCTORS LTD**

PROJECT NAME

8-18 EDMONTON AVENUE

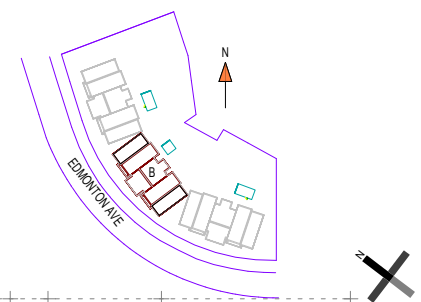
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

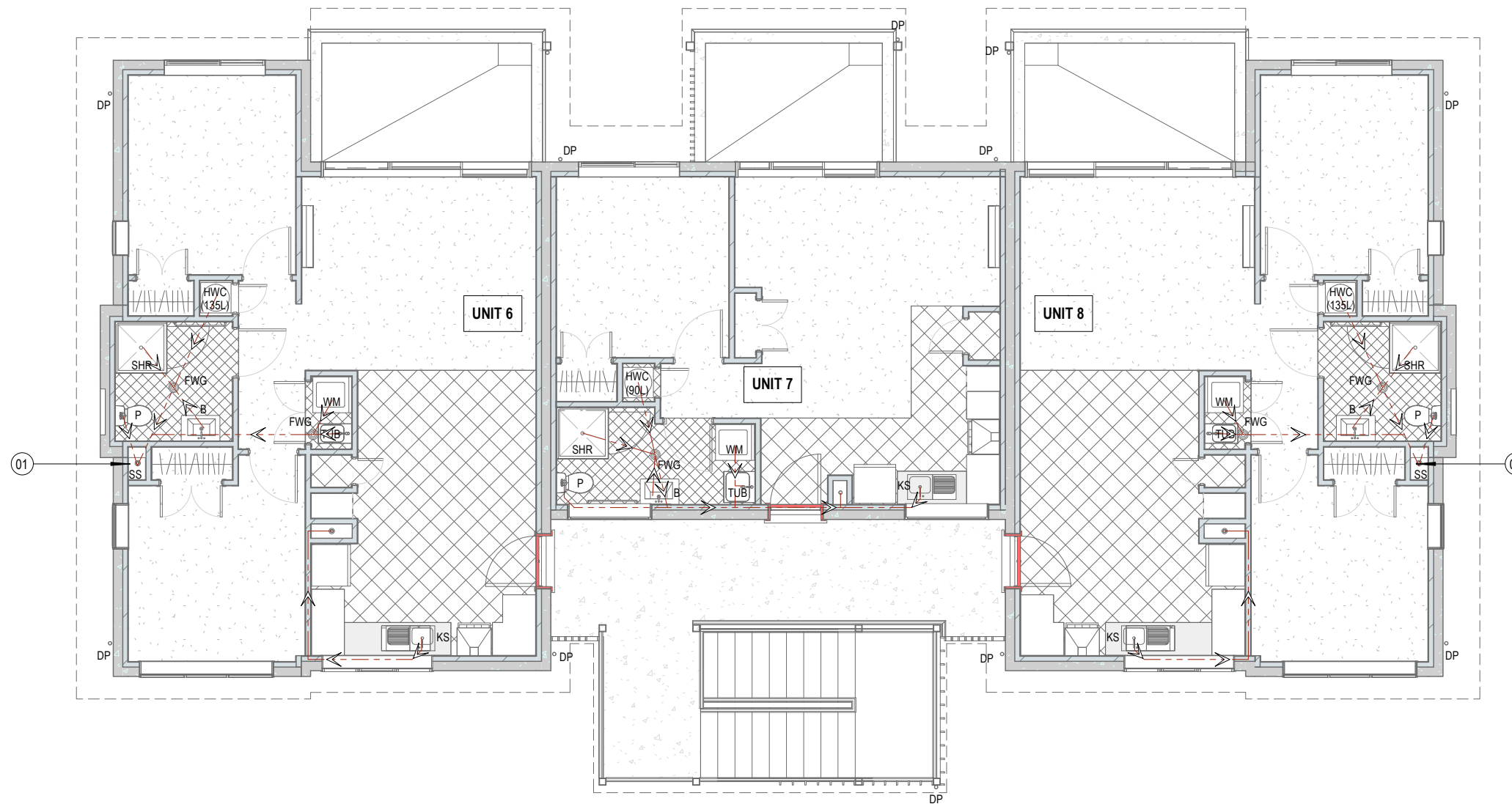
PROJECT NUMBER

200003

KEY PLAN



STAMP



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

KEY NOTES & LEGEND

- 01 STACK FROM LEVEL ABOVE
- 02 TUNDISH DISCHARGE TO EXTERIOR
- 03 DRAINAGE CHANNEL
- 04 USER FRIENDLY SHOWER

TUB	DN50 @ 1:40 MIN
B: BASIN	DN50/65 @ 1:40 MIN
SHOWER	DN50 @ 1:40 MIN
KS: SINK	DN50/65 @ 1:40 MIN
WM	DN40 @ 1:40 MIN
P: WC	DN100 @ 1:60 MIN
HWC	DN40 @ 1:40 MIN
VENT	DN50 MIN
STACK	DN100 MIN
HWC	DN20 COLD/HOT SUPPLY
WATER MAIN	DN 25 MDPE

SHEET NOTES

- REFER TO PLUMBING NOTES, SHEET A0091
- REFER TO FINISHES NOTES, SHEET A5-0091
- ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.
- DRAINLAYER CONTRACTOR IS TO CONFIRM ALL LOCATIONS OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE.
- ALL SPECIFIED KITCHEN SINKS, TUBS AND BASINS HAVE INTEGRAL OVERFLOWS. ADJUSTABLE FLOW RATES SET AS FOLLOWS:
LAUNDRY AND BASIN MIXERS - 6 LITRES PER MINUTE.
KITCHEN MIXERS - 7.5L PER MINUTE
SHOWER MIXERS - 9 LITRES PER MINUTE
- CONTRACTOR TO COORDINATE DETENTION TANK LOCATION WITH WINDOW LAYOUT AND MANUFACTURERS SPECIFICATION INCLUDING SEISMIC RESTRAINTS.

LEGEND

---	PROPOSED PRIVATE SEWER PIPE	P	TOILET PANS
- - -	PROPOSED PRIVATE STORM WATER PIPE	B	BASIN
HWC	HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE
DP	Ø80 DOWNPIPE	HT	HOSE TAP
ORG	OVERFLOW RELIF GULLY	SHR	SHOWER
TV	TERMINAL VENT	WM	WASHING MACHINE
SS	SEWER STACK	KS	KITCHEN SINK
S&V	STACK & TERMINAL VENT		
AV	AIR ADMITTANCE VALVE		
FWG	FLOOR WASTE GULLY		

SHEET NAME
**PROPOSED BLOCK B SECOND FLOOR
PLUMBING & DRAINAGE PLAN**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE: **1 : 100**
SHEET SIZE: **A3=100%**
PRINT IN COLOUR

SHEET NUMBER
A5-A7452
REVISION
2



CLIENT

DOMINION
 CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

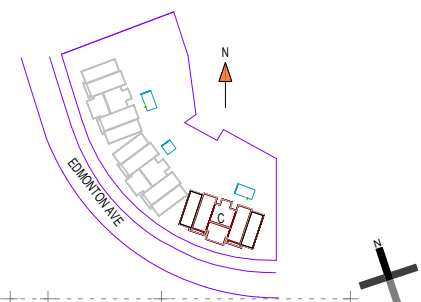
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

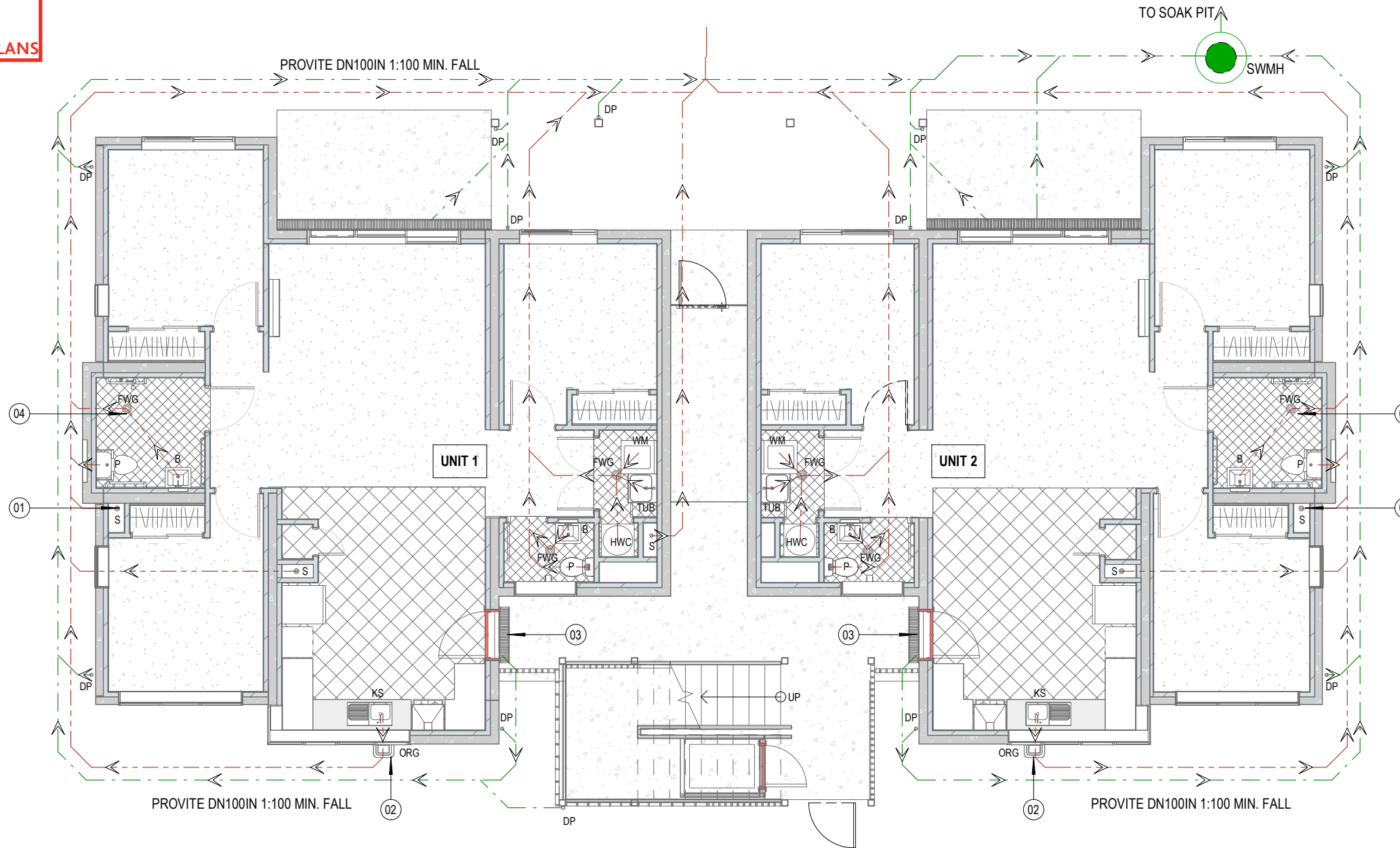
KEY PLAN



STAMP

AUCKLAND COUNCIL
Reviewed
 By: Kishore Rana Date: 14/12/2020
DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR



File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
 Plot: 17/12/2020 4:09:00 pm

KEY NOTES & LEGEND

- 01 STACK FROM LEVEL ABOVE
- 02 TUNDISH DISCHARGE TO EXTERIOR
- 03 DRAINAGE CHANNEL
- 04 USER FRIENDLY SHOWER

- TUB DN50 @ 1:40 MIN
- B: BASIN DN50/65 @ 1:40 MIN
- SHOWER DN50 @ 1:40 MIN
- KS: SINK DN50/65 @ 1:40 MIN
- WM DN40 @ 1:40 MIN
- P: WC DN100 @ 1:60 MIN
- HWC DN40 @ 1:40 MIN
- VENT DN50 MIN
- STACK DN100 MIN
- HWC DN20 COLD/HOT SUPPLY
- WATER MAIN DN 25 MDPE

SHEET NOTES

1. REFER TO PLUMBING NOTES, SHEET A0091
2. REFER TO FINISHES NOTES, SHEET A5-0091
3. ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.
4. DRAINLAYER CONTRACTOR IS TO CONFIRM ALL LOCATIONS OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE.
5. ALL SPECIFIED KITCHEN SINKS, TUBS AND BASINS HAVE INTEGRAL OVERFLOWS. ADJUSTABLE FLOW RATES SET AS FOLLOWS:
 LAUNDRY AND BASIN MIXERS - 6 LITRES PER MINUTE.
 KITCHEN MIXERS - 7.5L PER MINUTE
 SHOWER MIXERS - 9 LITRES PER MINUTE
6. CONTRACTOR TO COORDINATE DETENTION TANK LOCATION WITH WINDOW LAYOUT AND MANUFACTURERS SPECIFICATION INCLUDING SEISMIC RESTRAINTS.
- 7.

LEGEND

- PROPOSED PRIVATE SEWER PIPE
- - - PROPOSED PRIVATE STORM WATER PIPE
- HWC HOT WATER CYLINDER, WITH SAFE TRAY UNDER
- DP Ø80 DOWNPIPE
- ORG OVERFLOW RELIF GULLY
- TV TERMINAL VENT
- SS SEWER STACK
- S&V STACK & TERMINAL VENT
- AV AIR ADMITTANCE VALVE
- FWG FLOOR WASTE GULLY
- P TOILET PANS
- B BASIN
- SFW SHOWER FLOOR WASTE
- HT HOSE TAP
- SHR SHOWER
- WM WASHING MACHINE
- KS KITCHEN SINK

THE FINE PRINT
 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

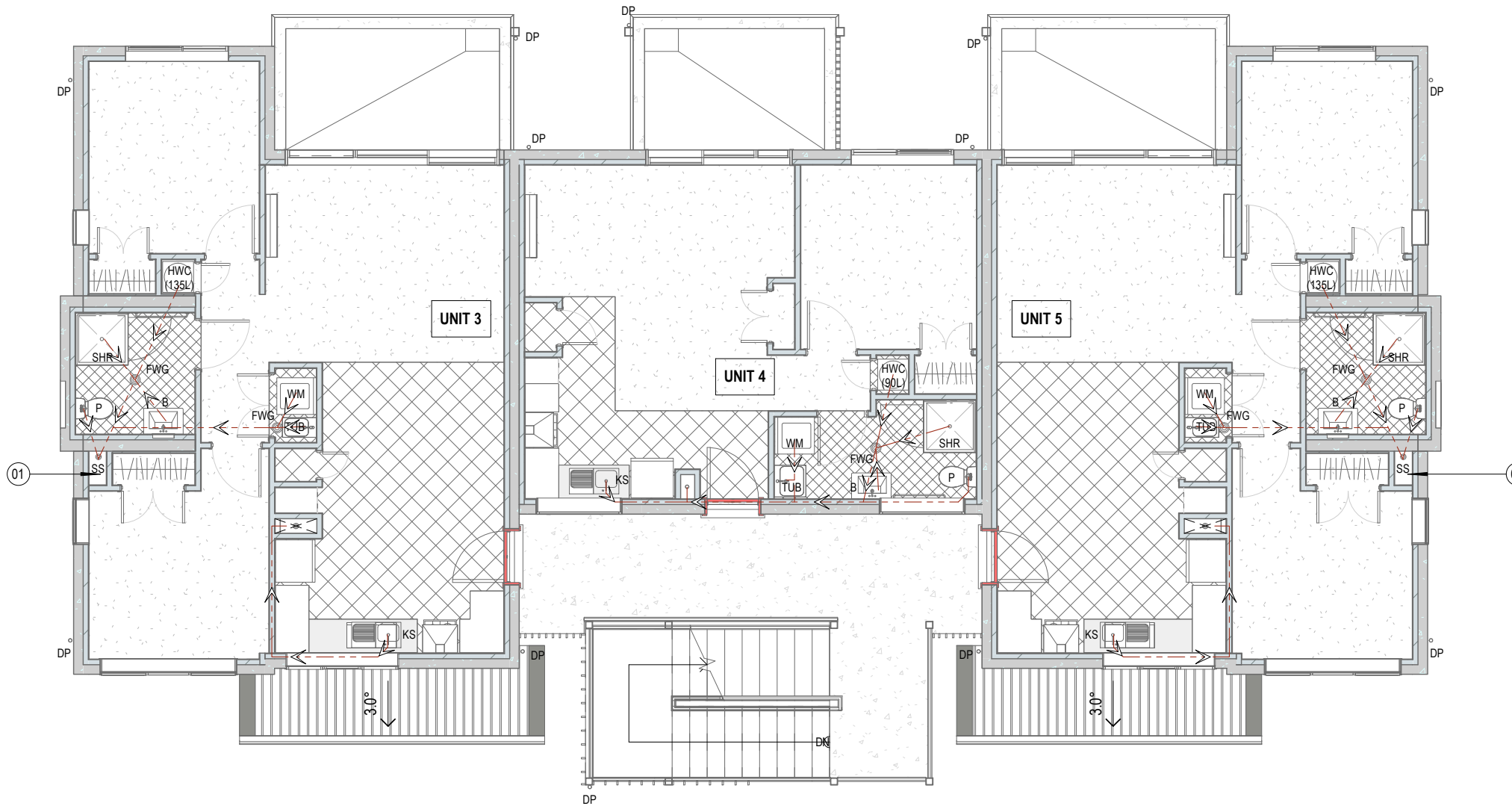
SHEET NAME
**PROPOSED BLOCK C GROUND FLOOR
 PLUMBING & DRAINAGE PLAN**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

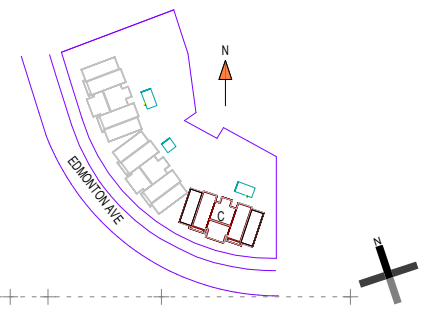
SHEET SCALE **1 : 100** SHEET SIZE **A3=100%** PRINT IN COLOUR

SHEET NUMBER
A5-A7460

REVISION
2



CLIENT
DOMINION
 CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**
 PROJECT NUMBER
200003
 KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

KEY NOTES & LEGEND

- 01 STACK FROM LEVEL ABOVE
- 02 TUNDISH DISCHARGE TO EXTERIOR
- 03 DRAINAGE CHANNEL
- 04 USER FRIENDLY SHOWER

TUB	DN50 @ 1:40 MIN
B: BASIN	DN50/65 @ 1:40 MIN
SHOWER	DN50 @ 1:40 MIN
KS: SINK	DN50/65 @ 1:40 MIN
WM	DN40 @ 1:40 MIN
P: WC	DN100 @ 1:60 MIN
HWC	DN40 @ 1:40 MIN
VENT	DN50 MIN
STACK	DN100 MIN
HWC	DN20 COLD/HOT SUPPLY
WATER MAIN	DN 25 DMPE

SHEET NOTES

1. REFER TO PLUMBING NOTES, SHEET A0091
2. REFER TO FINISHES NOTES, SHEET A5-0091
3. ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.
4. DRAINLAYER CONTRACTOR IS TO CONFIRM ALL LOCATIONS OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE.
5. ALL SPECIFIED KITCHEN SINKS, TUBS AND BASINS HAVE INTEGRAL OVERFLOWS. ADJUSTABLE FLOW RATES SET AS FOLLOWS:
 LAUNDRY AND BASIN MIXERS - 6 LITRES PER MINUTE.
 KITCHEN MIXERS - 7.5L PER MINUTE
 SHOWER MIXERS - 9 LITRES PER MINUTE
6. CONTRACTOR TO COORDINATE DETENTION TANK LOCATION WITH WINDOW LAYOUT AND MANUFACTURERS SPECIFICATION INCLUDING SEISMIC RESTRAINTS.
- 7.

LEGEND

---	PROPOSED PRIVATE SEWER PIPE	P	TOILET PANS
---	PROPOSED PRIVATE STORM WATER PIPE	B	BASIN
HWC	HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE
DP	Ø80 DOWNPIPE	HT	HOSE TAP
ORG	OVERFLOW RELIF GULLY	SHR	SHOWER
TV	TERMINAL VENT	WM	WASHING MACHINE
SS	SEWER STACK	KS	KITCHEN SINK
S&V	STACK & TERMINAL VENT		
AV	AIR ADMITTANCE VALVE		
FWG	FLOOR WASTE GULLY		

SHEET NAME
**PROPOSED BLOCK C FIRST FLOOR
 PLUMBING & DRAINAGE PLAN**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1 : 100

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-A7461

REVISION
2



CLIENT

**DOMINION
CONSTRUCTORS LTD**

PROJECT NAME

8-18 EDMONTON AVENUE

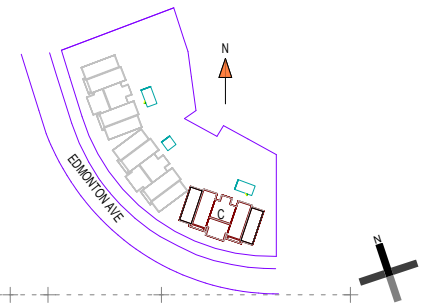
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN

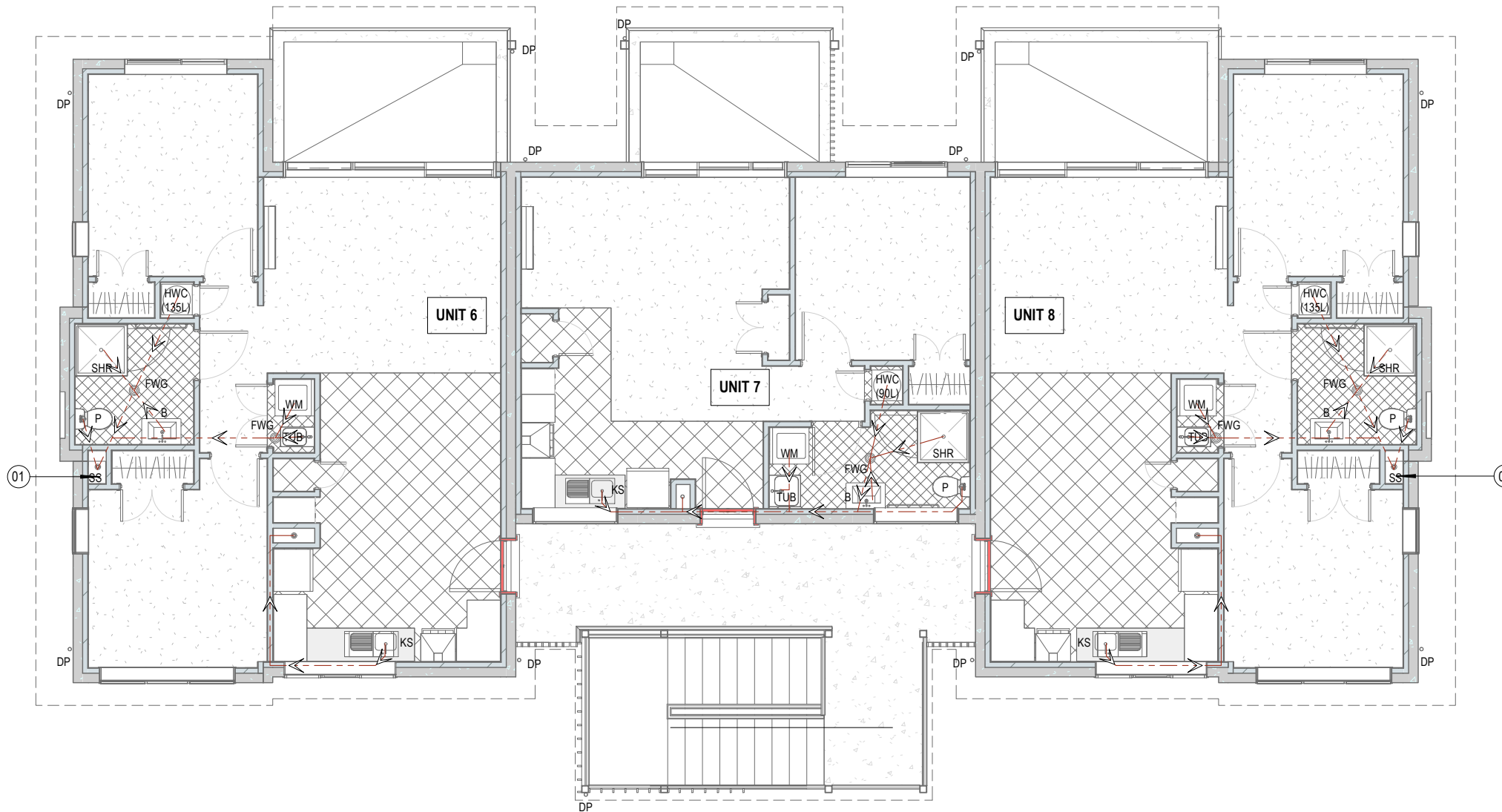


STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.



KEY NOTES & LEGEND

- 01 STACK FROM LEVEL ABOVE
- 02 TUNDISH DISCHARGE TO EXTERIOR
- 03 DRAINAGE CHANNEL
- 04 USER FRIENDLY SHOWER

TUB	DN50 @ 1:40 MIN
B: BASIN	DN50/65 @ 1:40 MIN
SHOWER	DN50 @ 1:40 MIN
KS: SINK	DN50/65 @ 1:40 MIN
WM	DN40 @ 1:40 MIN
P: WC	DN100 @ 1:60 MIN
HWC	DN40 @ 1:40 MIN
VENT	DN50 MIN
STACK	DN100 MIN
HWC	DN20 COLD/HOT SUPPLY
WATER MAIN	DN 25 MDPE

SHEET NOTES

- REFER TO PLUMBING NOTES, SHEET A0091
- REFER TO FINISHES NOTES, SHEET A5-0091
- ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.
- DRAINLAYER CONTRACTOR IS TO CONFIRM ALL LOCATIONS OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE.
- ALL SPECIFIED KITCHEN SINKS, TUBS AND BASINS HAVE INTEGRAL OVERFLOWS. ADJUSTABLE FLOW RATES SET AS FOLLOWS:
LAUNDRY AND BASIN MIXERS - 6 LITRES PER MINUTE.
KITCHEN MIXERS - 7.5L PER MINUTE
SHOWER MIXERS - 9 LITRES PER MINUTE
- CONTRACTOR TO COORDINATE DETENTION TANK LOCATION WITH WINDOW LAYOUT AND MANUFACTURERS SPECIFICATION INCLUDING SEISMIC RESTRAINTS.

LEGEND

--- (Red dashed)	PROPOSED PRIVATE SEWER PIPE	P	TOILET PANS
--- (Green dashed)	PROPOSED PRIVATE STORM WATER PIPE	B	BASIN
HWC	HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE
DP	Ø80 DOWNPIPE	HT	HOSE TAP
ORG	OVERFLOW RELIF GULLY	SHR	SHOWER
TV	TERMINAL VENT	WM	WASHING MACHINE
SS	SEWER STACK	KS	KITCHEN SINK
S&V	STACK & TERMINAL VENT		
AV	AIR ADMITTANCE VALVE		
FWG	FLOOR WASTE GULLY		

SHEET NAME

**PROPOSED BLOCK C SECOND FLOOR
PLUMBING & DRAINAGE PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 100

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-A7462

REVISION

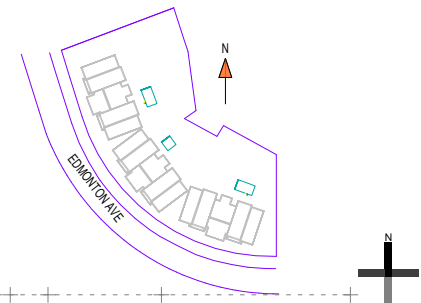
2



CLIENT
DOMINION CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER
200003

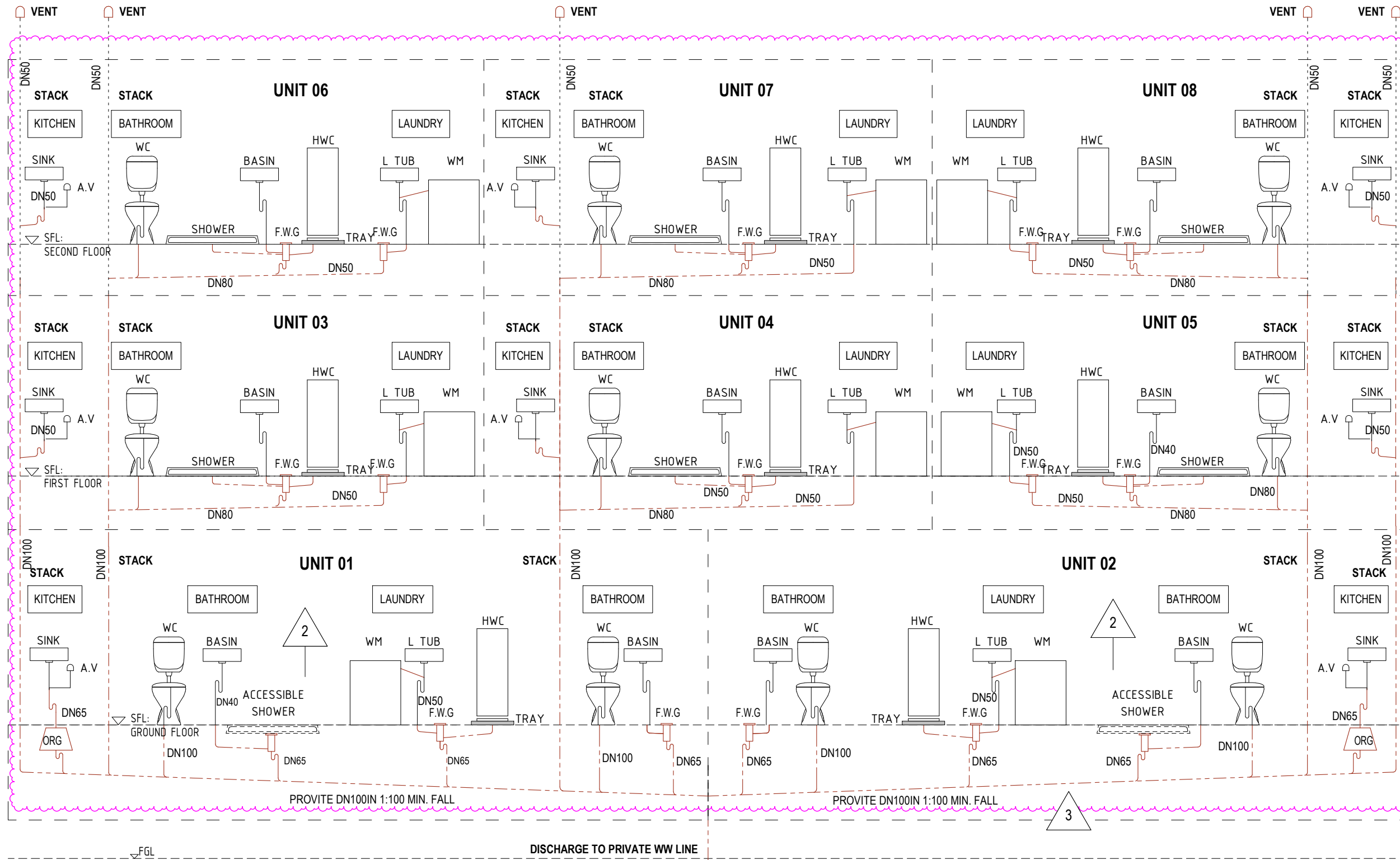
KEY PLAN



STAMP
AUCKLAND COUNCIL
Reviewed
 By: Kishore Rana Date: 14/12/2020
DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.



KEY NOTES & LEGEND

--- PROPOSED PRIVATE SEWER PIPE	TUB DN50 @ 1:40 MIN
ORG OVERFLOW RELIF GULLY	BASIN DN50/65 @ 1:40 MIN
F.W.G. FLOOR WASTE GULLY	SHOWER DN50 @ 1:40 MIN
HWC HOT WATER CYLINDER WITH SAFE TRAY	SINK DN50/65 @ 1:40 MIN
A.V. AIR ADMITTANCE VALVE	WM DN40 @ 1:40 MIN
	WC DN100 @ 1:60 MIN
	HWC DN40 @ 1:40 MIN
	VENT DN50 MIN
	STACK DN100 MIN

SHEET NOTES

- CONTRACTOR TO CHECK & CONFIRM ON SITE ALL EXISTING SERVICES BEFORE THE COMMENCEMENT OF ANY WORK.
- ALL DRAINAGE TO COMPLY WITH AS/NZS 3500 PART 2, PLUS LOCAL COUNCIL AUTHORITY.
- ALL SPECIFIED KITCHEN SINKS, TUBS & BASINS HAVE INTEGRAL OVERFLOWS.

Auckland Council
 18/12/2020
 BCO10313722-3
APPROVED
 BUILDING CONSENT PLANS

SHEET NAME
DRAINAGE SCHEMATICS

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

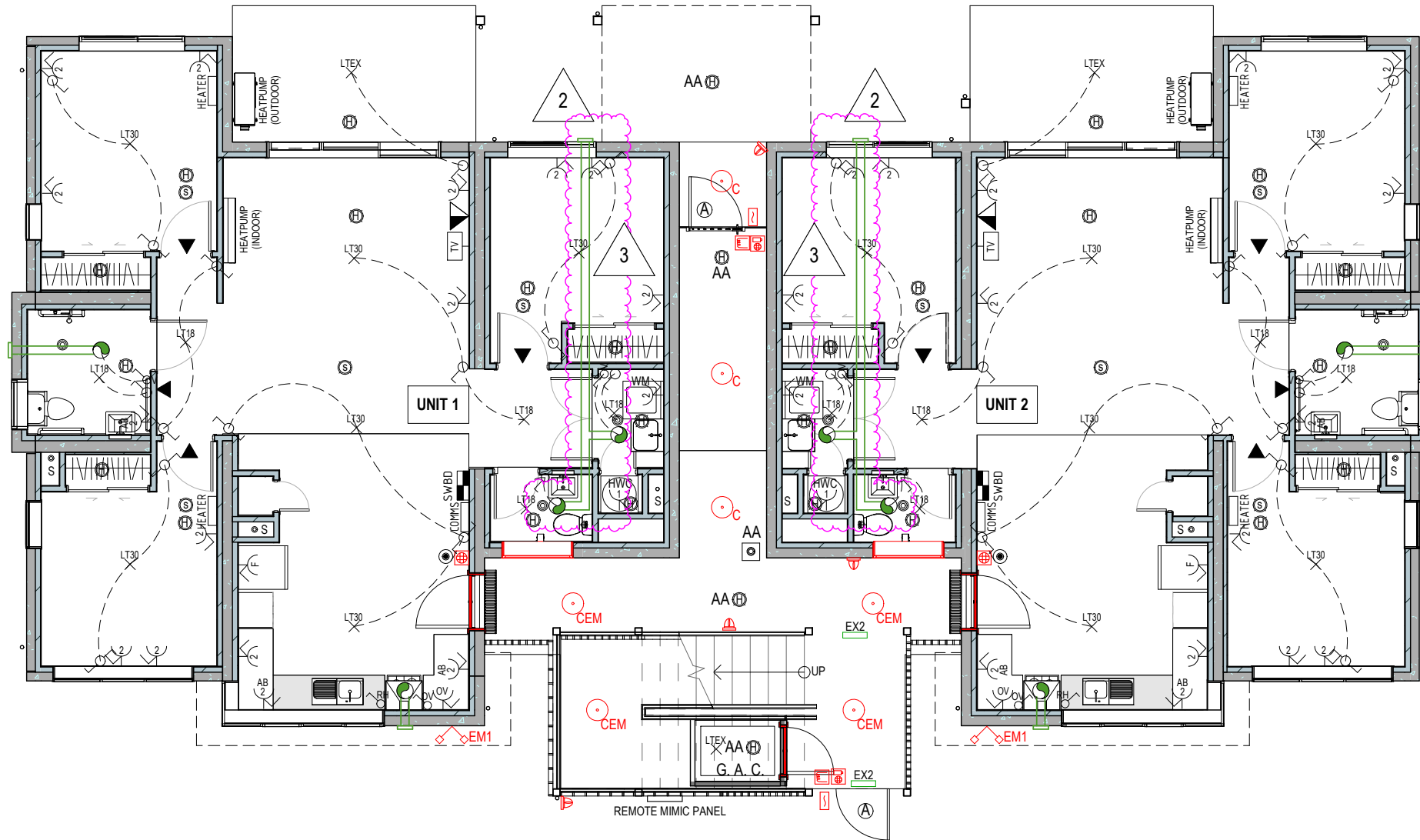
SHEET SCALE
As indicated

SHEET NUMBER
A5-A7480

SHEET SIZE
A3=100%

PRINT IN COLOUR

REVISION
3



CLIENT

DOMINION CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

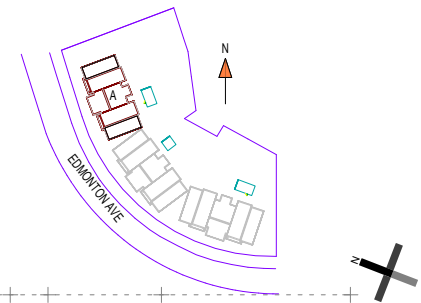
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

KEY NOTES & LEGEND

7701_4.1 METER BOX	7701_4.5 INTERIOR OUTLETS: DOUBLE, ABOVE BENCH	7701_4.7 INTERIOR LIGHT FITTINGS	7701_4.11 ELECTRIC APPLIANCES: EXTRACT FAN	FIRE SPEAKERS
7701_4.2 SWITCH BOARD	7701_4.5 INTERIOR OUTLETS: DOUBLE BELOW BENCH (500 AFF)	7701_4.5 INTERIOR LIGHT FITTINGS	7817_4.3 TELE/DATA OUTLET (500 AFF)	HEAT DETECTOR
7701_4.3 TEL. HUB	7701_4.6 INTERIOR SWITCHES: SINGLE (1100 AFF)	7701_4.8 SMOKE ALARM	7817_4.5 TV/SATELLITE OUTLET (500 AFF)	APARTMENT MODULE
7701_4.3 COMMS. BOARD	7701_4.6 INTERIOR SWITCHES: TWO WAY (1100 AFF)	7701_4.9 EXTERIOR LIGHT FITTINGS	7701_4.10 ELECTRIC APPLIANCES: ELECTRIC HEATER	AA MANUAL CALL POINT. ANALOUGE ADDRESSABLE
7701_4.5 INTERIOR OUTLET: SINGLE	7701_4.6 INTERIOR SWITCHES: EXTRACT FAN	7701_4.12 ELECTRIC APPLIANCES: HEATPUMP OUTDOOR UNIT	7701_4.13 ELECTRIC APPLIANCES: HEATPUMP INDOOR UNIT	AA SMOKE DETECTOR. ANALOUGE ADDRESSABLE
7701_4.5 INTERIOR OUTLETS: DOUBLE (500 AFF)	7701_4.6 INTERIOR SWITCHES: RANGE HOOD	2 & 3 BEDROOM UNITS: 353(D)x697(H)x890(W) 1 BEDROOM UNITS: 385(D)x762(H)x920(W)		
7701_4.6 INTERIOR SWITCHES: OVEN	2 & 3 BEDROOM UNITS: 230(D)x337(H)x115(W) 1 BEDROOM UNITS: 230(D)x337(H)x115(W)			AA HEAT DETECTOR. ANALOUGE ADDRESSABLE

SHEET NOTES

- REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01;
- BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223M³/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT; REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS SELECTIONS AND FINAL SECURITY DESIGN;
- EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD". INTERIOR AND EXTERIOR LED LIGHTS <5W/M². REFER TO FIRE REPORT BY "FIREFORCE".
- ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE CONTRACTING LTD., DATED NOVEMBER 2020, SHEET EDMONT-001-003. TAKES PRECEDENCE FOR FIRE ALARM SYSTEM DESIGN.

SHEET NAME
PROPOSED BLOCK A GROUND FLOOR DATA & ELECTRICAL PLAN

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1 : 100

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-A7740

REVISION
3



CLIENT

**DOMINION
CONSTRUCTORS LTD**

PROJECT NAME

8-18 EDMONTON AVENUE

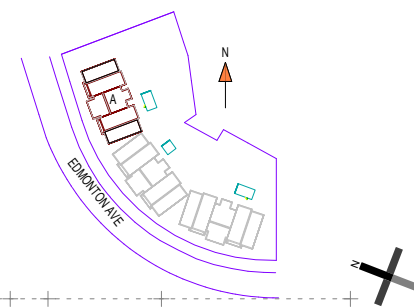
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

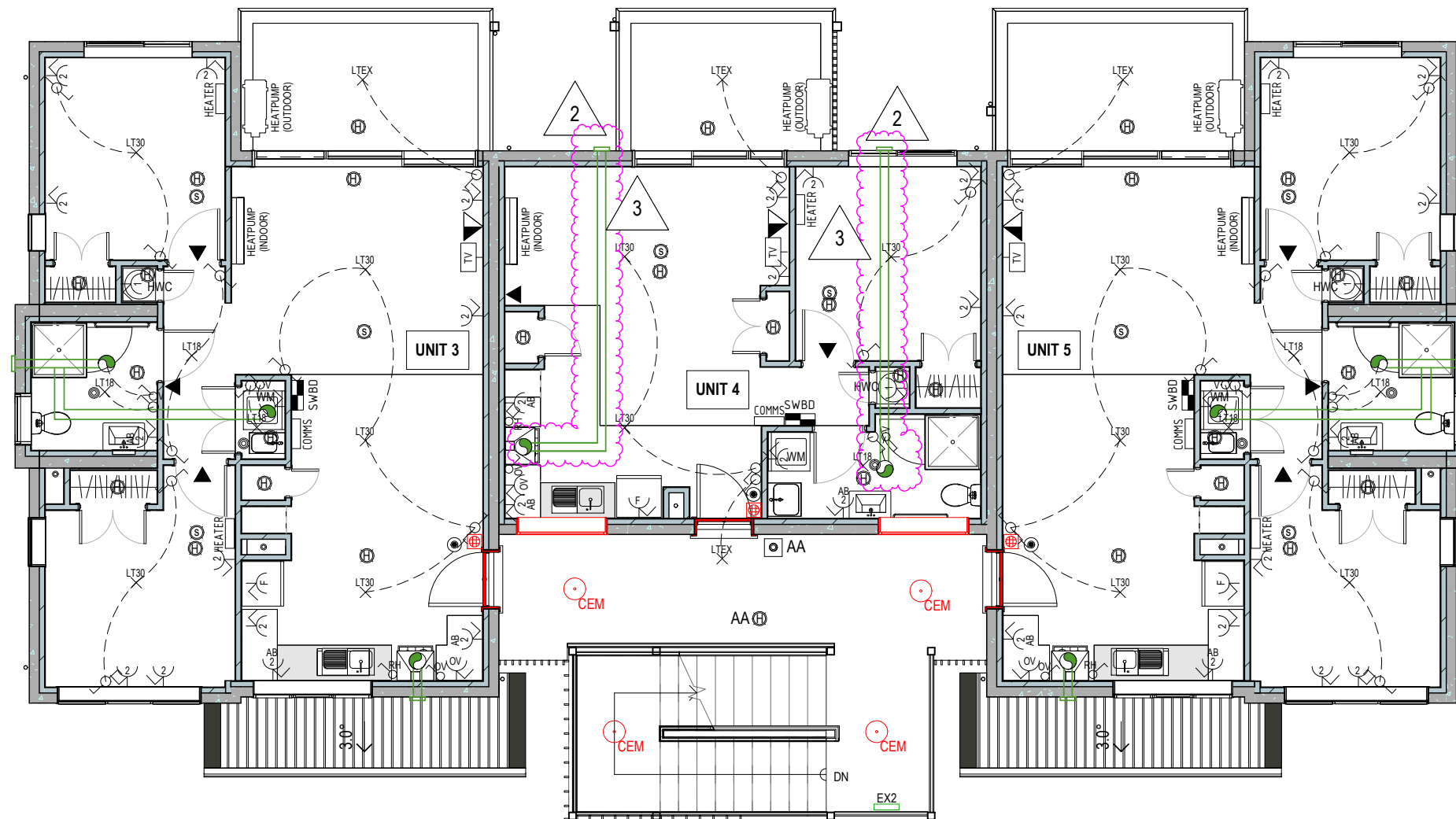
PROJECT NUMBER

200003

KEY PLAN



STAMP



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

KEY NOTES & LEGEND

7701_4.1 METER BOX	7701_4.5 INTERIOR OUTLETS: DOUBLE, ABOVE BENCH	7701_4.7 INTERIOR LIGHT FITTINGS	7701_4.11 ELECTRIC APPLIANCES: EXTRACT FAN	FIRE SPEAKERS	EMERGENCY LIGHTING SYSTEM TYPE CEM
7701_4.2 SWITCH BOARD	7701_4.5 INTERIOR OUTLETS: DOUBLE BELOW BENCH (500 AFF)	7701_4.5 INTERIOR LIGHT FITTINGS	7817_4.3 TELE/DATA OUTLET (500 AFF)	HEAT DETECTOR	EMERGENCY LIGHTING SYSTEM TYPE C
7701_4.3 TEL. HUB	7701_4.6 INTERIOR SWITCHES: SINGLE (1100 AFF)	7701_4.8 SMOKE ALARM	7817_4.5 TV/SATELLITE OUTLET (500 AFF)	APARTMENT MODULE	EMERGENCY LIGHTING SYSTEM TYPE EM1
7701_4.3 COMMS. BOARD	7701_4.6 INTERIOR SWITCHES: TWO WAY (1100 AFF)	7701_4.9 EXTERIOR LIGHT FITTINGS	7701_4.12 ELECTRIC APPLIANCES: HEATPUMP INDOOR UNIT	MANUAL CALL POINT. ANALOUGE ADDRESSABLE	EMERGENCY LIGHTING SYSTEM EXIT SIGN
7701_4.5 INTERIOR OUTLET: SINGLE	7701_4.6 INTERIOR SWITCHES: EXTRACT FAN	7701_4.10 ELECTRIC APPLIANCES: ELECTRIC HEATER	7701_4.13 ELECTRIC APPLIANCES: HEATPUMP OUTDOOR UNIT	SMOKE DETECTOR. ANALOUGE ADDRESSABLE	ACCESS DOOR
7701_4.5 INTERIOR OUTLETS: DOUBLE (500 AFF)	7701_4.6 INTERIOR SWITCHES: RANGE HOOD	2 & 3 BEDROOM UNITS: 353(D)x697(H)x890(W) 1 BEDROOM UNITS: 385(D)x762(H)x920(W)	2 & 3 BEDROOM UNITS: 230(D)x337(H)x1115(W) 1 BEDROOM UNITS: 230(D)x337(H)x1115(W)	HEAT DETECTOR. ANALOUGE ADDRESSABLE	CCTV CAMERA
7701_4.6 INTERIOR SWITCHES: OVEN				EMERGENCY DR RELEASE REQUEST TO EXIT	INTERCOM

SHEET NOTES

- REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01;
- BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223MP/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT; REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS SELECTIONS AND FINAL SECURITY DESIGN;
- EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD". INTERIOR AND EXTERIOR LED LIGHTS <5W/M².
- REFER TO FIRE REPORT BY "FIREFORCE".
- ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE CONTRACTING LTD, DATED NOVEMBER 2020, SHEET EDMONT-001-003. TAKES PRECEDENCE FOR FIRE ALARM SYSTEM DESIGN.
-
-

PROPOSED BLOCK A FIRST FLOOR DATA & ELECTRICAL PLAN

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1 : 100

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-A7741

REVISION
3



CLIENT

DOMINION CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

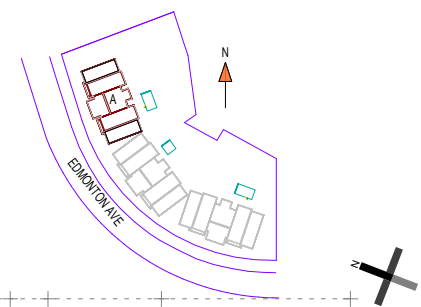
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

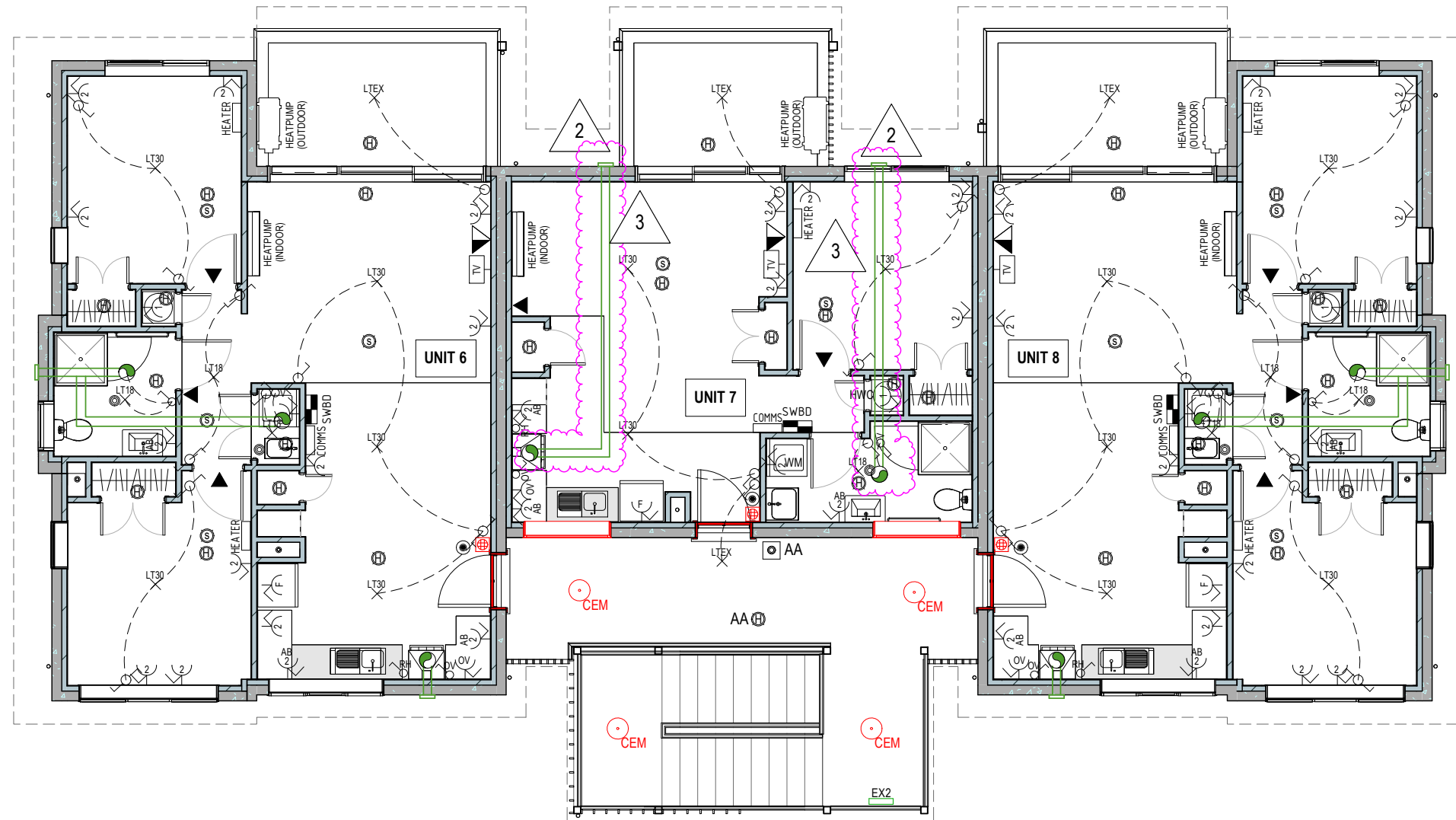
PROJECT NUMBER

200003

KEY PLAN



STAMP



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBM) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

KEY NOTES & LEGEND

7701_4.1 METER BOX	7701_4.2 SWITCH BOARD	7701_4.3 TEL. HUB	7701_4.3 COMMS. BOARD	7701_4.5 INTERIOR OUTLET: SINGLE	7701_4.5 INTERIOR OUTLETS: DOUBLE (500 AFF)	7701_4.6 INTERIOR SWITCHES: SINGLE (1100 AFF)	7701_4.6 INTERIOR SWITCHES: TWO WAY (1100 AFF)	7701_4.6 INTERIOR SWITCHES: EXTRACT FAN	7701_4.6 INTERIOR SWITCHES: RANGE HOOD	7701_4.5 INTERIOR OUTLETS: DOUBLE, ABOVE BENCH	7701_4.5 INTERIOR OUTLETS: DOUBLE BELOW BENCH (500 AFF)	7701_4.6 INTERIOR SWITCHES: SINGLE (1100 AFF)	7701_4.6 INTERIOR SWITCHES: TWO WAY (1100 AFF)	7701_4.6 INTERIOR SWITCHES: EXTRACT FAN	7701_4.6 INTERIOR SWITCHES: RANGE HOOD	7701_4.7 INTERIOR LIGHT FITTINGS	7701_4.5 INTERIOR LIGHT FITTINGS	7701_4.8 SMOKE ALARM	7701_4.9 EXTERIOR LIGHT FITTINGS	7701_4.10 ELECTRIC APPLIANCES: ELECTRIC HEATER	7701_4.12 ELECTRIC APPLIANCES: HEATPUMP OUTDOOR UNIT	7701_4.11 ELECTRIC APPLIANCES: EXTRACT FAN	7817_4.3 TELE/DATA OUTLET (500 AFF)	7817_4.5 TV/SATELLITE OUTLET (500 AFF)	7701_4.13 ELECTRIC APPLIANCES: HEATPUMP INDOOR UNIT	FIRE SPEAKERS	HEAT DETECTOR	APARTMENT MODULE	MANUAL CALL POINT, ANALOUGE ADDRESSABLE	SMOKE DETECTOR, ANALOUGE ADDRESSABLE	HEAT DETECTOR, ANALOUGE ADDRESSABLE
--------------------	-----------------------	-------------------	-----------------------	----------------------------------	---	---	--	---	--	--	---	---	--	---	--	----------------------------------	----------------------------------	----------------------	----------------------------------	--	--	--	-------------------------------------	--	---	---------------	---------------	------------------	---	--------------------------------------	-------------------------------------

SHEET NOTES

- REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01;
- BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223MP/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT; REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS SELECTIONS AND FINAL SECURITY DESIGN;
- EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD". INTERIOR AND EXTERIOR LED LIGHTS <5W/M². ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE CONTRACTING LTD, DATED NOVEMBER 2020, SHEET EDMONT-001-003. TAKES PRECEDENCE FOR FIRE ALARM SYSTEM DESIGN.
-
-
-
-

SHEET NAME
PROPOSED BLOCK A SECOND FLOOR DATA & ELECTRICAL PLAN

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1 : 100

SHEET SIZE
A3=100%

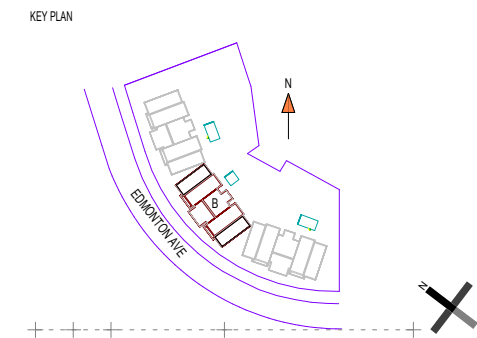
PRINT IN COLOUR

SHEET NUMBER
A5-A7742

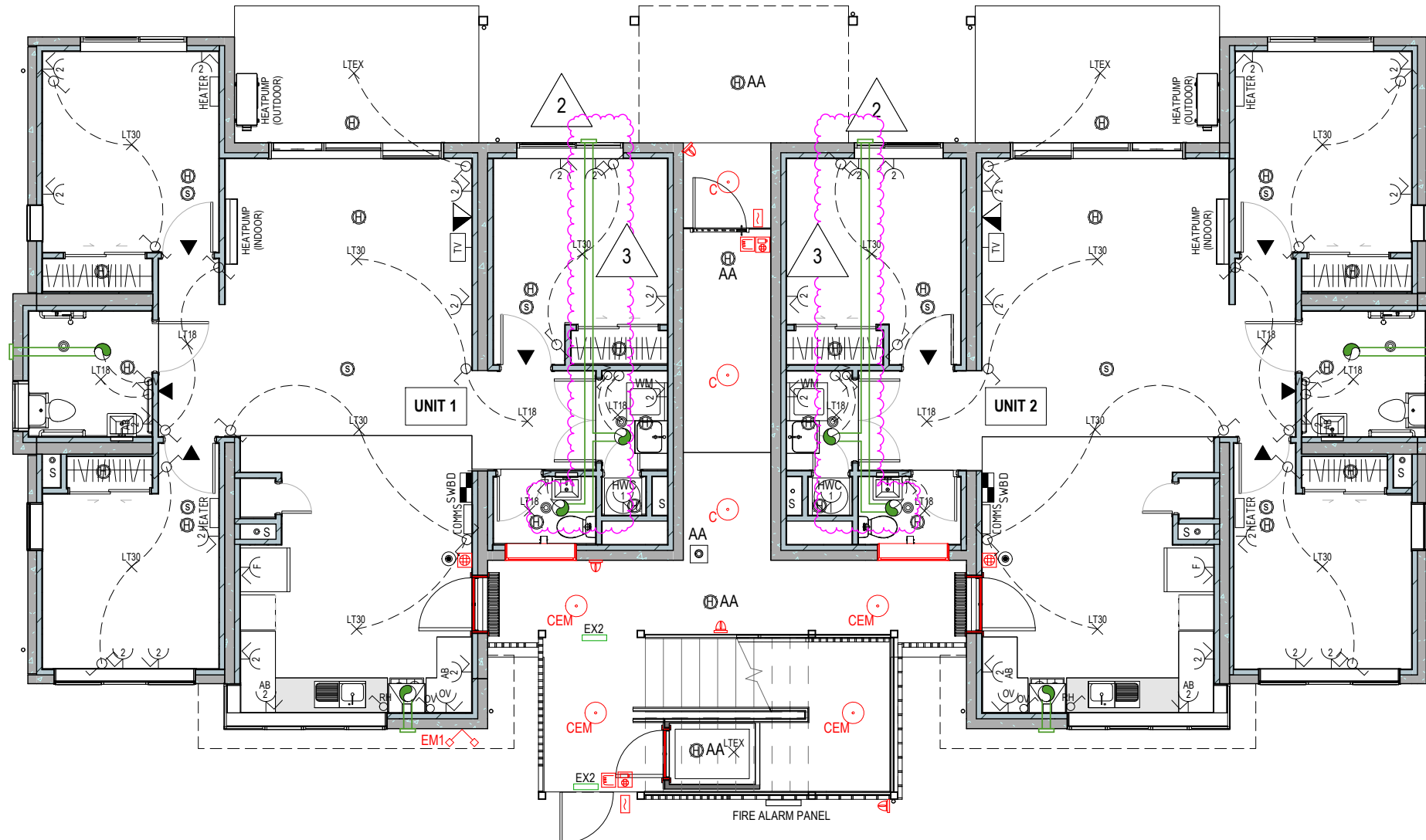
REVISION
3



CLIENT
DOMINION
 CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**
 PROJECT NUMBER
200003



KEY PLAN
 STAMP



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

KEY NOTES & LEGEND

7701_4.1 METER BOX	7701_4.5 INTERIOR OUTLETS: DOUBLE, ABOVE BENCH	7701_4.7 INTERIOR LIGHT FITTINGS	7701_4.11 ELECTRIC APPLIANCES: EXTRACT FAN	FIRE SPEAKERS
7701_4.2 SWITCH BOARD	7701_4.5 INTERIOR OUTLETS: DOUBLE BELOW BENCH (500 AFF)	7701_4.5 INTERIOR LIGHT FITTINGS	7817_4.3 TELE/DATA OUTLET (500 AFF)	HEAT DETECTOR
7701_4.3 TEL. HUB	7701_4.6 INTERIOR SWITCHES: SINGLE (1100 AFF)	7701_4.8 SMOKE ALARM	7817_4.5 TV/SATELLITE OUTLET (500 AFF)	APARTMENT MODULE
7701_4.3 COMMS. BOARD	7701_4.6 INTERIOR SWITCHES: TWO WAY (1100 AFF)	7701_4.9 EXTERIOR LIGHT FITTINGS	7701_4.12 ELECTRIC APPLIANCES: HEATPUMP INDOOR UNIT	MANUAL CALL POINT. ANALOUGE ADDRESSABLE
7701_4.5 INTERIOR OUTLET: SINGLE	7701_4.6 INTERIOR SWITCHES: EXTRACT FAN	7701_4.10 ELECTRIC APPLIANCES: ELECTRIC HEATER	7701_4.13 ELECTRIC APPLIANCES: HEATPUMP INDOOR UNIT	SMOKE DETECTOR. ANALOUGE ADDRESSABLE
7701_4.5 INTERIOR OUTLETS: DOUBLE (500 AFF)	7701_4.6 INTERIOR SWITCHES: RANGE HOOD	7701_4.12 2 & 3 BEDROOM UNITS: 353(D)x697(H)x890(W) 1 BEDROOM UNITS: 385(D)x762(H)x920(W)	7701_4.13 2 & 3 BEDROOM UNITS: 230(D)x337(H)x115(W) 1 BEDROOM UNITS: 230(D)x337(H)x115(W)	HEAT DETECTOR. ANALOUGE ADDRESSABLE
7701_4.6 INTERIOR SWITCHES: OVEN				EMERGENCY LIGHTING SYSTEM TYPE CEM

SHEET NOTES

- REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01;
- BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223MP/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT; REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS SELECTIONS AND FINAL SECURITY DESIGN;
- EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD".
- INTERIOR AND EXTERIOR LED LIGHTS <5W/M².
- REFER TO FIRE REPORT BY "FIREFORCE".
- ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE CONTRACTING LTD, DATED NOVEMBER 2020, SHEET EDMONT-001-003. TAKES PRECEDENCE FOR FIRE ALARM SYSTEM DESIGN.
-

SHEET NAME
**PROPOSED BLOCK B GROUND FLOOR
 DATA & ELECTRICAL PLAN**
 PROJECT STATUS
BC-CONSTRUCTION-STAGE3
 SHEET SCALE
1 : 100
 SHEET NUMBER
A5-A7750
 SHEET SIZE
A3=100%
 PRINT IN COLOUR
 REVISION
3



CLIENT

DOMINION CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

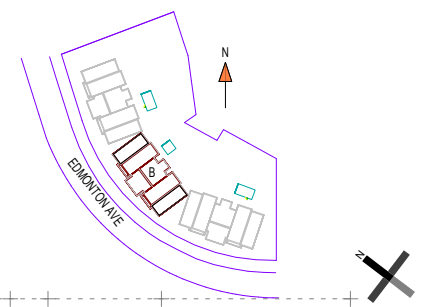
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

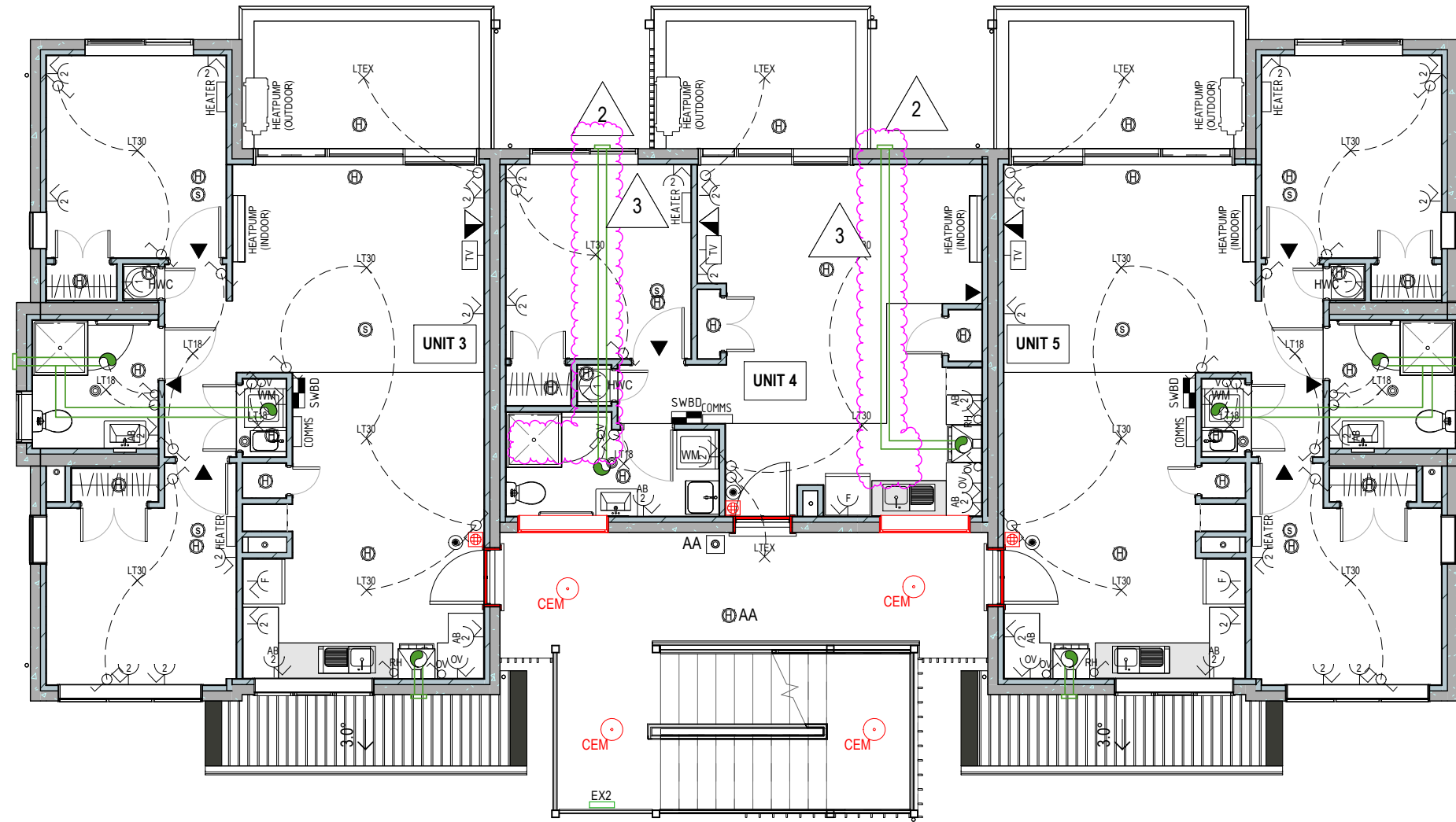
PROJECT NUMBER

200003

KEY PLAN



STAMP



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBM) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

KEY NOTES & LEGEND

7701_4.1 METER BOX	7701_4.5 INTERIOR OUTLETS: DOUBLE, ABOVE BENCH	7701_4.7 INTERIOR LIGHT FITTINGS	7701_4.11 ELECTRIC APPLIANCES: EXTRACT FAN	FIRE SPEAKERS
7701_4.2 SWITCH BOARD	7701_4.5 INTERIOR OUTLETS: DOUBLE BELOW BENCH (500 AFF)	7701_4.5 INTERIOR LIGHT FITTINGS	7817_4.3 TELE/DATA OUTLET (500 AFF)	HEAT DETECTOR
7701_4.3 TEL. HUB	7701_4.6 INTERIOR SWITCHES: SINGLE (1100 AFF)	7701_4.8 SMOKE ALARM	7817_4.5 TV/SATELLITE OUTLET (500 AFF)	APARTMENT MODULE
7701_4.3 COMMS. BOARD	7701_4.6 INTERIOR SWITCHES: TWO WAY (1100 AFF)	7701_4.9 EXTERIOR LIGHT FITTINGS	7701_4.10 ELECTRIC APPLIANCES: ELECTRIC HEATER	MANUAL CALL POINT. ANALOUGE ADDRESSABLE
7701_4.5 INTERIOR OUTLET: SINGLE	7701_4.6 INTERIOR SWITCHES: EXTRACT FAN	7701_4.10 ELECTRIC APPLIANCES: HEATPUMP OUTDOOR UNIT	7701_4.12 ELECTRIC APPLIANCES: HEATPUMP INDOOR UNIT	SMOKE DETECTOR. ANALOUGE ADDRESSABLE
7701_4.5 INTERIOR OUTLETS: DOUBLE (500 AFF)	7701_4.6 INTERIOR SWITCHES: RANGE HOOD	2 & 3 BEDROOM UNITS: 353(D)x697(H)x890(W) 1 BEDROOM UNITS: 385(D)x762(H)x920(W)	2 & 3 BEDROOM UNITS: 230(D)x337(H)x1115(W) 1 BEDROOM UNITS: 230(D)x337(H)x1115(W)	HEAT DETECTOR. ANALOUGE ADDRESSABLE
7701_4.6 INTERIOR SWITCHES: OVEN				EMERGENCY LIGHTING SYSTEM TYPE CEM
				EMERGENCY LIGHTING SYSTEM TYPE C
				EMERGENCY LIGHTING SYSTEM TYPE EM1
				EMERGENCY LIGHTING SYSTEM EXIT SIGN
				ACCESS DOOR
				CCTV CAMERA
				EMERGENCY DR RELEASE
				REQUEST TO EXIT
				INTERCOM
				GT AUDIO ONLY ENTRY
				INTERCOM APARTMENT
				GALLAGHER+A1 PHONE+CCTV
				PoE

SHEET NOTES

- REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01;
- BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223MP/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT; REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS SELECTIONS AND FINAL SECURITY DESIGN;
- EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD". INTERIOR AND EXTERIOR LED LIGHTS <5W/M².
- REFER TO FIRE REPORT BY "FIREFORCE".
- ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE CONTRACTING LTD, DATED NOVEMBER 2020, SHEET EDMONT-001-003. TAKES PRECEDENCE FOR FIRE ALARM SYSTEM DESIGN.
-
-

SHEET NAME
PROPOSED BLOCK B FIRST FLOOR DATA & ELECTRICAL PLAN

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE: **1:100** SHEET SIZE: **A3=100%** PRINT IN COLOUR

SHEET NUMBER: **A5-A7751** REVISION: **3**



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

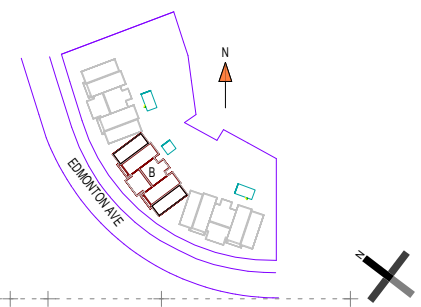
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

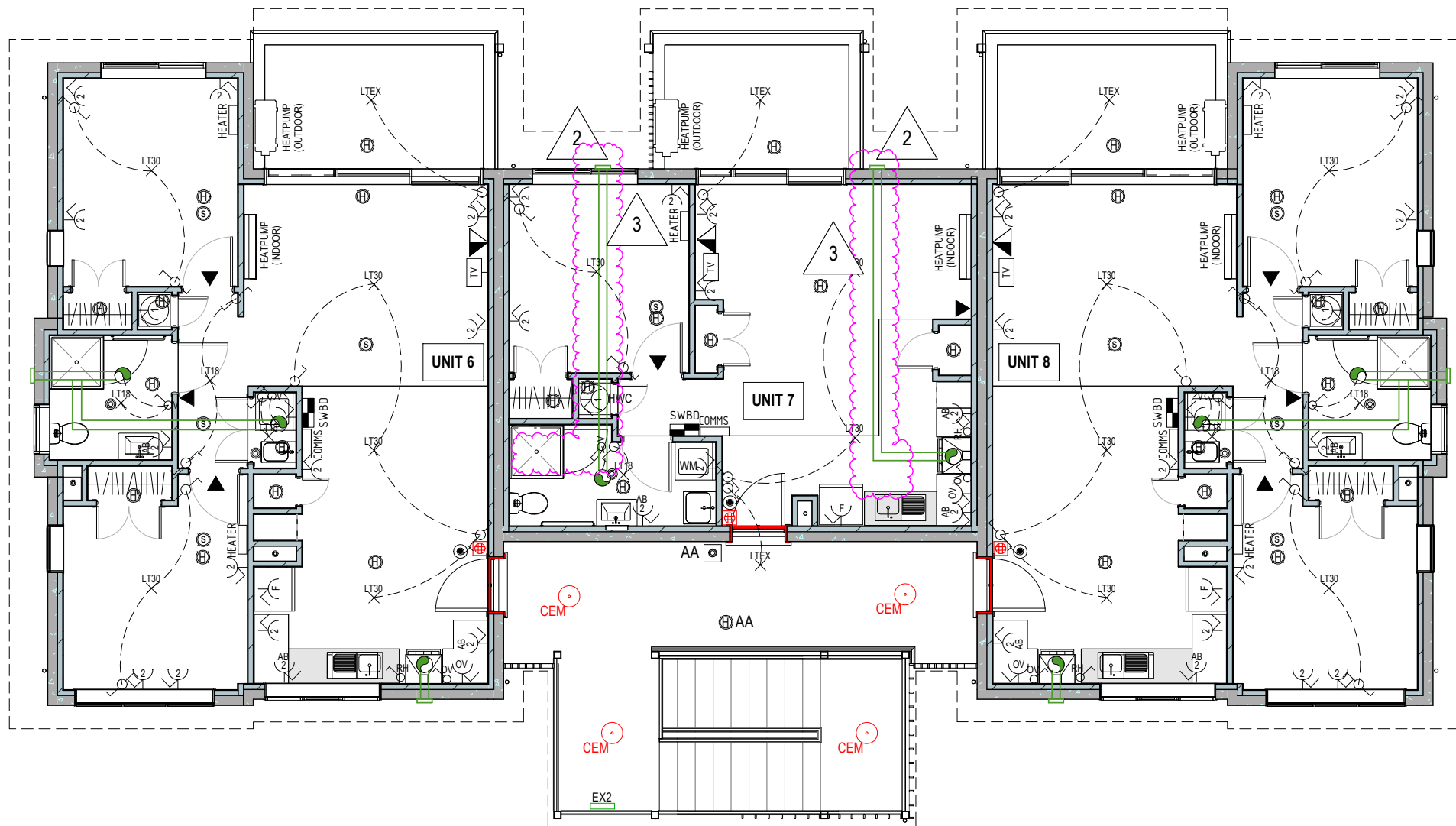
SHEET NAME
**PROPOSED BLOCK B SECOND FLOOR
DATA & ELECTRICAL PLAN**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE: **1:100** SHEET SIZE: **A3=100%** PRINT IN COLOUR

SHEET NUMBER
A5-A7752 REVISION: **3**

Auckland Council
18/12/2020
BCO10313722-3
APPROVED
BUILDING CONSENT PLANS



KEY NOTES & LEGEND

7701_4.1 METER BOX	7701_4.5 INTERIOR OUTLETS: DOUBLE, ABOVE BENCH	7701_4.7 INTERIOR LIGHT FITTINGS	7701_4.11 ELECTRIC APPLIANCES: EXTRACT FAN	FIRE SPEAKERS
7701_4.2 SWITCH BOARD	7701_4.5 INTERIOR OUTLETS: DOUBLE BELOW BENCH (500 AFF)	7701_4.5 INTERIOR LIGHT FITTINGS	7817_4.3 TELE/DATA OUTLET (500 AFF)	HEAT DETECTOR
7701_4.3 TEL HUB	7701_4.6 INTERIOR SWITCHES: SINGLE (1100 AFF)	7701_4.8 SMOKE ALARM	7817_4.5 TV/SATELLITE OUTLET (500 AFF)	APARTMENT MODULE
7701_4.3 COMMS BOARD	7701_4.6 INTERIOR SWITCHES: TWO WAY (1100 AFF)	7701_4.9 EXTERIOR LIGHT FITTINGS	7701_4.10 ELECTRIC APPLIANCES: ELECTRIC HEATER	AA MANUAL CALL POINT. ANALOUGE ADDRESSABLE
7701_4.5 INTERIOR OUTLET: SINGLE	7701_4.6 INTERIOR SWITCHES: EXTRACT FAN	7701_4.10 ELECTRIC APPLIANCES: ELECTRIC HEATER	7701_4.12 ELECTRIC APPLIANCES: HEATPUMP OUTDOOR UNIT	AA SMOKE DETECTOR. ANALOUGE ADDRESSABLE
7701_4.5 INTERIOR OUTLETS: DOUBLE (500 AFF)	7701_4.6 INTERIOR SWITCHES: RANGE HOOD	7701_4.12 ELECTRIC APPLIANCES: HEATPUMP INDOOR UNIT	7701_4.13 ELECTRIC APPLIANCES: HEATPUMP INDOOR UNIT	AA HEAT DETECTOR. ANALOUGE ADDRESSABLE
7701_4.6 INTERIOR SWITCHES: OVEN		2 & 3 BEDROOM UNITS: 353(D)x697(H)x890(W) 1 BEDROOM UNITS: 385(D)x762(H)x920(W)	2 & 3 BEDROOM UNITS: 230(D)x337(H)x1115(W) 1 BEDROOM UNITS: 230(D)x337(H)x1115(W)	CEM EMERGENCY LIGHTING SYSTEM TYPE CEM

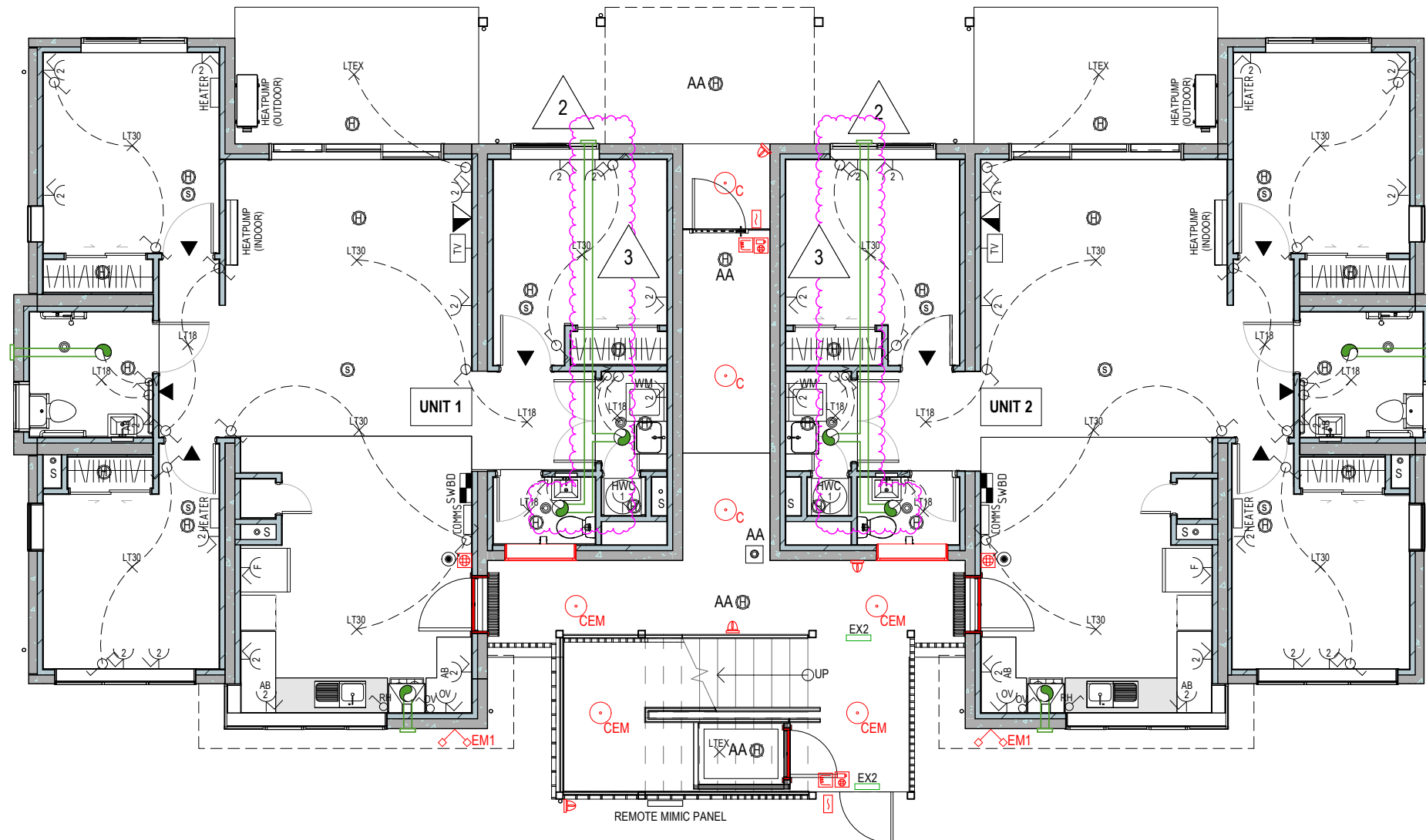
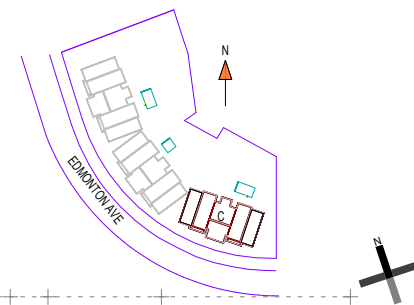
SHEET NOTES

- REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01;
- BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223M³/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT; REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS SELECTIONS AND FINAL SECURITY DESIGN;
- EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD". INTERIOR AND EXTERIOR LED LIGHTS <5W/M²;
- REFER TO FIRE REPORT BY "FIREFORCE".
- ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE CONTRACTING LTD, DATED NOVEMBER 2020, SHEET EDMONT-001-003. TAKES PRECEDENCE FOR FIRE ALARM SYSTEM DESIGN.
-
-

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT
DOMINION
 CONSTRUCTORS LTD
 PROJECT NAME
8-18 EDMONTON AVENUE
 PROJECT ADDRESS
**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**
 PROJECT NUMBER
200003
 KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

KEY NOTES & LEGEND

7701_4.1 METER BOX	7701_4.5 INTERIOR OUTLETS: DOUBLE, ABOVE BENCH	7701_4.7 INTERIOR LIGHT FITTINGS	7701_4.11 ELECTRIC APPLIANCES: EXTRACT FAN	FIRE SPEAKERS
7701_4.2 SWITCH BOARD	7701_4.5 INTERIOR OUTLETS: DOUBLE BELOW BENCH (500 AFF)	7701_4.5 INTERIOR LIGHT FITTINGS	7817_4.3 TELE/DATA OUTLET (500 AFF)	HEAT DETECTOR
7701_4.3 TEL. HUB	7701_4.6 INTERIOR SWITCHES: SINGLE (1100 AFF)	7701_4.8 SMOKE ALARM	7817_4.5 TV/SATELLITE OUTLET (500 AFF)	APARTMENT MODULE
7701_4.3 COMMS. BOARD	7701_4.6 INTERIOR SWITCHES: TWO WAY (1100 AFF)	7701_4.9 EXTERIOR LIGHT FITTINGS	7701_4.10 ELECTRIC APPLIANCES: ELECTRIC HEATER	AA MANUAL CALL POINT. ANALOUGE ADDRESSABLE
7701_4.5 INTERIOR OUTLET: SINGLE	7701_4.6 INTERIOR SWITCHES: EXTRACT FAN	7701_4.10 ELECTRIC APPLIANCES: ELECTRIC HEATER	7701_4.12 ELECTRIC APPLIANCES: HEATPUMP OUTDOOR UNIT	SMOKE DETECTOR. ANALOUGE ADDRESSABLE
7701_4.5 INTERIOR OUTLETS: DOUBLE (500 AFF)	7701_4.6 INTERIOR SWITCHES: RANGE HOOD	7701_4.12 ELECTRIC APPLIANCES: HEATPUMP OUTDOOR UNIT	7701_4.13 ELECTRIC APPLIANCES: HEATPUMP INDOOR UNIT	AA HEAT DETECTOR. ANALOUGE ADDRESSABLE
7701_4.6 INTERIOR SWITCHES: OVEN		2 & 3 BEDROOM UNITS: 353(D)x697(H)x890(W) 1 BEDROOM UNITS: 385(D)x762(H)x920(W)	2 & 3 BEDROOM UNITS: 230(D)x337(H)x115(W) 1 BEDROOM UNITS: 230(D)x337(H)x115(W)	

SHEET NOTES

- REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01;
- BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223M³/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT; REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS SELECTIONS AND FINAL SECURITY DESIGN;
- EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD". INTERIOR AND EXTERIOR LED LIGHTS <5W/M²;
- REFER TO FIRE REPORT BY "FIREFORCE".
- ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE CONTRACTING LTD., DATED NOVEMBER 2020, SHEET EDMONT-001-003. TAKES PRECEDENCE FOR FIRE ALARM SYSTEM DESIGN.
-
-

SHEET NAME
**PROPOSED BLOCK C GROUND FLOOR
 DATA & ELECTRICAL PLAN**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1 : 100

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-A7760

REVISION
3



CLIENT

DOMINION
 CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

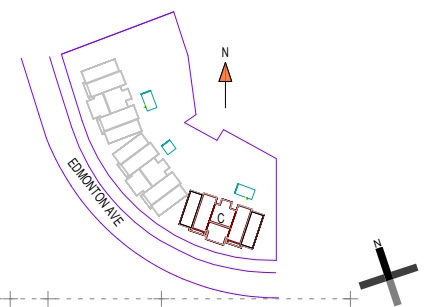
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

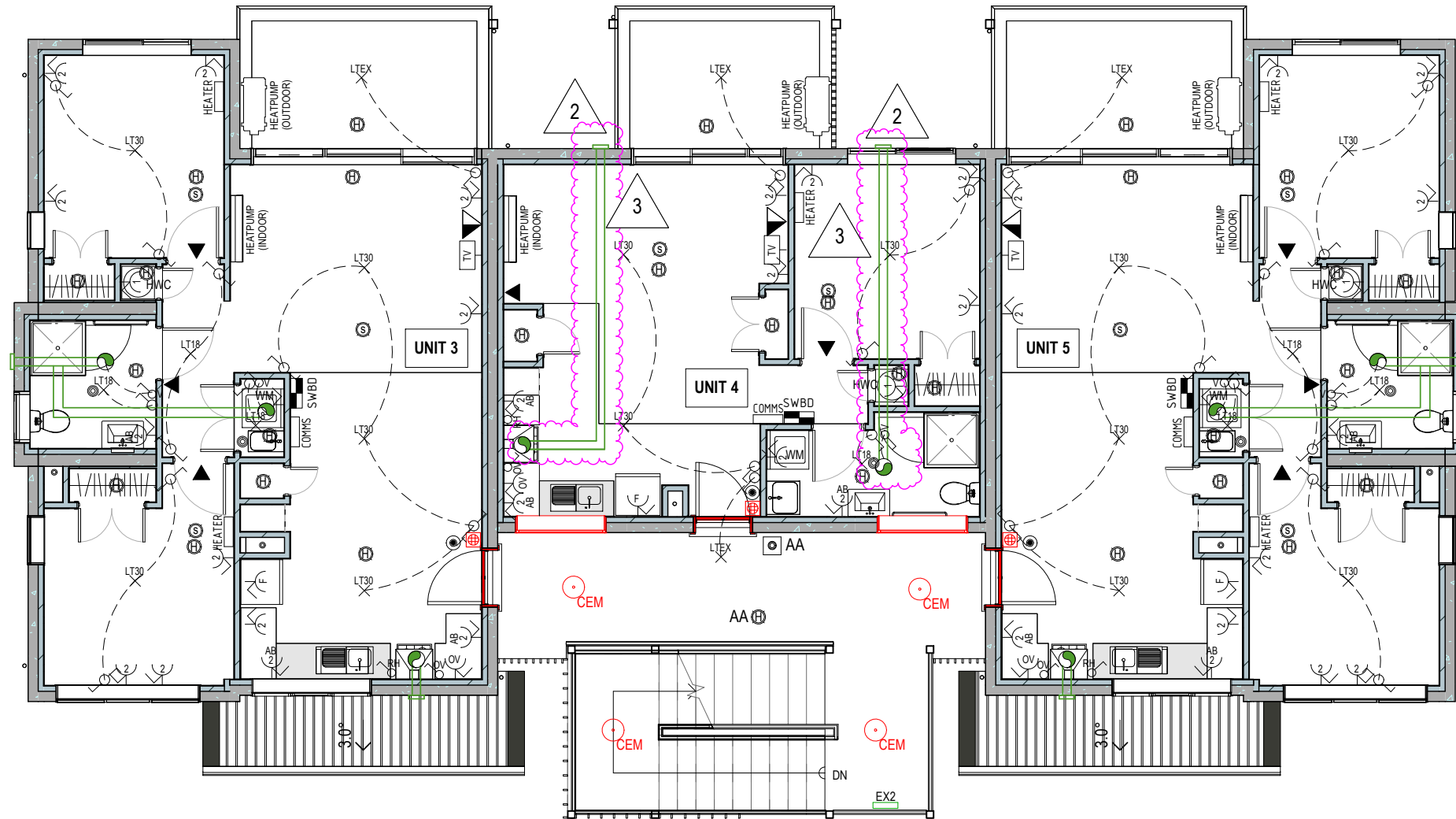
PROJECT NUMBER

200003

KEY PLAN



STAMP



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

KEY NOTES & LEGEND

7701_4.1 METER BOX	7701_4.5 INTERIOR OUTLETS: DOUBLE, ABOVE BENCH	7701_4.7 INTERIOR LIGHT FITTINGS	7701_4.11 ELECTRIC APPLIANCES: EXTRACT FAN	FIRE SPEAKERS
7701_4.2 SWITCH BOARD	7701_4.5 INTERIOR OUTLETS: DOUBLE BELOW BENCH (500 AFF)	7701_4.5 INTERIOR LIGHT FITTINGS	7817_4.3 TELE/DATA OUTLET (500 AFF)	HEAT DETECTOR
7701_4.3 TEL. HUB	7701_4.6 INTERIOR SWITCHES: SINGLE (1100 AFF)	7701_4.8 SMOKE ALARM	7817_4.5 TV/SATELLITE OUTLET (500 AFF)	APARTMENT MODULE
7701_4.3 COMMS. BOARD	7701_4.6 INTERIOR SWITCHES: TWO WAY (1100 AFF)	7701_4.9 EXTERIOR LIGHT FITTINGS	7701_4.10 ELECTRIC APPLIANCES: ELECTRIC HEATER	AA MANUAL CALL POINT. ANALOUGE ADDRESSABLE
7701_4.5 INTERIOR OUTLET: SINGLE	7701_4.6 INTERIOR SWITCHES: EXTRACT FAN	7701_4.12 ELECTRIC APPLIANCES: HEATPUMP OUTDOOR UNIT	7701_4.13 ELECTRIC APPLIANCES: HEATPUMP INDOOR UNIT	SMOKE DETECTOR. ANALOUGE ADDRESSABLE
7701_4.5 INTERIOR OUTLETS: DOUBLE (500 AFF)	7701_4.6 INTERIOR SWITCHES: RANGE HOOD	2 & 3 BEDROOM UNITS: 353(D)x697(H)x890(W) 1 BEDROOM UNITS: 385(D)x762(H)x920(W)		H HEAT DETECTOR. ANALOUGE ADDRESSABLE
7701_4.6 INTERIOR SWITCHES: OVEN		2 & 3 BEDROOM UNITS: 230(D)x337(H)x1115(W) 1 BEDROOM UNITS: 230(D)x337(H)x1115(W)		EM1 EMERGENCY LIGHTING SYSTEM TYPE EM1

SHEET NOTES

- REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01;
- BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223M³/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT; REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS SELECTIONS AND FINAL SECURITY DESIGN;
- EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD". INTERIOR AND EXTERIOR LED LIGHTS <5W/M²;
- REFER TO FIRE REPORT BY "FIREFORCE".
- ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE CONTRACTING LTD, DATED NOVEMBER 2020, SHEET EDMONT-001-003. TAKES PRECEDENCE FOR FIRE ALARM SYSTEM DESIGN.
-
-

SHEET NAME
PROPOSED BLOCK C FIRST FLOOR DATA & ELECTRICAL PLAN

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE **1 : 100** SHEET SIZE **A3=100%** PRINT IN COLOUR

SHEET NUMBER **A5-A7761** REVISION **3**



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

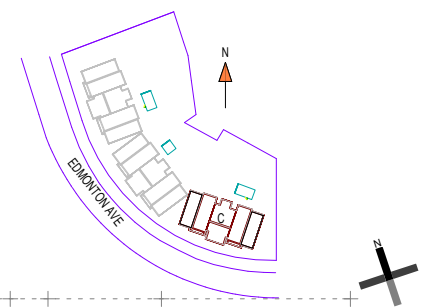
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

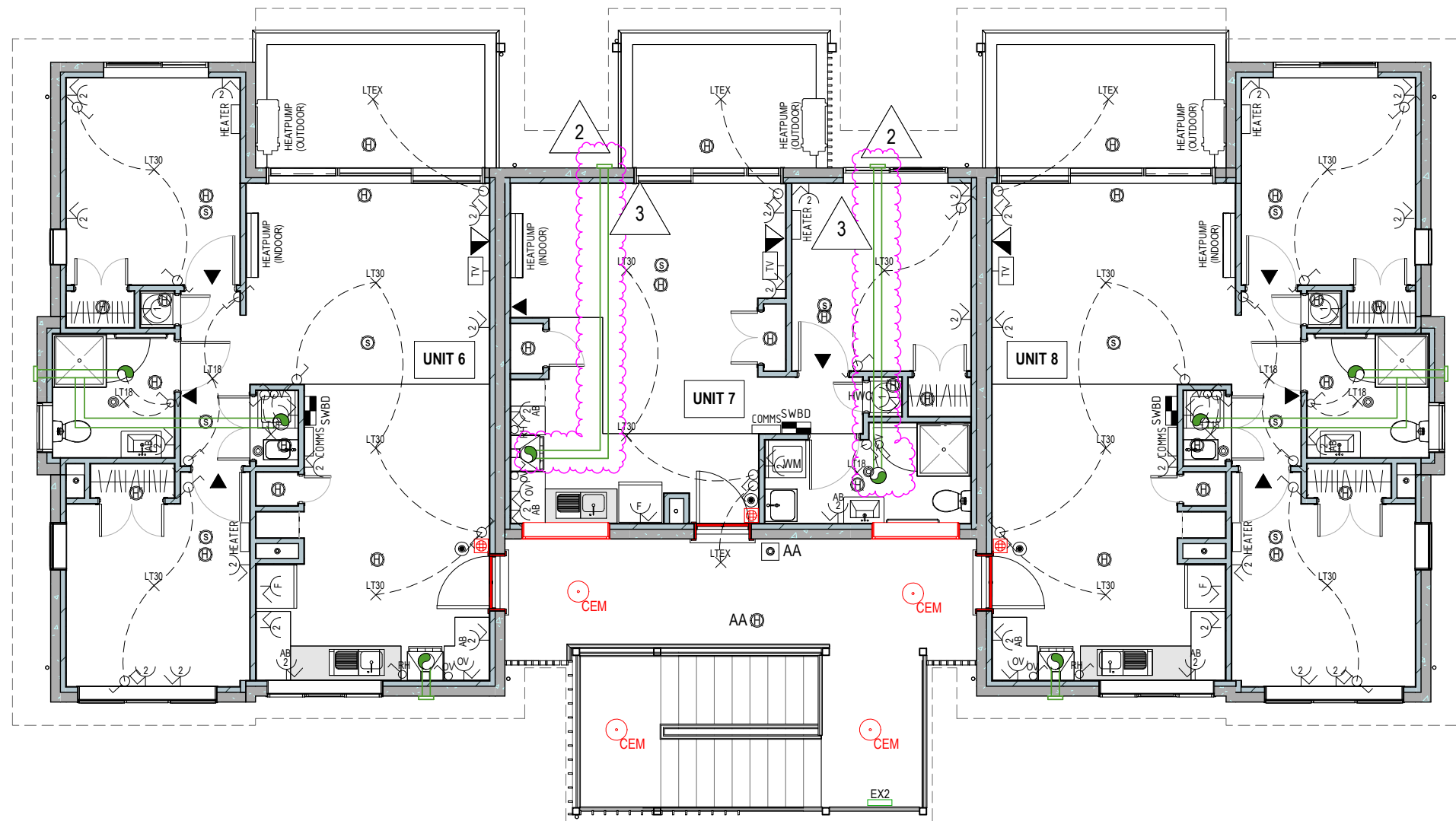
PROJECT NUMBER

200003

KEY PLAN



STAMP



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

KEY NOTES & LEGEND

7701_4.1 METER BOX	7701_4.5 INTERIOR OUTLETS: DOUBLE, ABOVE BENCH	7701_4.7 INTERIOR LIGHT FITTINGS	7701_4.11 ELECTRIC APPLIANCES: EXTRACT FAN	FIRE SPEAKERS
7701_4.2 SWITCH BOARD	7701_4.5 INTERIOR OUTLETS: DOUBLE BELOW BENCH (500 AFF)	7701_4.5 INTERIOR LIGHT FITTINGS	7817_4.3 TELE/DATA OUTLET (500 AFF)	HEAT DETECTOR
7701_4.3 TEL. HUB	7701_4.6 INTERIOR SWITCHES: SINGLE (1100 AFF)	7701_4.8 SMOKE ALARM	7817_4.5 TV/SATELLITE OUTLET (500 AFF)	APARTMENT MODULE
7701_4.3 COMMS. BOARD	7701_4.6 INTERIOR SWITCHES: TWO WAY (1100 AFF)	7701_4.9 EXTERIOR LIGHT FITTINGS	7701_4.10 ELECTRIC APPLIANCES: ELECTRIC HEATER	AA MANUAL CALL POINT. ANALOUGE ADDRESSABLE
7701_4.5 INTERIOR OUTLET: SINGLE	7701_4.6 INTERIOR SWITCHES: EXTRACT FAN	7701_4.10 ELECTRIC APPLIANCES: ELECTRIC HEATER	7701_4.12 ELECTRIC APPLIANCES: HEATPUMP OUTDOOR UNIT	AA SMOKE DETECTOR. ANALOUGE ADDRESSABLE
7701_4.5 INTERIOR OUTLETS: DOUBLE (500 AFF)	7701_4.6 INTERIOR SWITCHES: RANGE HOOD	7701_4.12 ELECTRIC APPLIANCES: HEATPUMP INDOOR UNIT	7701_4.13 ELECTRIC APPLIANCES: HEATPUMP INDOOR UNIT	AA HEAT DETECTOR. ANALOUGE ADDRESSABLE
7701_4.6 INTERIOR SWITCHES: OVEN		2 & 3 BEDROOM UNITS: 353(D)x697(H)x890(W) 1 BEDROOM UNITS: 385(D)x762(H)x920(W)	2 & 3 BEDROOM UNITS: 230(D)x337(H)x1115(W) 1 BEDROOM UNITS: 230(D)x337(H)x1115(W)	ACCESS DOOR CCTV CAMERA EMERGENCY DR RELEASE REQUEST TO EXIT INTERCOM GT AUDIO ONLY ENTRY INTERCOM APARTMENT GALLAGHER+AI PHONE+CCTV PoE

SHEET NOTES

- REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01;
- BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223MP/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT; REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS SELECTIONS AND FINAL SECURITY DESIGN;
- EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD". INTERIOR AND EXTERIOR LED LIGHTS <5W/M².
- REFER TO FIRE REPORT BY "FIREFORCE".
- ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE CONTRACTING LTD, DATED NOVEMBER 2020, SHEET EDMONT-001-003. TAKES PRECEDENCE FOR FIRE ALARM SYSTEM DESIGN.
-
-

SHEET NAME
**PROPOSED BLOCK C SECOND FLOOR
 DATA & ELECTRICAL PLAN**

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1 : 100

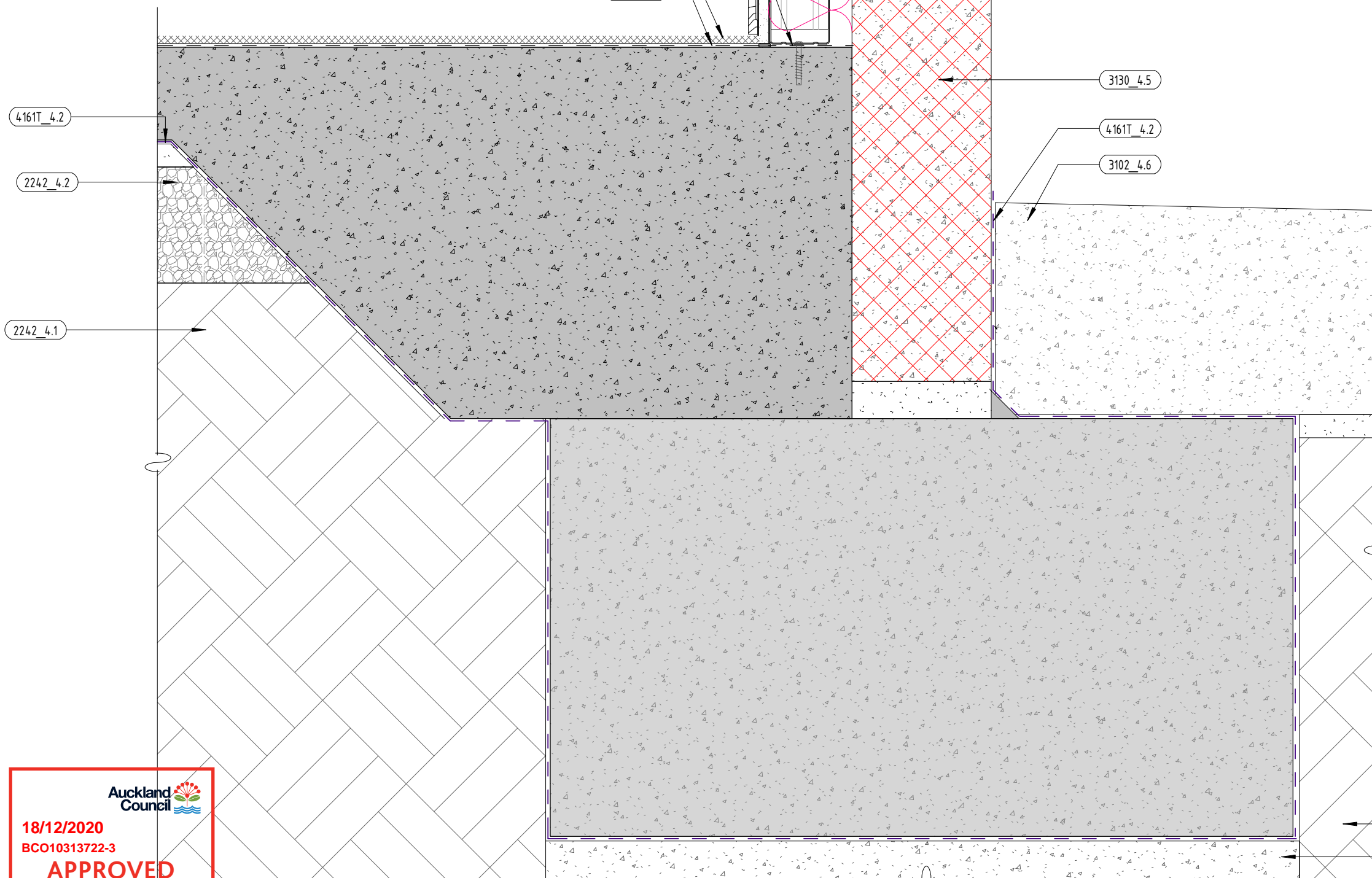
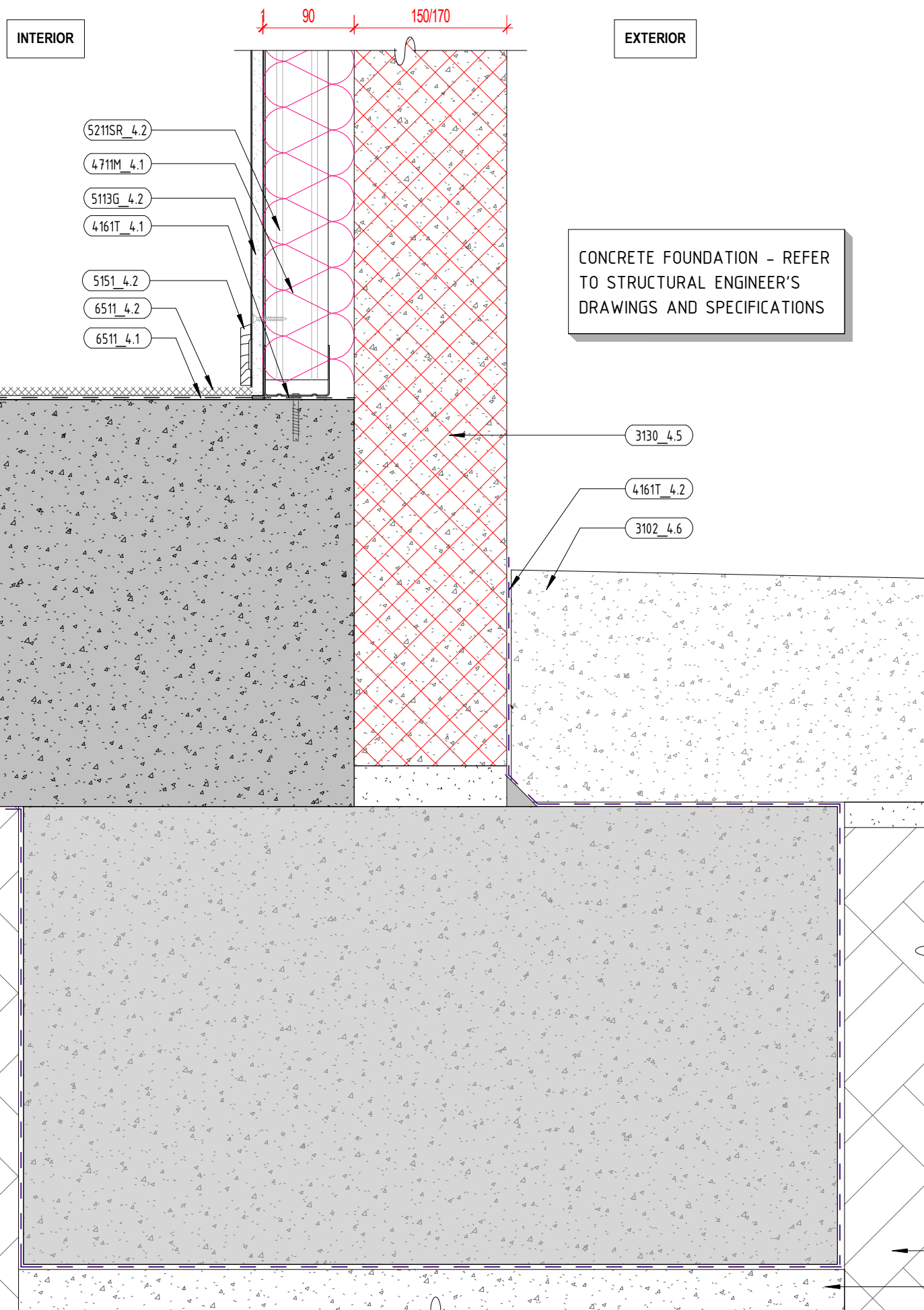
SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-A7762

REVISION
3

Key Value	Keynote Text
2242_4.1	EARTH FILL – NOT REQUIRED TO SUPPORT BUILDINGS OR SURFACES
2242_4.2	GRANULAR FILL MATERIAL – SPECIFIC DESIGN - 150MM
2242_4.6	SITE CONCRETE
3102_4.6	SURFACE FINISHES PAVEMENTS AND DRIVEWAYS
3130_4.5	STRUCTURAL PANELS - THICKNESS REFER TO STRUCTURAL ENGINEERS DRAWINGS
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4161T_4.2	THERMATHENE BLACK™ 250UM DPM
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5151_4.2	INTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM
5211SR_4.2	SRP™ TRACK SECTIONS 64MM
6511_4.1	UNDERLAY: DUNLOP - 8MM
6511_4.2	CARPET : GODFREY HIRST - 3MM



SCALE: 1:5

FOUNDATION DETAIL 01

Young+Richards+

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

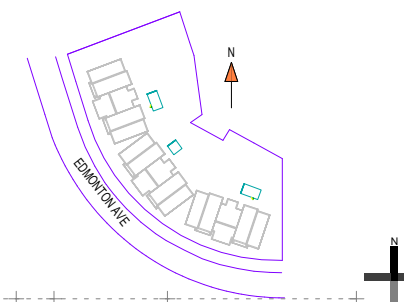
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - FOUNDATION

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:5

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-D2300

REVISION

1

Key Value	Keynote Text
2242_4.1	EARTH FILL - NOT REQUIRED TO SUPPORT BUILDINGS OR SURFACES
4161T_4.2	THERMATHENE BLACK™ 250UM DPM
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5211SR_4.2	SRP™ TRACK SECTIONS 64MM
6511_4.2	CARPET : GODFREY HIRST - 3MM

Young+Richards+

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

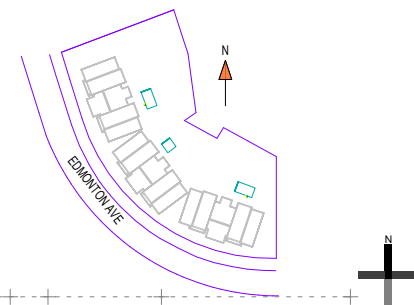
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - FOUNDATION

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 10

SHEET SIZE

A3=100%

PRINT IN COLOUR

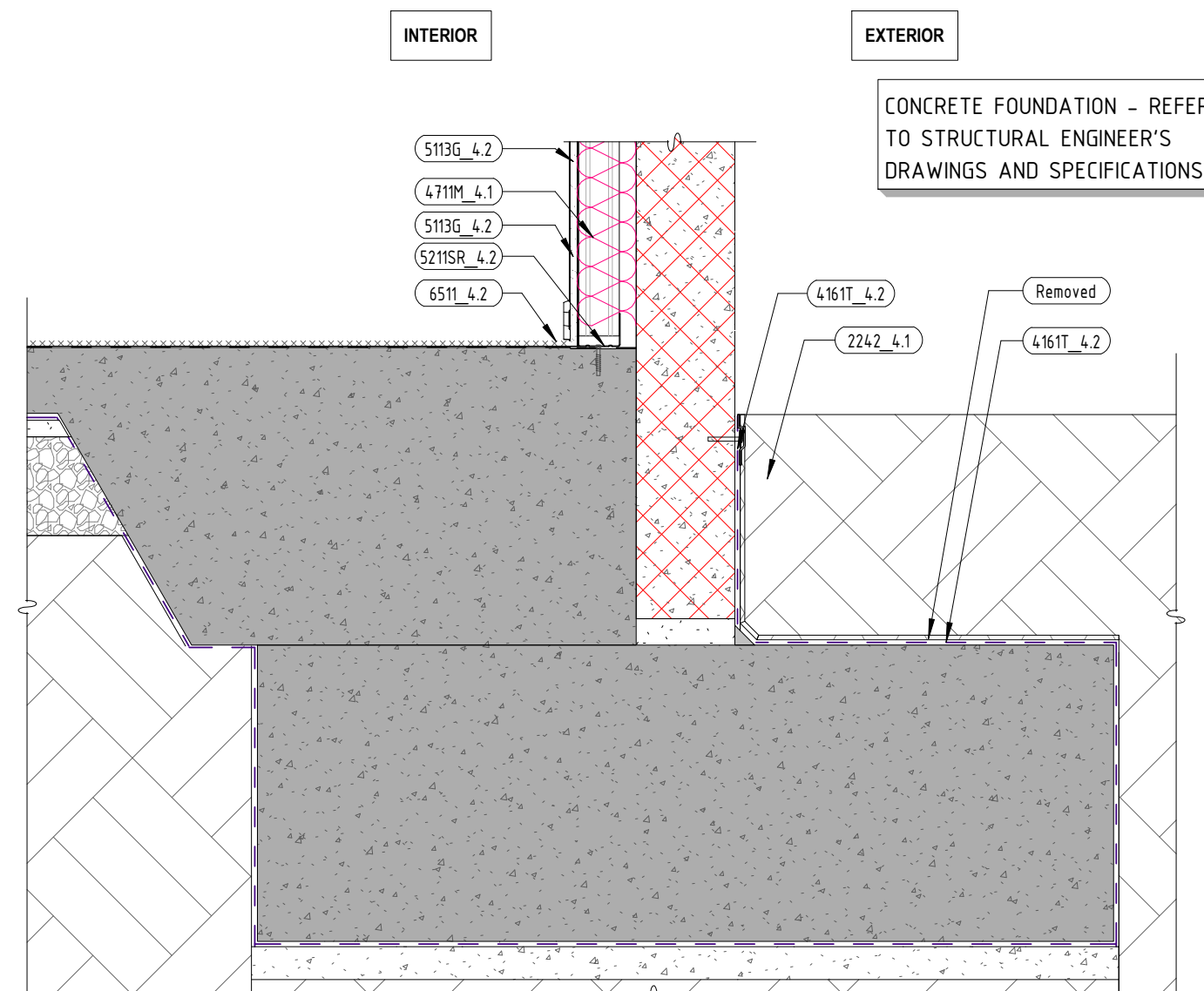


SHEET NUMBER

A5-D2301

REVISION

1



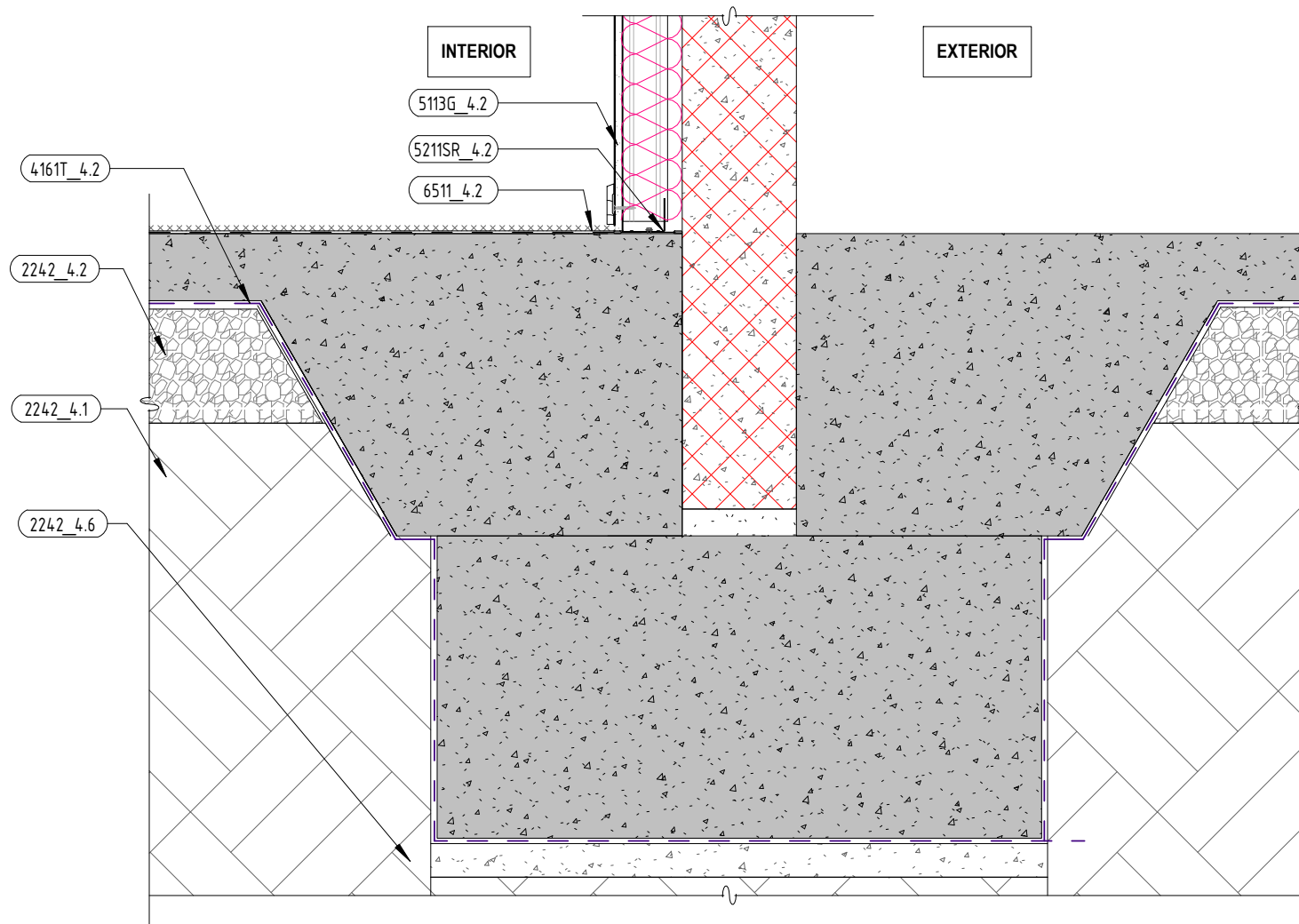
SCALE: 1 : 10
02 / A5-A4270

FOUNDATION DETAIL **01**



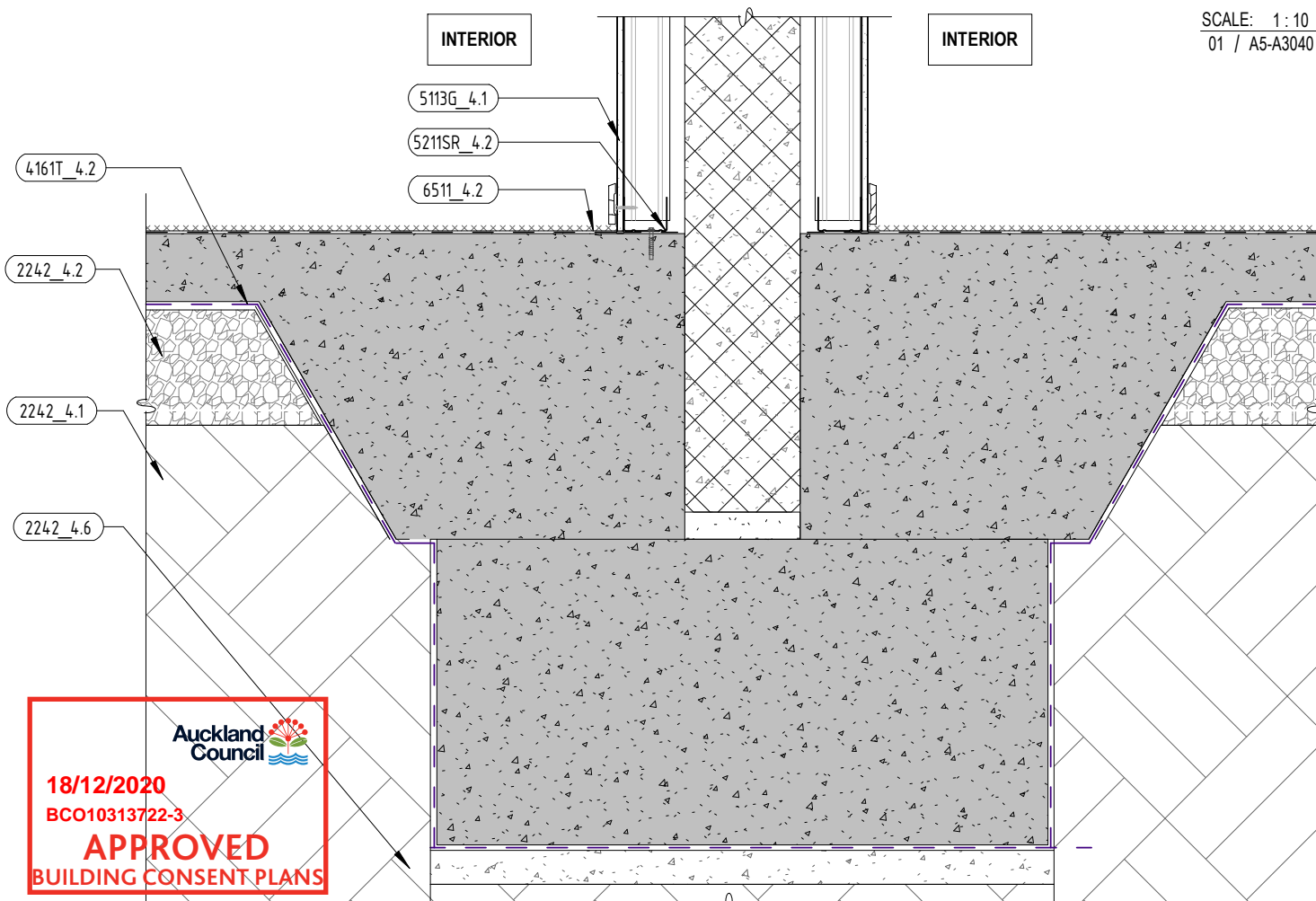
Key Value	Keynote Text
2242_4.1	EARTH FILL – NOT REQUIRED TO SUPPORT BUILDINGS OR SURFACES
2242_4.2	GRANULAR FILL MATERIAL – SPECIFIC DESIGN - 150MM
2242_4.6	SITE CONCRETE
4161T_4.2	THERMATHENE BLACK™ 250UM DPM
5113G_4.1	GIB® STANDARD SYSTEMS WALLS
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5211SR_4.2	SRP™ TRACK SECTIONS 64MM
6511_4.2	CARPET : GODFREY HIRST - 3MM

NOTE:
CONCRETE FOUNDATION - REFER
TO STRUCTURAL ENGINEER'S
DRAWINGS AND SPECIFICATIONS



SCALE: 1:10
01 / A5-A3040

TYP. FOUNDATION DETAIL 02



SCALE: 1:10

TYP. FOUNDATION DETAIL 01
INTERIOR WALLS

Young+Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

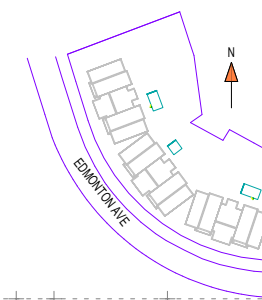
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
DETAILS - FOUNDATION

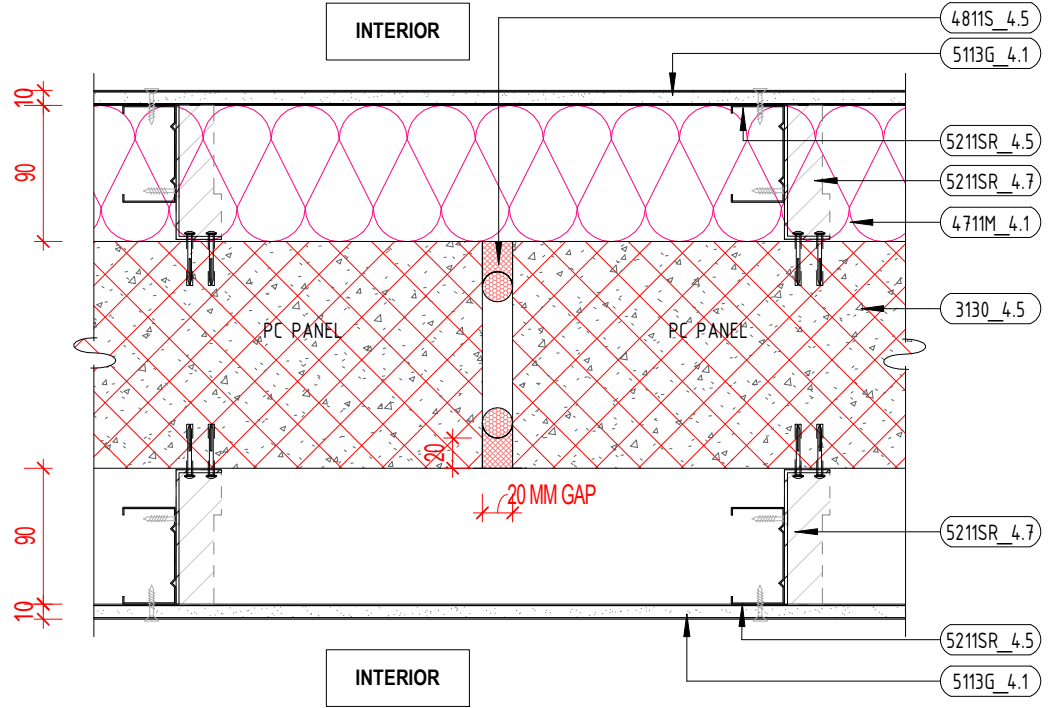
PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE: **1:10** SHEET SIZE: **A3=100%** PRINT IN COLOUR

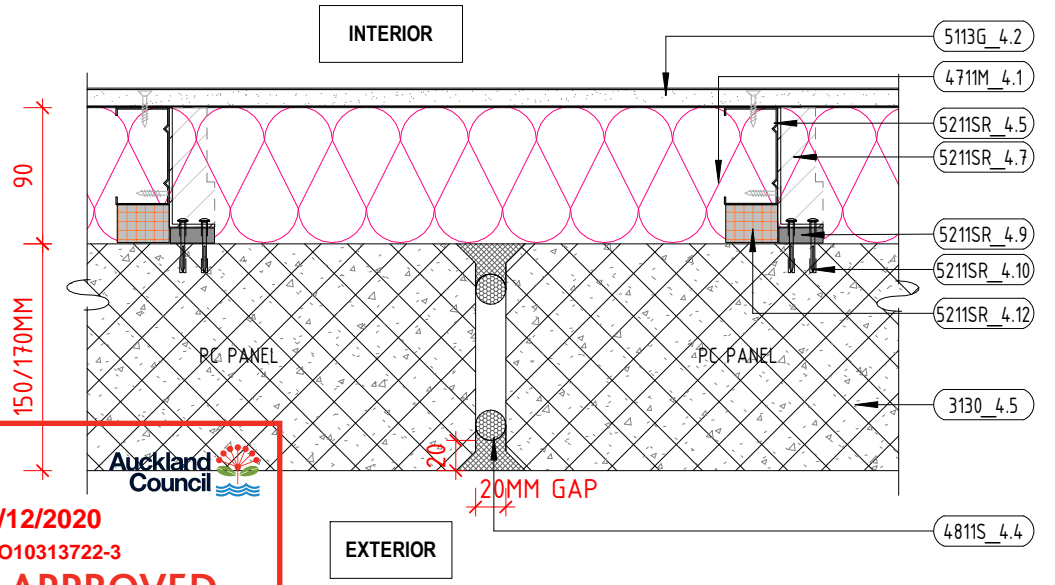
SHEET NUMBER
A5-D2302



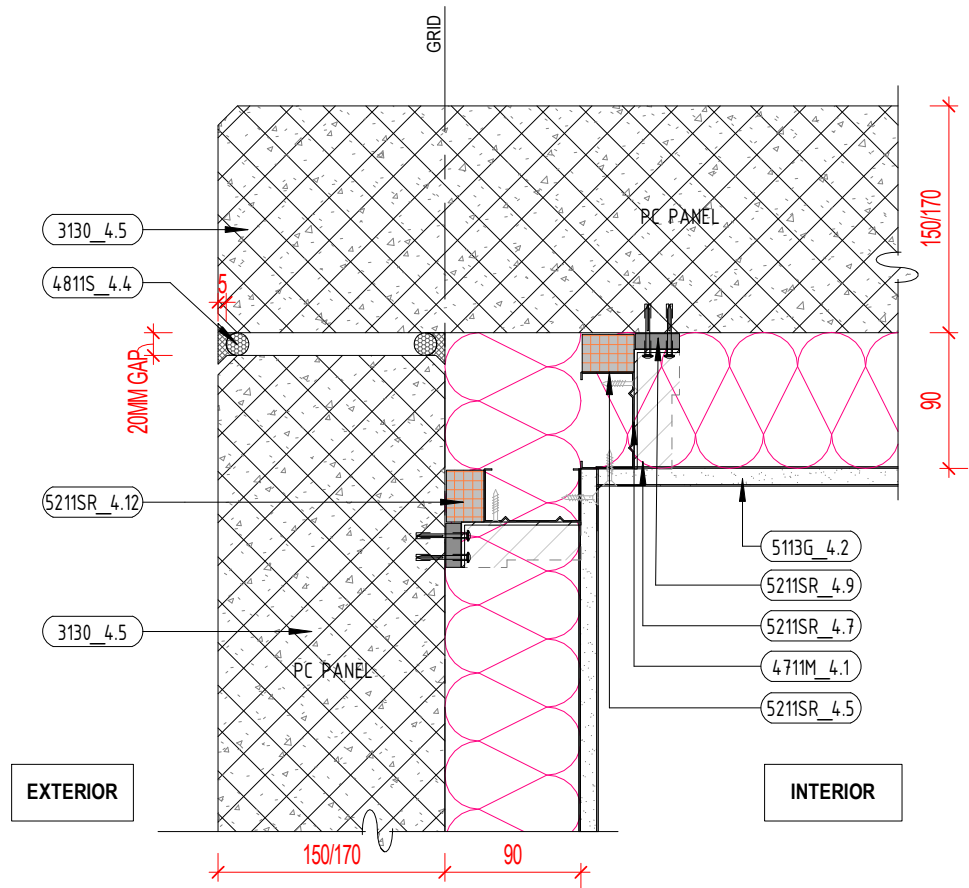
Key Value	Keynote Text
3130_4.5	STRUCTURAL PANELS - THICKNESS REFER TO STRUCTURAL ENGINEERS DRAWINGS
3821_4.13	17MM H3.2 PLYWOOD BEHIND LINING FOR FIXTURE FIXING
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4811_4.2	JOINTING SEALANT, INTERNAL
4811S_4.4	SIKAFLEX® CONSTRUCTION AP - WEATHER AND AIR SEAL
4811S_4.5	SIKAFLEX® - 400 FIRE - WEATHER AND AIR SEAL
5113G_4.1	GIB® STANDARD SYSTEMS WALLS
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5211SR_4.5	SRP™ STUD SECTIONS 64MM, CRS 600MM MAX.
5211SR_4.7	SRP EXTENDED STRAPPING BRACKET
5211SR_4.9	THERMAL BREAKER 10MM, THERMAX B
5211SR_4.10	SRP ADJ CLIP/WALL BRACKET WITH 16MM FURRING CHANNEL
5211SR_4.11	INSULATION-KNAUF RIGID POLYSTYRENE BOARD
5211SR_4.12	25MM XPS STRIP FOAM-KNAUF CLIMAFOAM POLYSTYRENE INSULATION



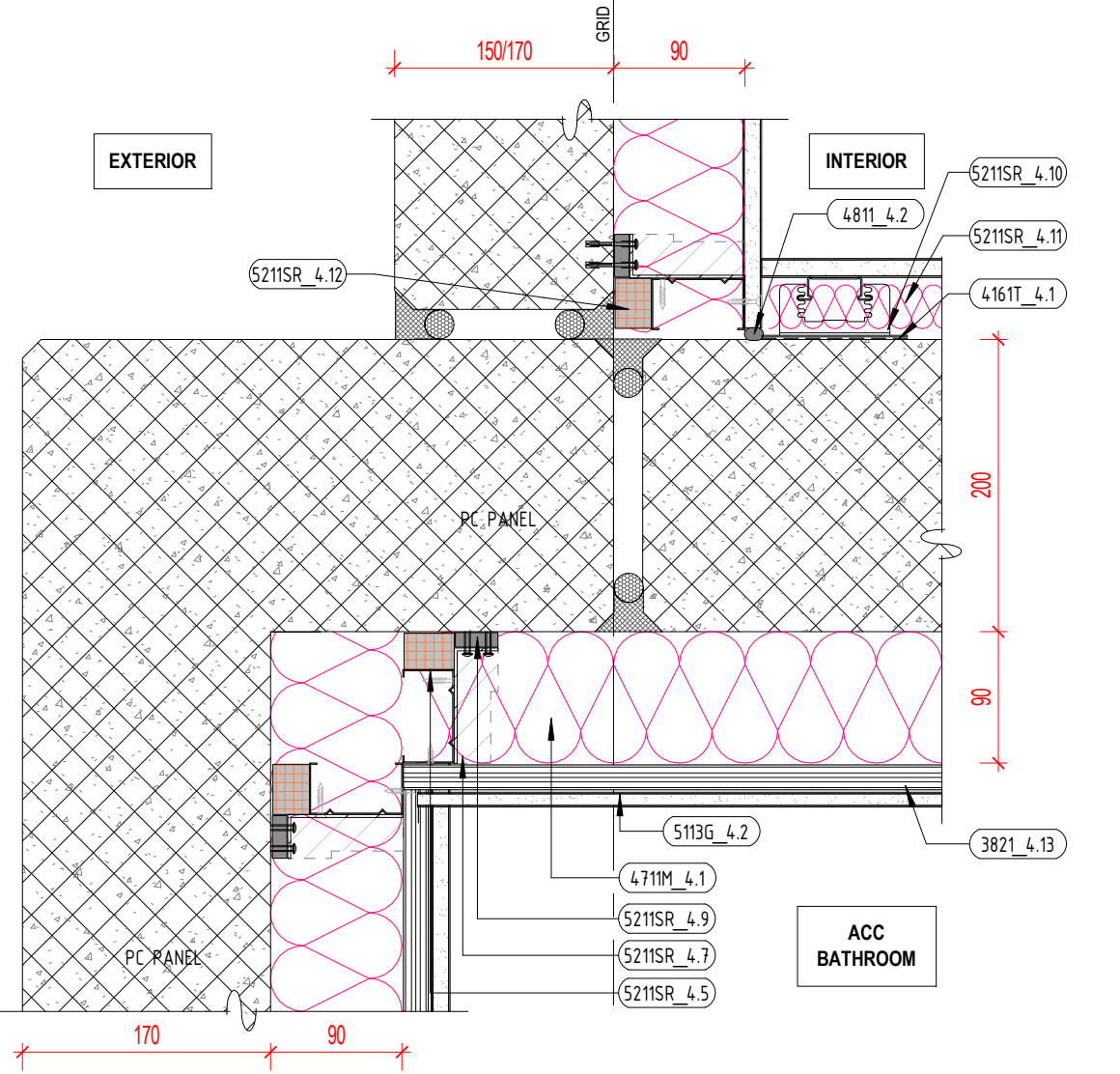
TYP. INTERIOR WALL JUNCTION 04
SCALE: 1:5
01 / A5-A3041



TYP. VERTICAL CONTROL JOINT DETAIL 03
SCALE: 1:5



EXTERNAL PC CORNER DETAIL 02
SCALE: 1:5
01 / A5-A3040



EXTERNAL PC JUCTION DETAIL 01
SCALE: 1:5
01 / A5-A3040

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

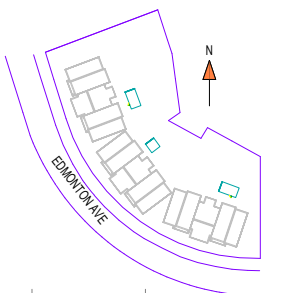
PROJECT ADDRESS

8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
DETAILS - EXTERIOR WALLS

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1:5

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER

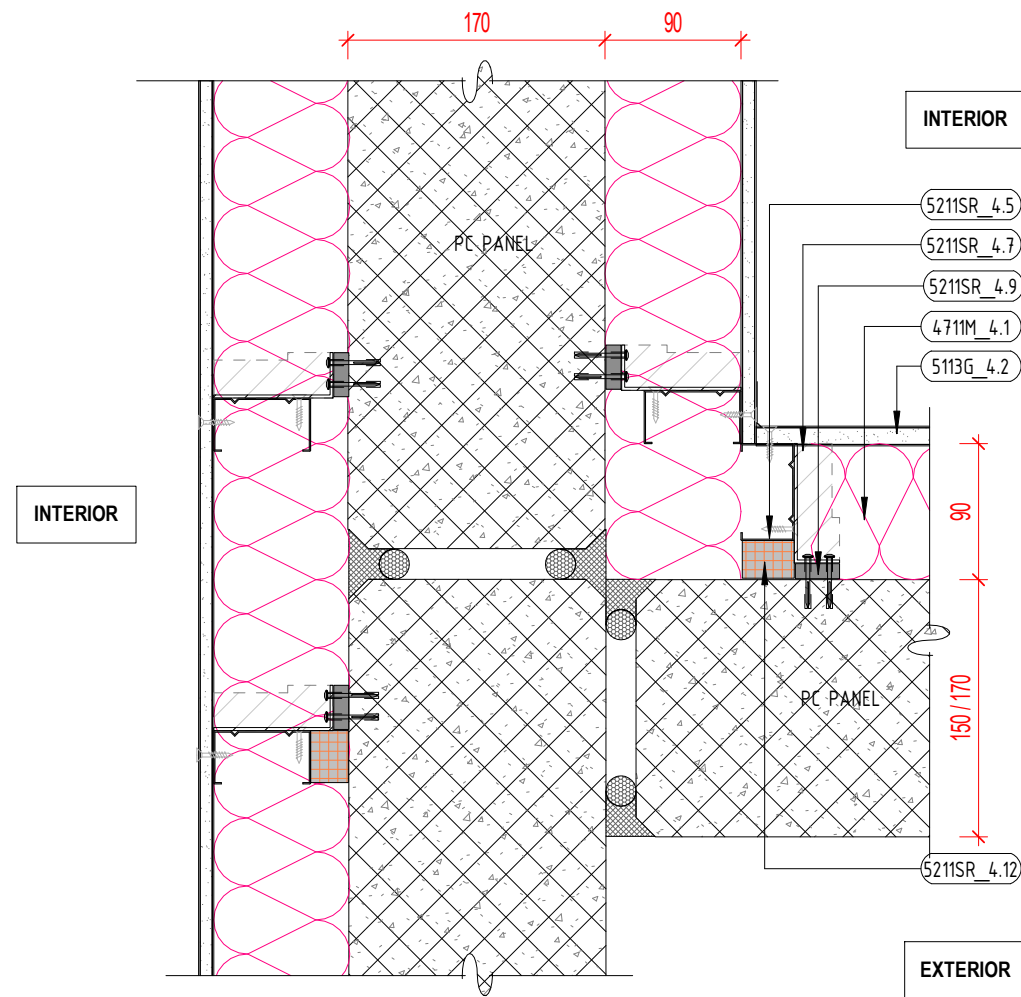
A5-D3100

REVISION

1



Key Value	Keynote Text
3130_4.5	STRUCTURAL PANELS - THICKNESS REFER TO STRUCTURAL ENGINEERS DRAWINGS
3130_4.6	CONCRETE COLOUR
4521FA_4.7	FAIRVIEW ARCHITECTURAL CUBIC AC35 SERIES - EXTERNAL STACKING DOOR, 35MM PLATFORM
4521FA_4.8	PLASTIC PACKER
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4521FA_4.11	ALUMINIUM ANGLE 30 X 30MM
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4811S_4.9	SIKAFLEX® AT-FACADE
5113G_4.1	GIB® STANDARD SYSTEMS WALLS
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5151_4.1	INTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM
5151_4.7	INTERNAL TIMBER TRIM: JAMB LINER
5211SR_4.5	SRP™ STUD SECTIONS 64MM, CRS 600MM MAX.
5211SR_4.7	SRP EXTENDED STRAPPING BRACKET
5211SR_4.9	THERMAL BREAKER 10MM, THERMAX B
5211SR_4.12	25MM XPS STRIP FOAM-KNAUF CLIMAFOAM POLYSTYRENE INSULATION



SCALE: 1:5
01 / A5-A3040

TYP. INTERIOR WALL TO EXT. PC PANEL DETAIL 02 02

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

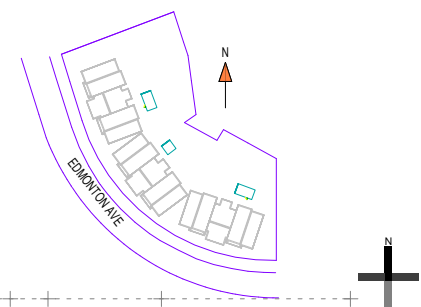
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

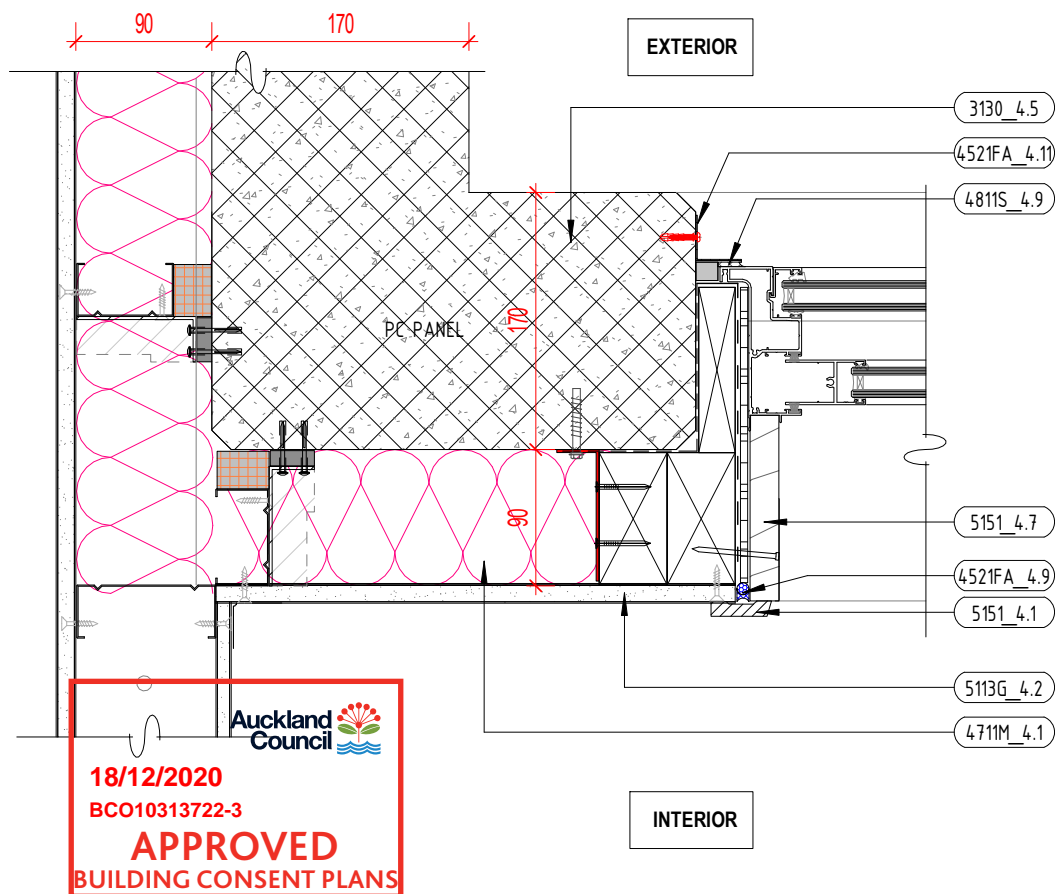
PROJECT NUMBER

200003

KEY PLAN

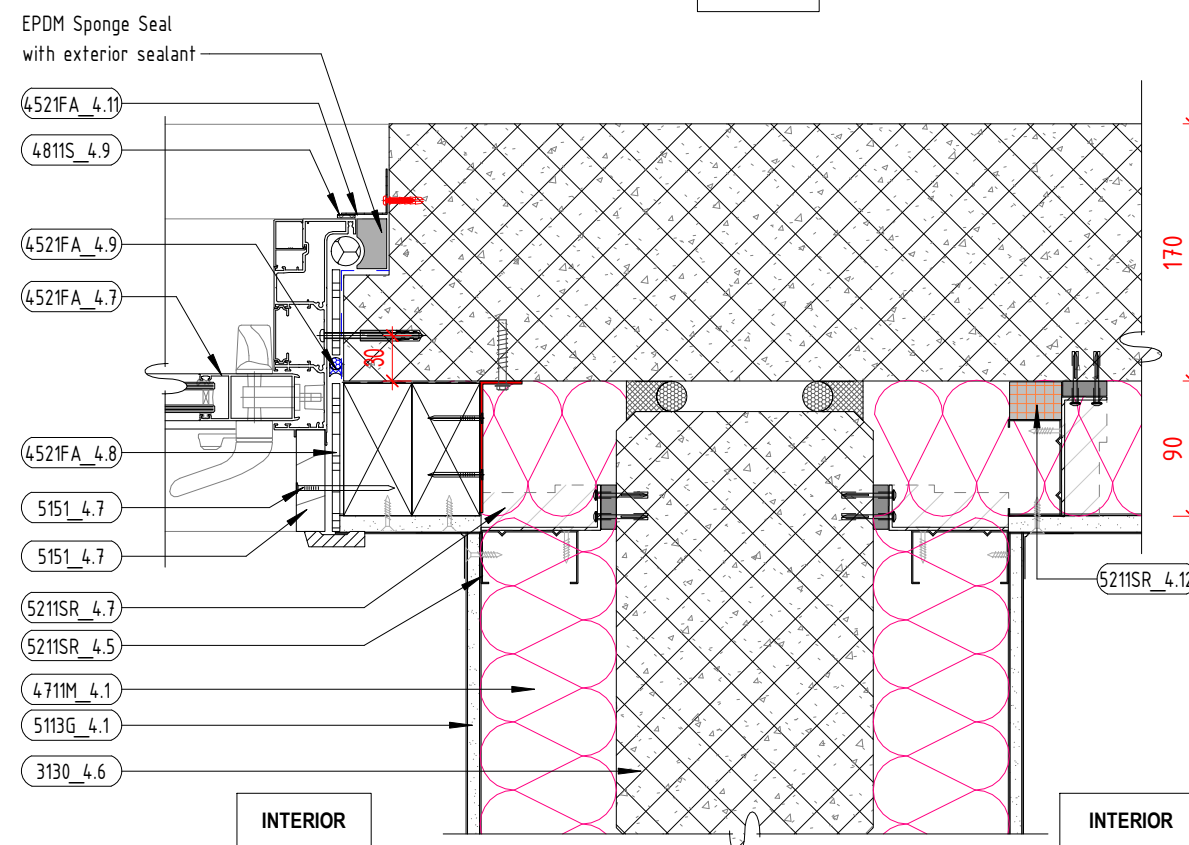


STAMP



SCALE: 1:5
01 / A5-A3040

INTERNAL CORNER DETAIL 02 03



SCALE: 1:5
01 / A5-A3040

TYP. INTERIOR WALL TO EXT. PC PANEL DETAIL 01 01

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - EXTERIOR WALLS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:5

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

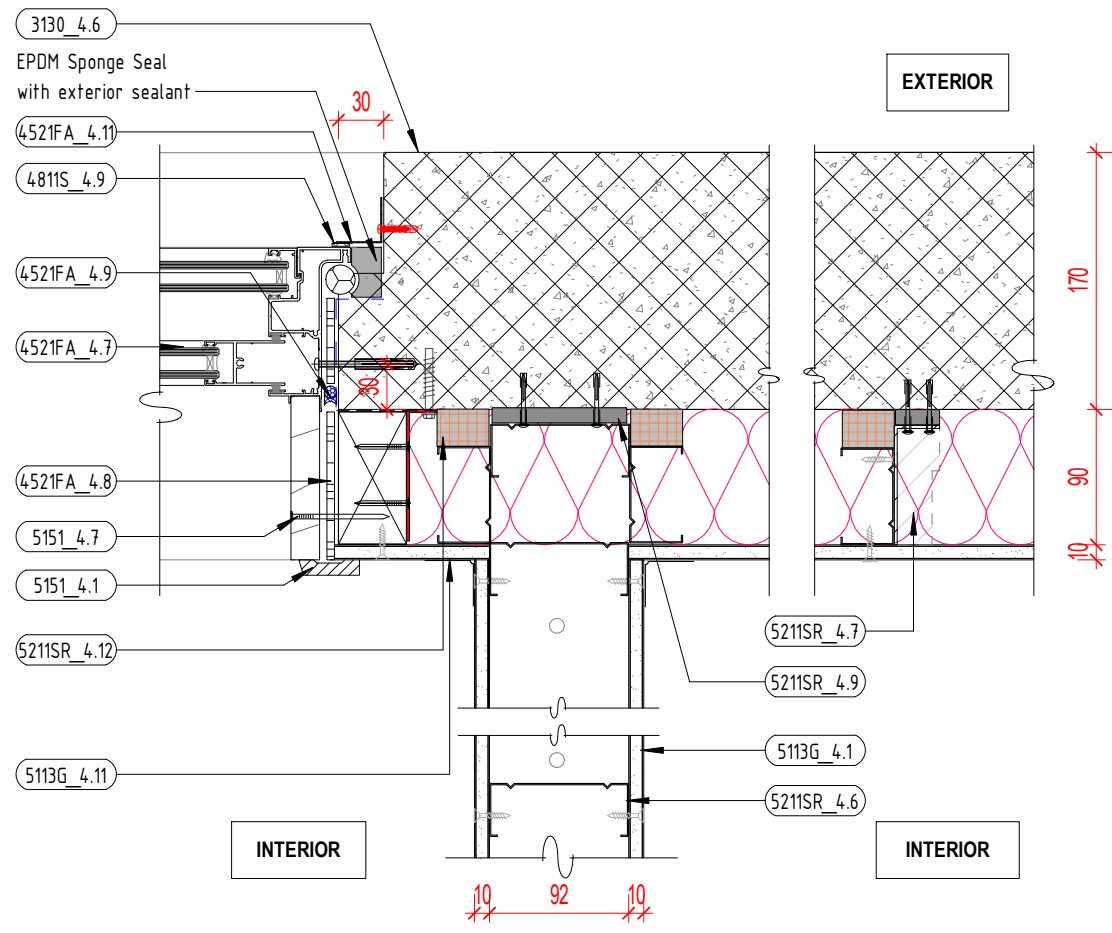
A5-D3101

REVISION

1

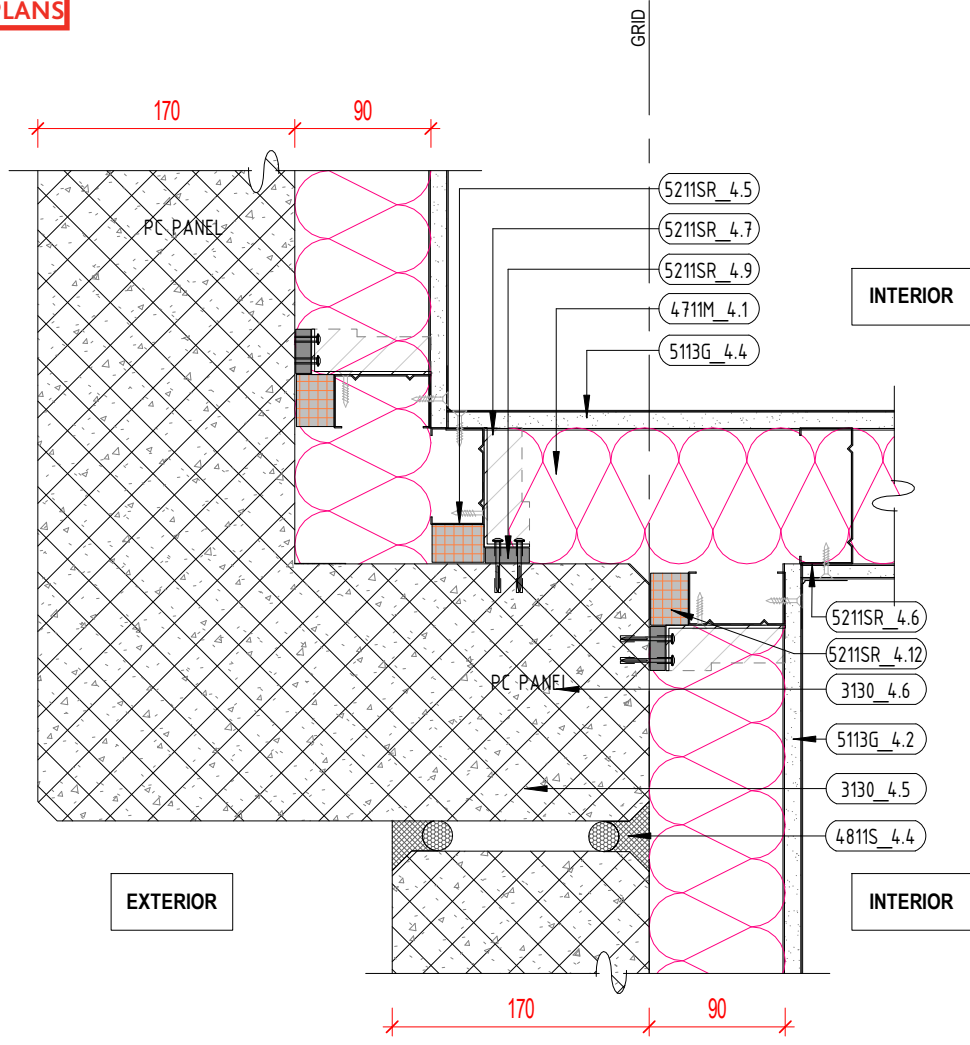


Key Value	Keynote Text
3130_4.5	STRUCTURAL PANELS - THICKNESS REFER TO STRUCTURAL ENGINEERS DRAWINGS
3130_4.6	CONCRETE COLOUR
4521FA_4.7	FAIRVIEW ARCHITECTURAL CUBIC AC35 SERIES - EXTERNAL STACKING DOOR, 35MM PLATFORM
4521FA_4.8	PLASTIC PACKER
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4521FA_4.11	ALUMINIUM ANGLE 30 X 30MM
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4811S_4.4	SIKAFLEX® CONSTRUCTION AP - WEATHER AND AIR SEAL
4811S_4.9	SIKAFLEX® AT-FACADE
5113G_4.1	GIB® STANDARD SYSTEMS WALLS
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5113G_4.4	GIB® WATER RESISTANT SYSTEMS WALLS
5113G_4.11	GIB® TAPE ON EDGE OR CORNER TRIMS
5151_4.1	INTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM
5151_4.7	INTERNAL TIMBER TRIM: JAMB LINER
5211SR_4.5	SRP™ STUD SECTIONS 64MM, CRS 600MM MAX.
5211SR_4.6	SRP™ STUD SECTIONS 92MM, CRS 600MM MAX.
5211SR_4.7	SRP EXTENDED STRAPPING BRACKET
5211SR_4.9	THERMAL BREAKER 10MM, THERMAX B
5211SR_4.12	25MM XPS STRIP FOAM-KNAUF CLIMAFOAM POLYSTYRENE INSULATION



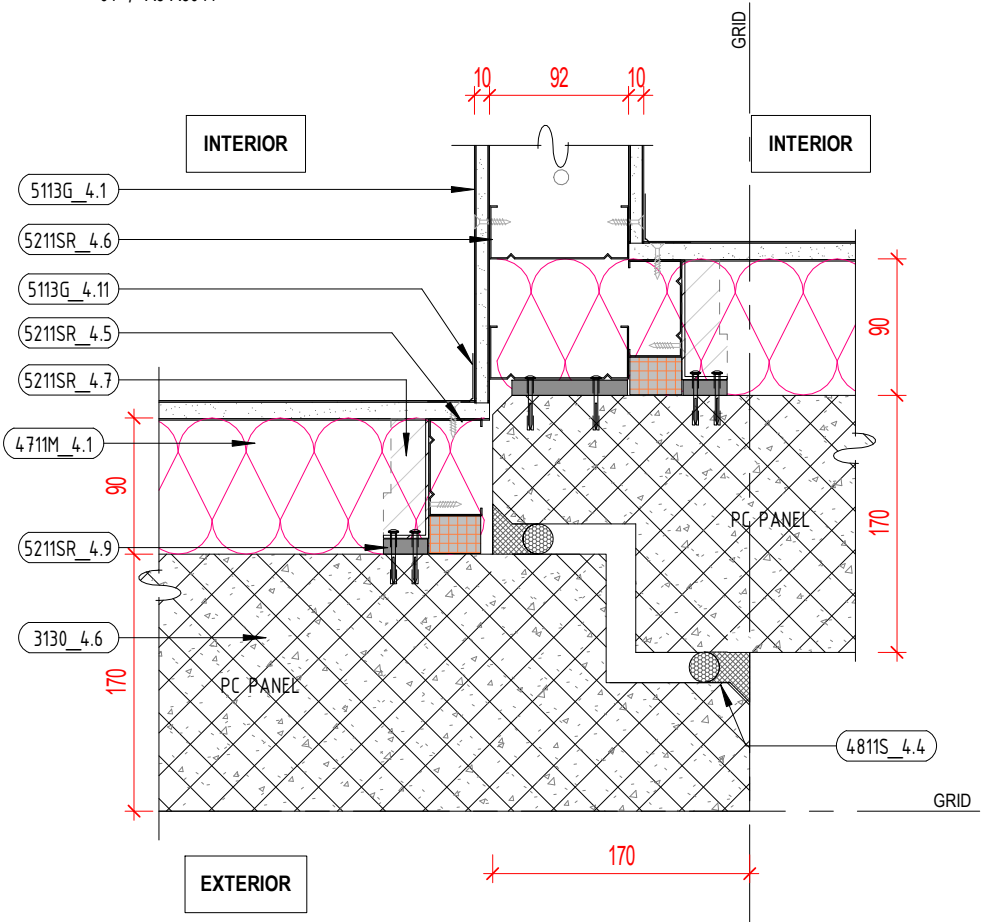
SCALE: 1:5
01 / A5-A3041

TYP. PC PANEL & INTERIOR WALL JUCTION DETAIL 02



SCALE: 1:5
01 / A5-A3042

TYP. EXTERNAL PC CORNER DETAIL 03
2DN FLOOR



SCALE: 1:5
01 / A5-A3041

TYP. EXTERNAL PC JUCTION DETAIL 01
GROUND FLOOR

Young+Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



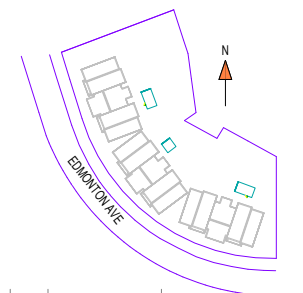
CLIENT
DOMINION CONSTRUCTORS LTD

PROJECT NAME
8-18 EDMONTON AVENUE

PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER
200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
• ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
• BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
• FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
• FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
• THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
• THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
• DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME DETAILS - EXTERIOR WALLS

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1:5

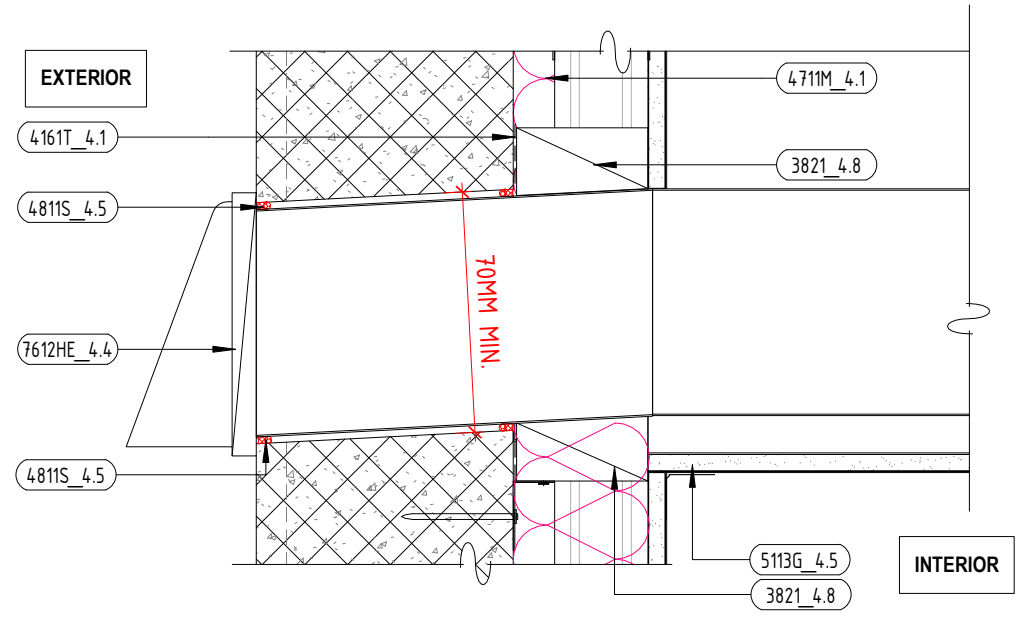
SHEET SIZE
A3=100%

SHEET NUMBER
A5-D3102



Key Value	Keynote Text
3821_4.8	INTERIOR FRAMING PACKERS - H1.2
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4811_4.6	BEAD OF SEALANT, FIX ALL 220LM MS POLYMER
4811S_4.5	SIKAFLEX® - 400 FIRE - WEATHER AND AIR SEAL
5113G_4.5	GIB® STANDARD SYSTEMS CEILINGS
5211SR_4.2	SRP™ TRACK SECTIONS 64MM
5211SR_4.9	THERMAL BREAKER 10MM, THERMAX B
5313SR_4.1	CEILING BATTEN SYSTEM - SUSPENSION - TOP CROSS RAIL SYSTEM
6511_4.1	UNDERLAY: DUNLOP - 8MM
6511_4.2	CARPET : GODFREY HIRST - 3MM
7612HE_4.4	HOMETECH™ WALL MOUNTED FAN, DUCTED THROUGH EXTERIOR WALL

NOTE: FIRE COLLARS REQUIRED WHERE PENETRATION OCCURS WITHIN SPANDREL AREA- REFER TO EXTERIOR ELEVATIONS.



SCALE: 1:5

TYP. EXTRACT FAN PENETRATION DETAIL PC PANEL 02



Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



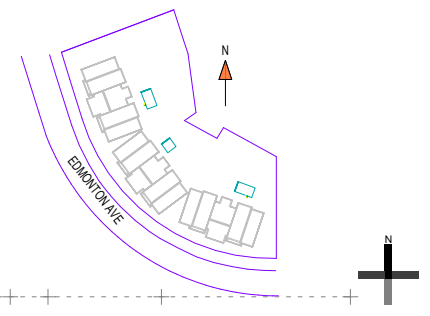
CLIENT
DOMINION CONSTRUCTORS LTD

PROJECT NAME
8-18 EDMONTON AVENUE

PROJECT ADDRESS
**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER
200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT

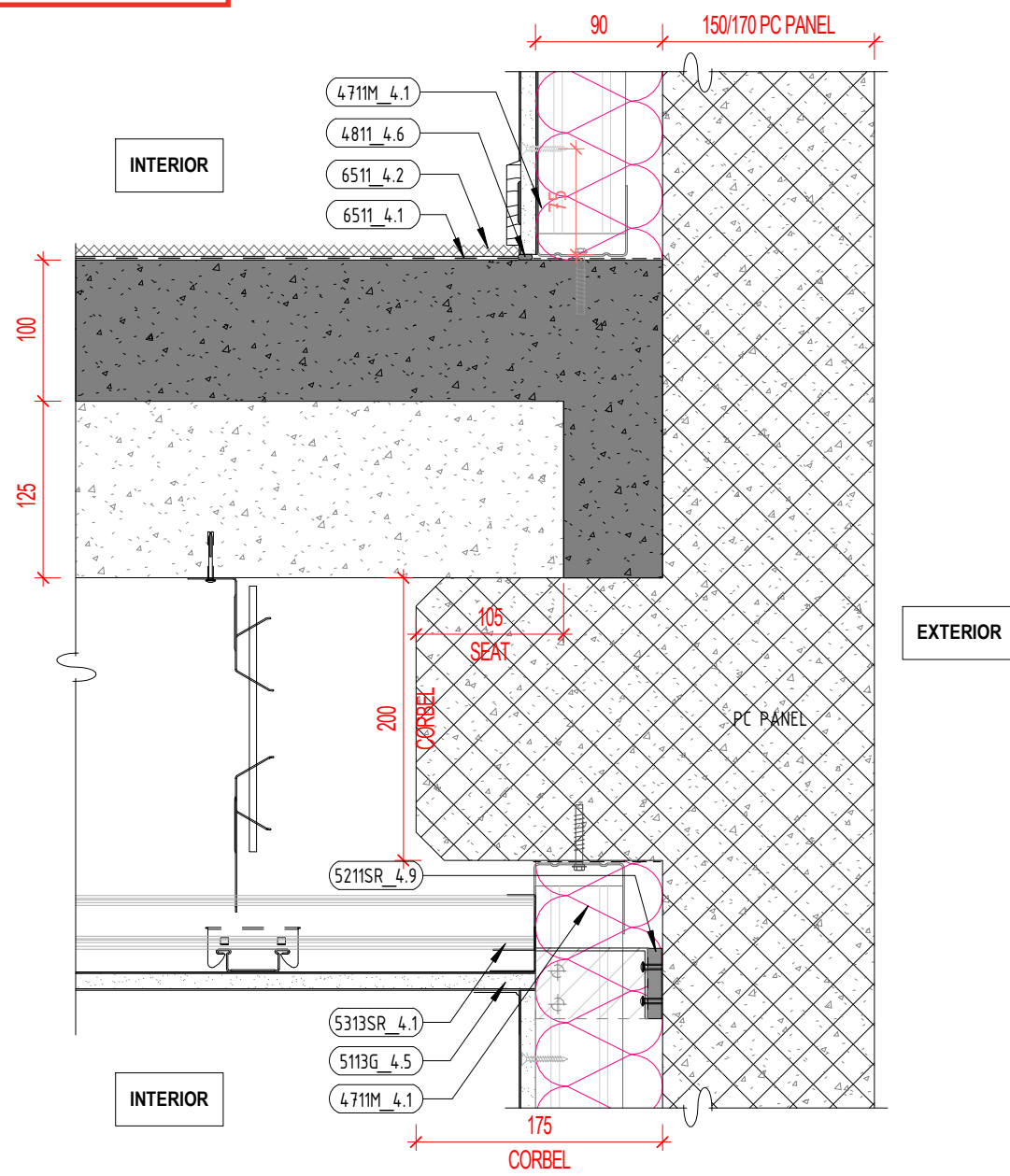
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
DETAILS - EXTERIOR WALLS

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

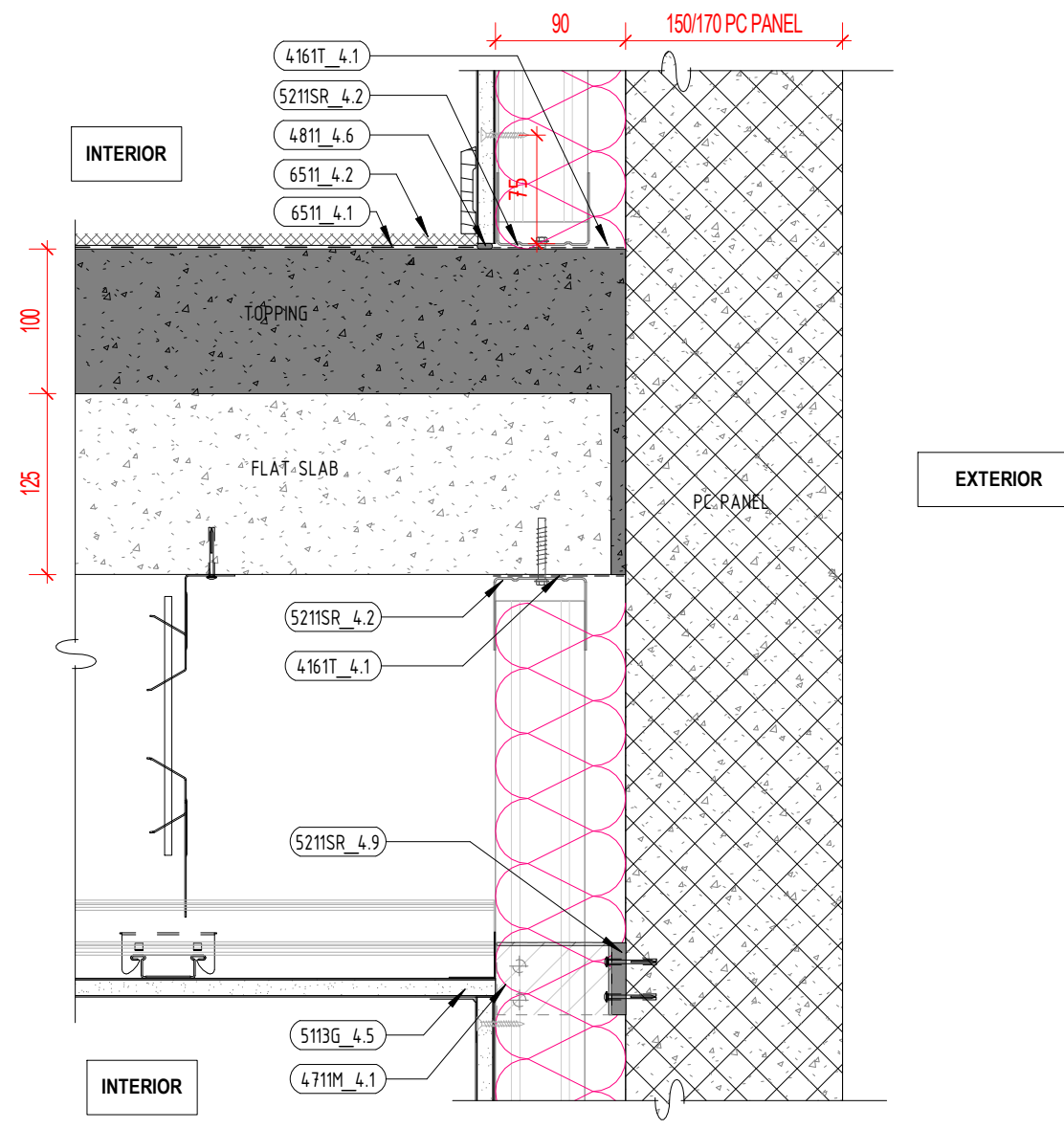
SHEET SCALE: **1:5** SHEET SIZE: **A3=100%** PRINT IN COLOUR

SHEET NUMBER
A5-D3103 REVISION
1



SCALE: 1:5
01 / A5-A4240

CONCRETE SLAB & SIDE PC PANEL JUNCTION DETAIL 03



SCALE: 1:5
01 / A5-A3042

EXTERIOR WALL TO CONCRETE SLAB JUNCTION DETAIL 01

Key Value	Keynote Text
3130_4.6	CONCRETE COLOUR
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
5113G_4.1	GIB® STANDARD SYSTEMS WALLS
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5113G_4.11	GIB® TAPE ON EDGE OR CORNER TRIMS
5211SR_4.5	SRP™ STUD SECTIONS 64MM, CRS 600MM MAX.
5211SR_4.6	SRP™ STUD SECTIONS 92MM, CRS 600MM MAX.
5211SR_4.7	SRP EXTENDED STRAPPING BRACKET
5211SR_4.9	THERMAL BREAKER 10MM, THERMAX B
5211SR_4.10	SRP ADJ CLIP/WALL BRACKET WITH 16MM FURRING CHANNEL
5211SR_4.11	INSULATION-KNAUF RIGID POLYSTYRENE BOARD

Young+Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

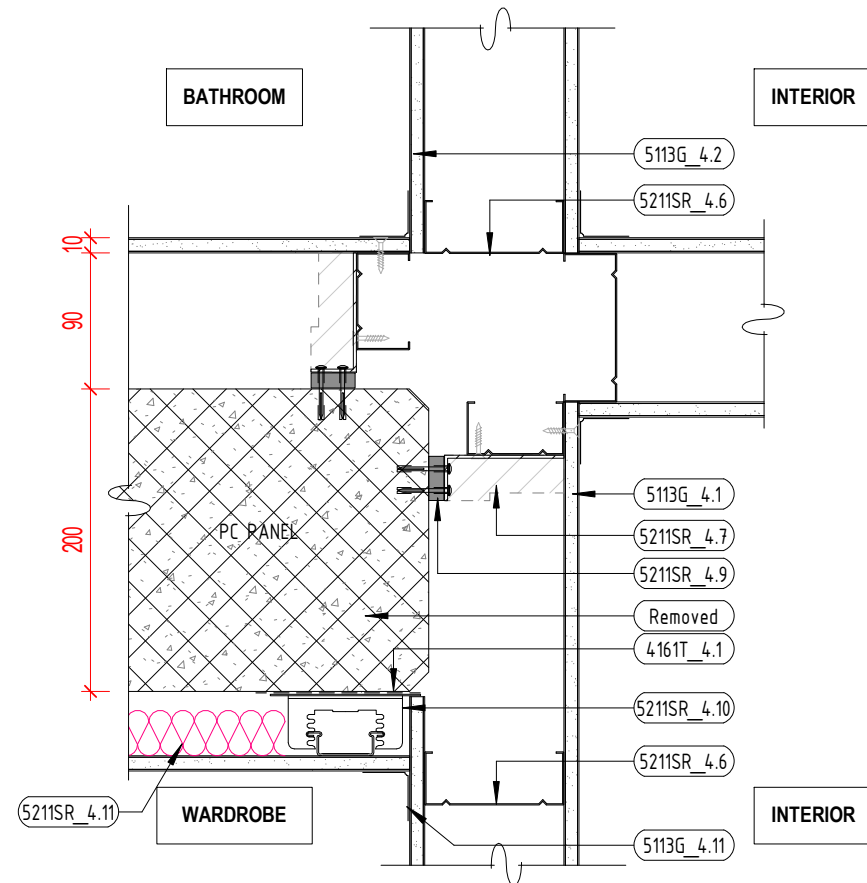
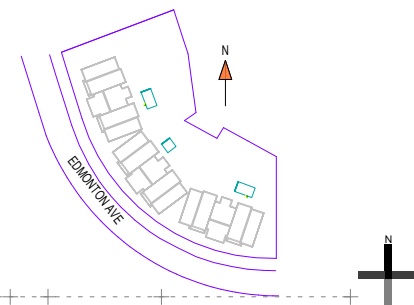
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

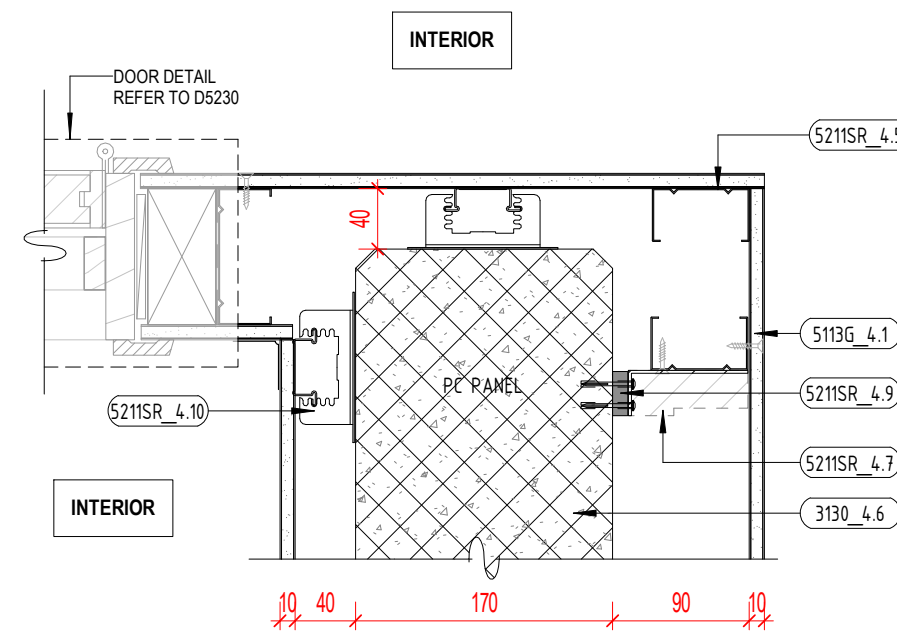
KEY PLAN



TYP. INTERNAL CORNER DETAIL PC PANELS 02

SCALE: 1:5
01 / A5-A3040

02



TYP. INTERNAL CORNER DETAIL PC PANELS 01

SCALE: 1:5
01 / A5-A3040

01

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - INTERIOR WALLS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:5

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-D3110

REVISION

1

Key Value	Keynote Text
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4383_4.1	EXTERIOR DECKING - 100 X 40 RAD PREMIUM GRIP TREAD H 3.2
4383_4.2	50 X 50 RADIATA PREMIUM GRADE H 3.2 M GAUGED 1.2 M
4383_4.3	ADJUSTABLE UPVC PEDESTALS - NURAJACK OR EQUIVALENT
4521FA_4.8	PLASTIC PACKER
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4811_4.1	AIR SEAL AND JOINT FILLER
5211SR_4.2	SRP™ TRACK SECTIONS 64MM
7451AE_4.2	ALLPROOF PLASTIC DRAINAGE PIT
7451AE_4.4	ALLPROOF SUREFLOW80 OVERFLOW

SHEET NOTES

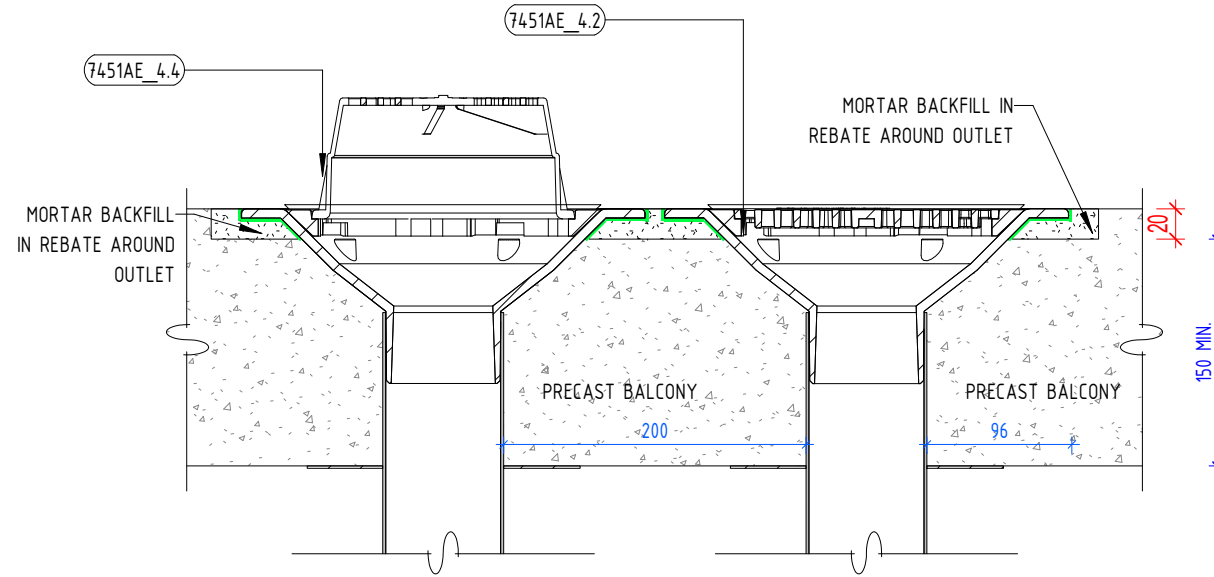
- CONCRETE FOUNDATIONS** - REFER TO STRUCTURAL ENGINEERS DOCUMENTATIONS.
- STRUCTURE** - REFER TO DOCUMENTATION BY STRUCTURAL ENGINEER & FIRE CONSULTANT
- STEEL STRUCTURE - APPLY INTUMESCENT PAINT** - REFER TO NOTES ON STRUCTURAL DRAWINGS.

NOTE:

FOR WATERPROOFING MEMBRANE MINIMUM 10MM RADIUS TO ALL EXTERNAL CORNERS.

PRECAST CONCRETE WALLS TO BE WATERPROOFED & FINISHED IN ACCORDANCE WITH CCHNZ CP 01:2004.

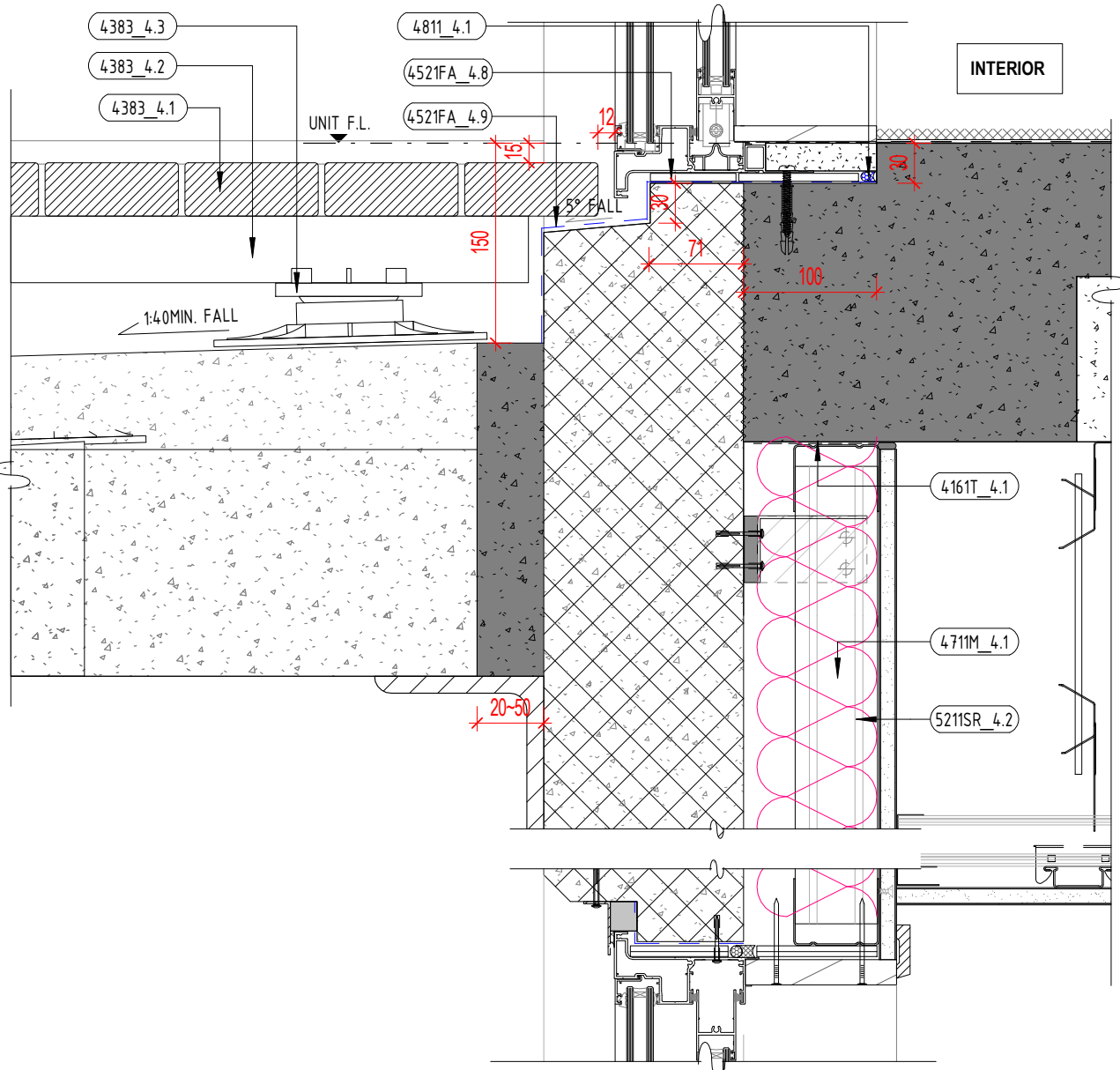
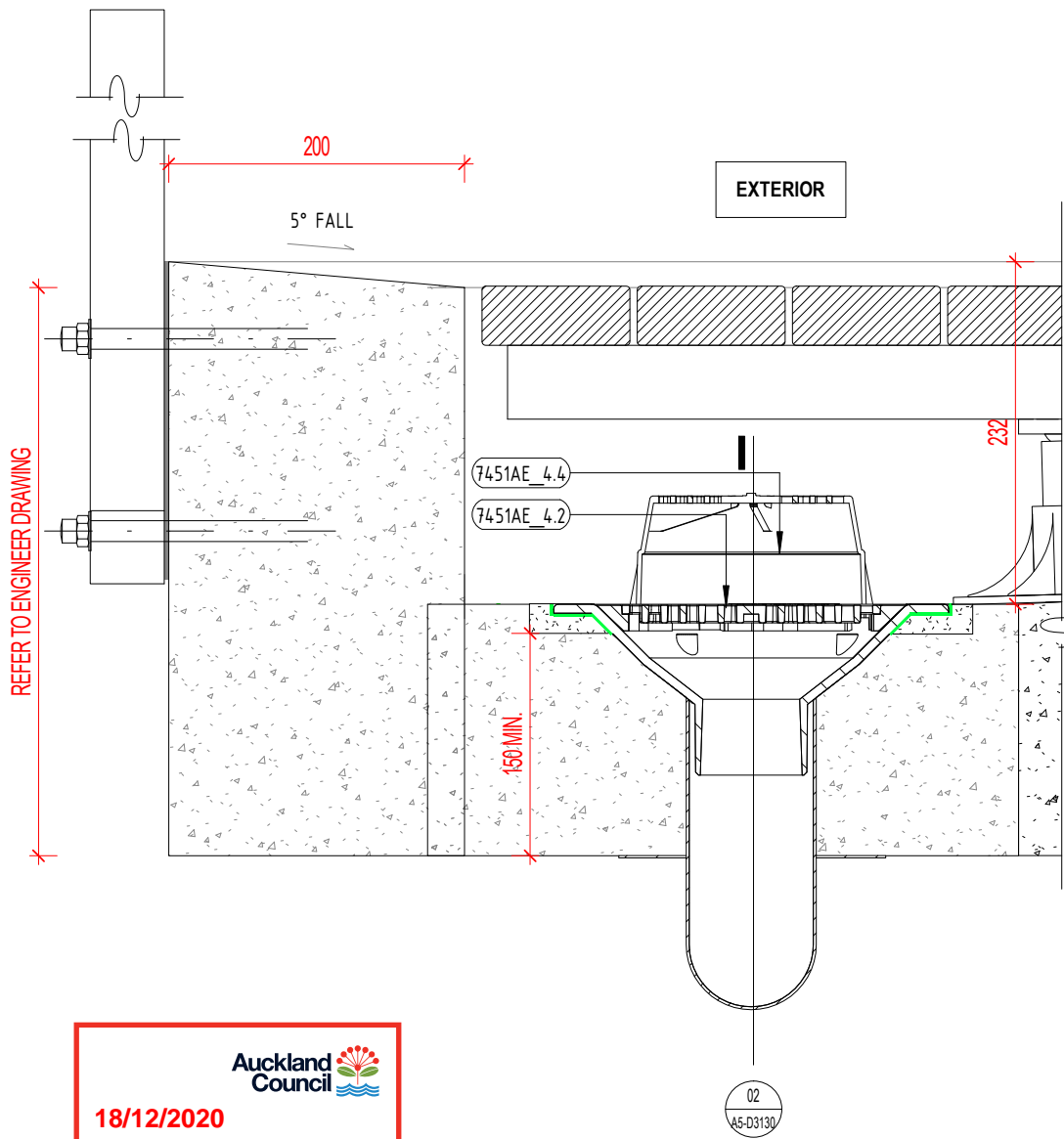
FIRE RATED PIPE LAGGING AND FIRE COLLARS, REFER TO FIRE REPORT & PASSIVE FIRE INSTALLERS DOCUMENTATION.



SCALE: 1:5
01 / A5-D3130

TYP. DRAINAGE OUTLET DETAIL 04

02



SCALE: 1:5
01 / A5-A3042

TYP. BALCONY & SLIDING DOOR SILL DETAIL

01

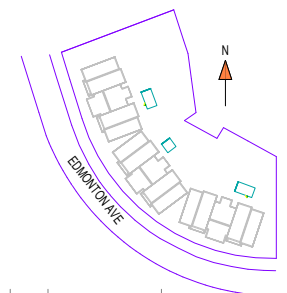
Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT
DOMINION CONSTRUCTORS LTD
PROJECT NAME
8-18 EDMONTON AVENUE
PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER
200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
• ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
• BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
• FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
• FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
• THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
• THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
• DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
DETAILS - PRECAST BALCONY

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1:5

SHEET SIZE
A3=100%

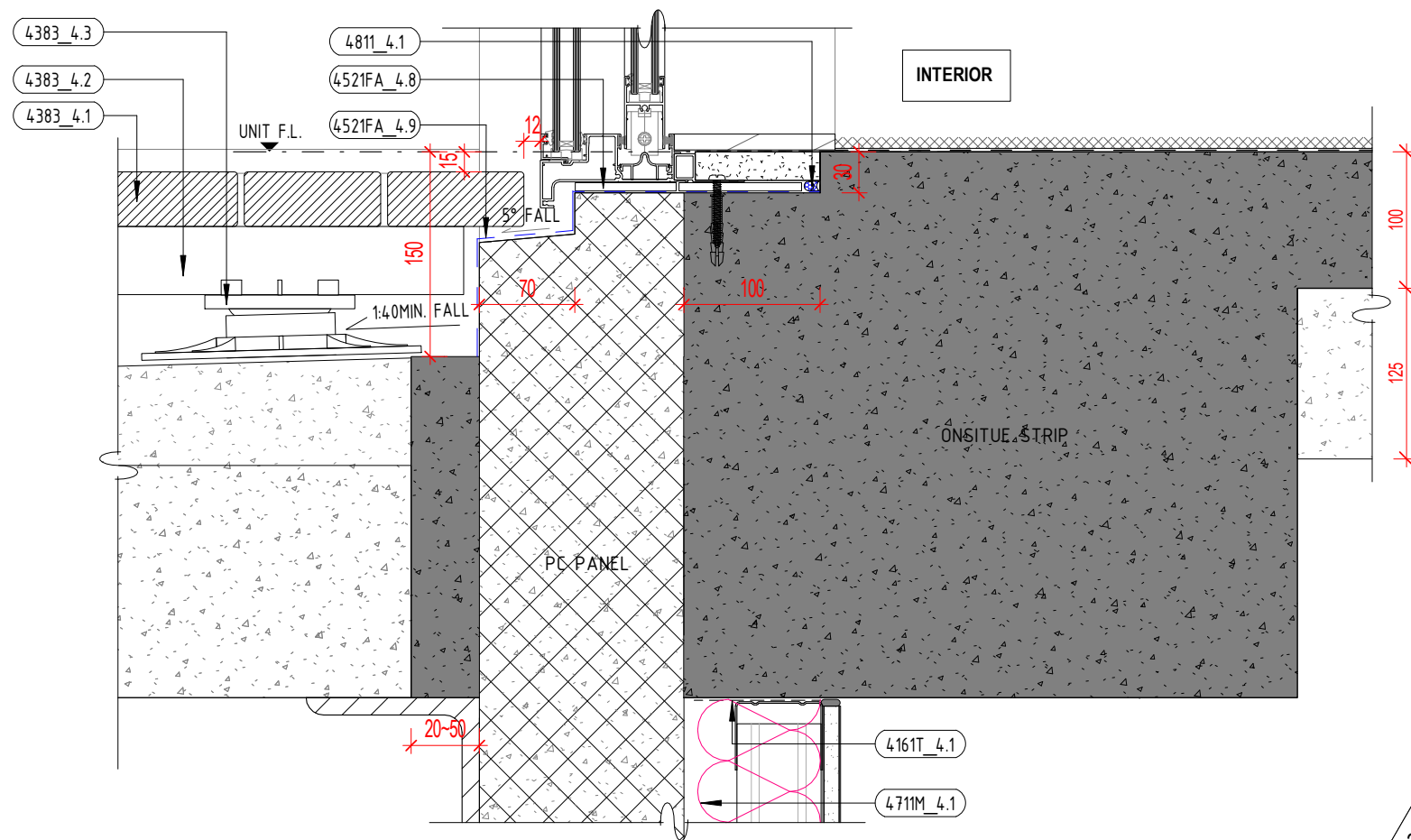


SHEET NUMBER
A5-D3130

REVISION
1



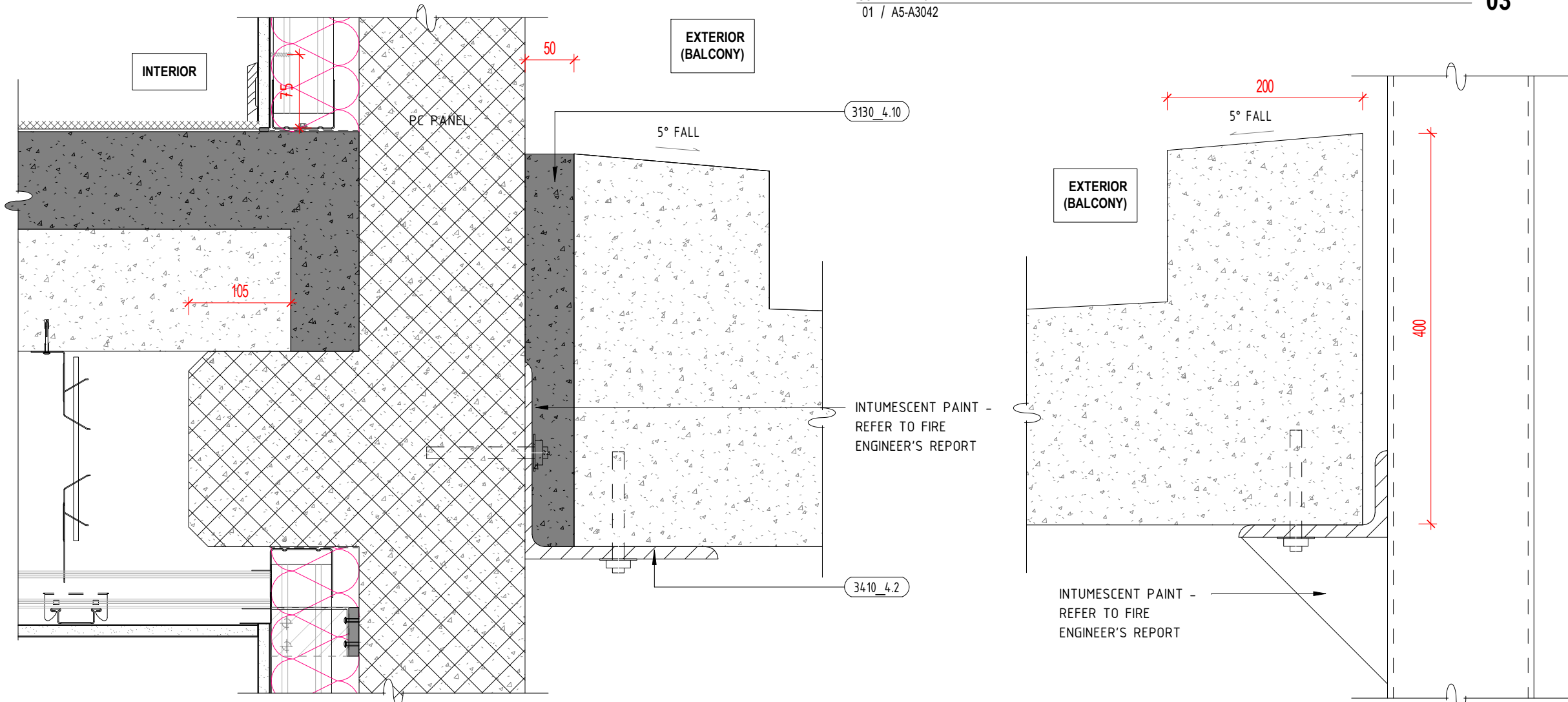
Key Value	Keynote Text
3130_4.10	WATERPROOFING FOR EXTERNAL OPENINGS
3410_4.2	STEELWORK BEING GALVANIZED
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4383_4.1	EXTERIOR DECKING - 100 X 40 RAD PREMIUM GRIP TREAD H 3.2
4383_4.2	50 X 50 RADIATA PREMIUM GRADE H 3.2 M GAUGED 1.2 M
4383_4.3	ADJUSTABLE UPVC PEDESTALS - NURAJACK OR EQUIVALENT
4521FA_4.8	PLASTIC PACKER
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4811_4.1	AIR SEAL AND JOINT FILLER



SCALE: 1:5
01 / A5-A3042

CENTRAL BALCONY & SLIDING DOOR SILL DETAIL

03



SCALE: 1:5
01 / A5-A2341

BALCONY EDGE DETAIL

02

SCALE: 1:5
01 / A5-A2341

BALCONY EDGE TO POST DETAIL

01

Young+Richards+

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

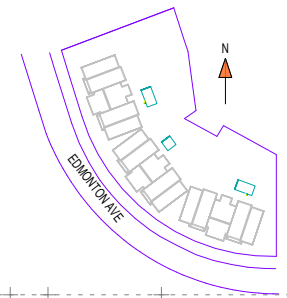
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - PRECAST BALCONY

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:5

SHEET SIZE

A3=100%

PRINT IN COLOUR



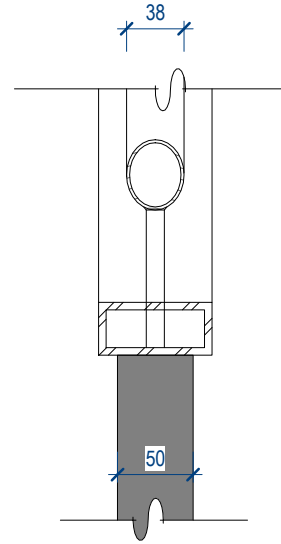
SHEET NUMBER

A5-D3131

REVISION

2

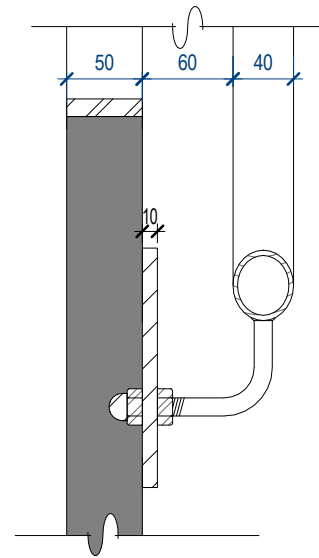
Key Value	Keynote Text
6614GE_4.1	GILT EDGE - GILTGRIP ECOGLO EGRP1 ALUMINIUM STAIR NOSING - SINGLE INSERT



SHEET NOTES

- CONCRETE FOUNDATIONS** - REFER TO STRUCTURAL ENGINEERS DOCUMENTATIONS.
- STRUCTURE** - REFER TO DOCUMENTATION BY STRUCTURAL ENGINEER & FIRE CONSULTANT
- STEEL STRUCTURE - APPLY INTUMESCENT PAINT** - REFER TO NOTES ON STRUCTURAL DRAWINGS.

PRECAST CONCRETE WALLS TO BE WATERPROOFED & FINISHED IN ACCORDANCE WITH CCHNZ CP 01:2004



4d Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

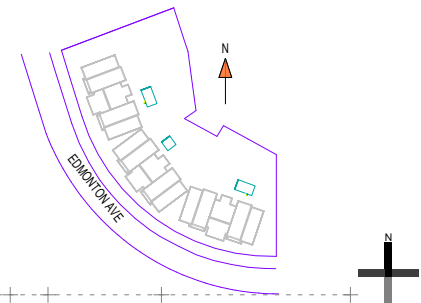
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - BALUSTRADE

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

As indicated

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-D4271

REVISION

2

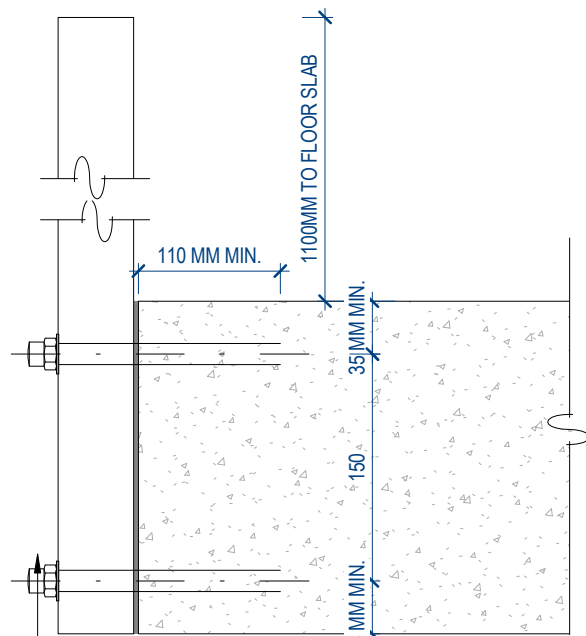


SCALE: 1:5 TYP. METAL BALUSTRADE HANDRAIL 04
03 / A5-D4272

IMPORTANT NOTES:

- A DESIGN ENGINEER** MUST ENSURE THE STRUCTURE CAN SUPPORT THE APPROPRIATE LOADING AT EACH POST
- ALL FIXINGS** MUST ENGAGE INTO THE STRUCTURAL SLAB
- AN EPDM, RUBBER OR FOAM TAPE LAYER** MUST BE INSTALLED BETWEEN THE GUTTER BRACKET AND CONCRETE
- ALL FIXINGS** MUST BE STAINLESS STEEL

PRECAST CONCRETE WALLS TO BE WATERPROOFED & FINISHED IN ACCORDANCE WITH CCHNZ CP 01:2004



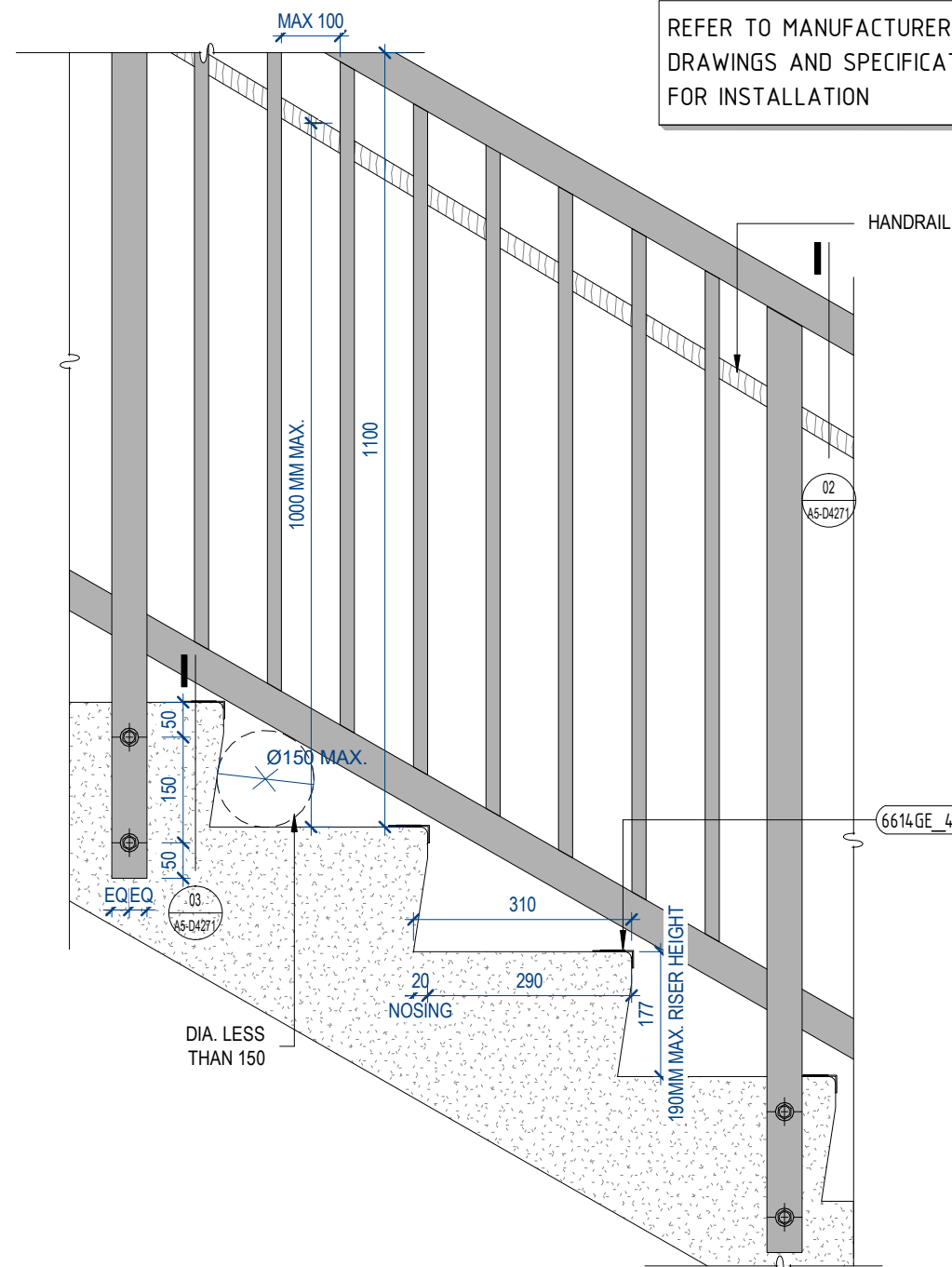
2x M10 SS STUDS + EPCON
C6 + 21 DIA SS WASHERS,
REFER TO MANUFACTURER'S
DRAWINGS AND SPECS

REFER TO MANUFACTURER'S
DRAWINGS AND SPECIFICATIONS

SCALE: 1:5 TYP. METAL BALUSTRADE & FIXING DETAIL (BREEZEWAYS) 03
01 / A5-D4271

SCALE: 1:5 TYP. METAL BALUSTRADE HANDRAIL FIXING DETAIL 02
01 / A5-D4271 OPTIONAL

REFER TO MANUFACTURER'S
DRAWINGS AND SPECIFICATIONS
FOR INSTALLATION



SCALE: 1:10 STAIR BALUSTRADE & HANDRAIL DETAIL 01
OPTIONAL

Key Value	Keynote Text
6614GE_4.1	GILT EDGE - GILTGRIP ECOGLO EGRP1 ALUMINIUM STAIR NOSING - SINGLE INSERT


18/12/2020
 BCO10313722-3
APPROVED
BUILDING CONSENT PLANS

IMPORTANT NOTES:

1. A DESIGN ENGINEER MUST ENSURE THE STRUCTURE CAN SUPPORT THE APPROPRIATE LOADING AT EACH POST
2. ALL FIXINGS MUST ENGAGE INTO THE STRUCTURAL SLAB
3. AN EPDM, RUBBER OR FOAM TAPE LAYER MUST BE INSTALLED BETWEEN THE GUTTER BRACKET AND CONCRETE
4. ALL FIXINGS MUST BE STAINLESS STEEL

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

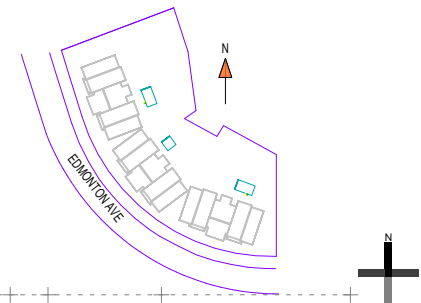
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

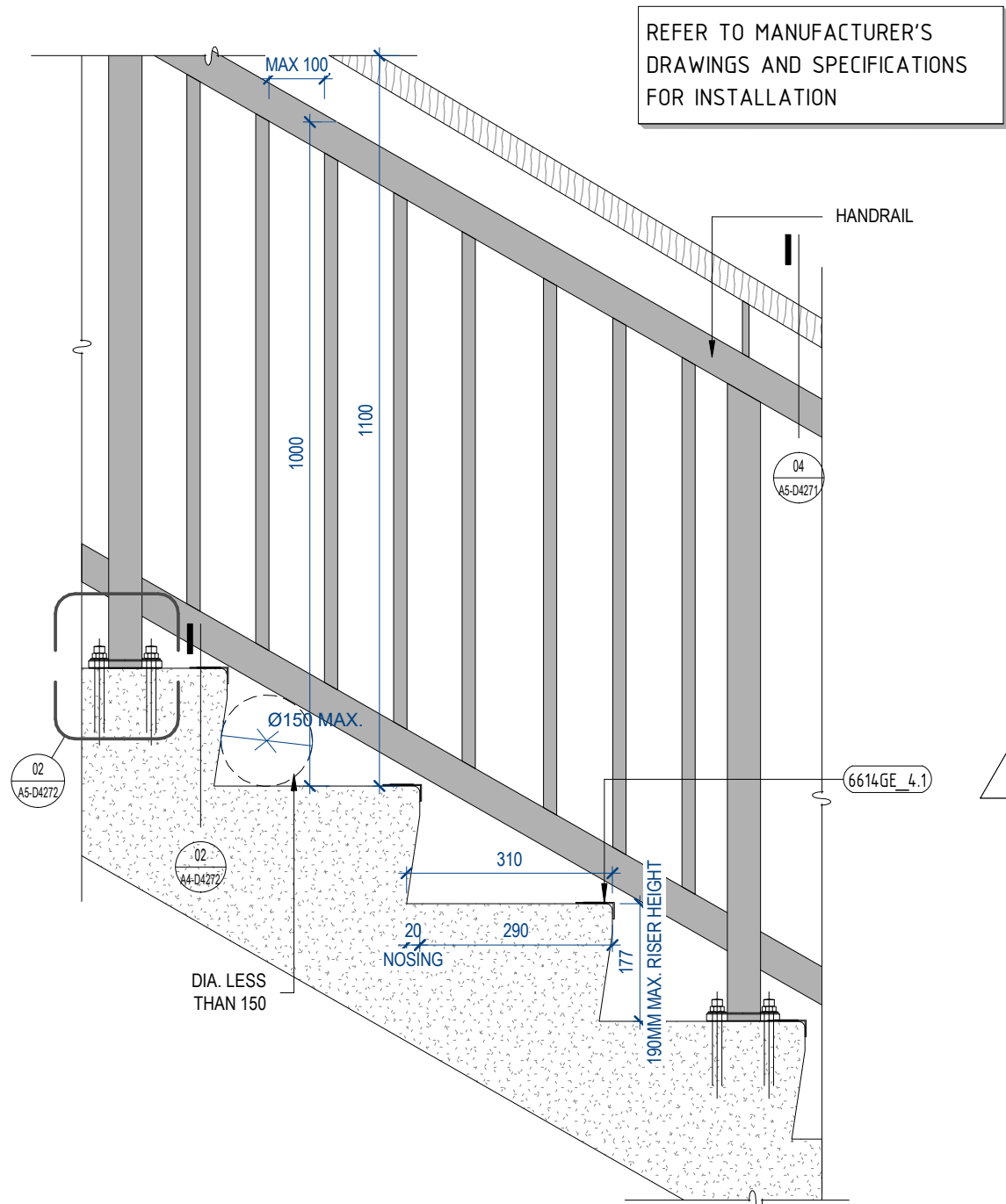
PROJECT NUMBER

200003

KEY PLAN



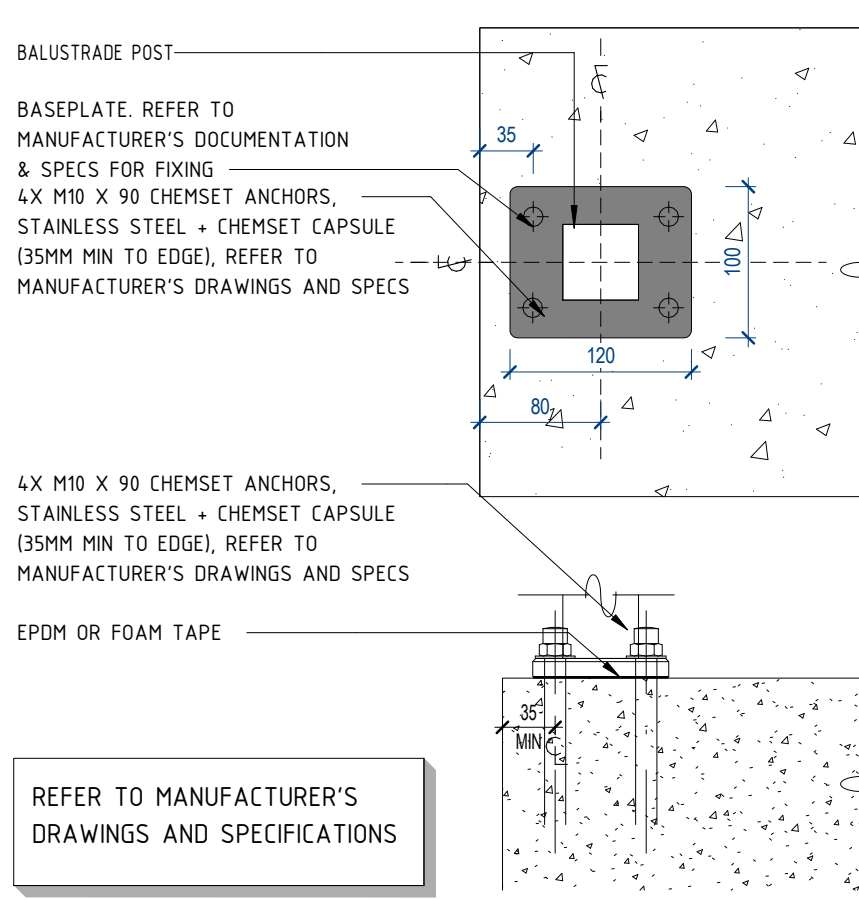
STAMP



SCALE: 1:10

STAIR BALUSTRADE & HANDRAIL DETAIL - SIDE
SIDE BALUSTRADE

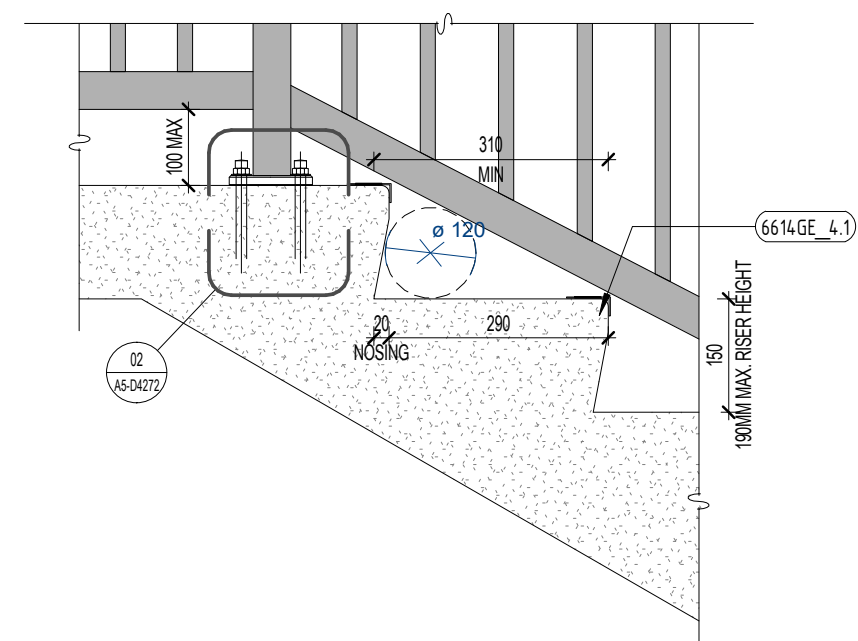
03



SCALE: 1:5
01 / A4-D4272

TYP. BALUSTRADE FIXING DETAIL

02



SCALE: 1:10
02 / A5-A5042

STAIR MID-BALUSTRADE
BREEZEWAY & STAIR CENTRE

01

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
DETAILS - BALUSTRADE

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
As indicated

SHEET SIZE
A3=100%



SHEET NUMBER
A5-D4272

REVISION
2



CLIENT

DOMINION
 CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

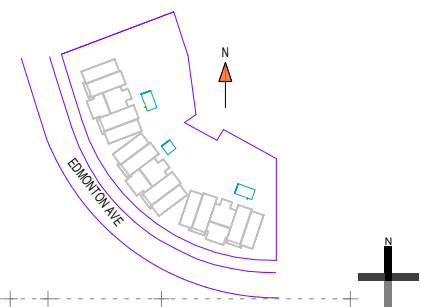
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - ENTRY BALUSTRADE

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

As indicated

SHEET SIZE

A3=100%

PRINT IN COLOUR

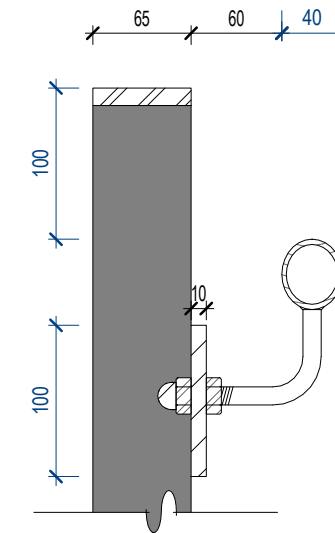


SHEET NUMBER

A5-D4273

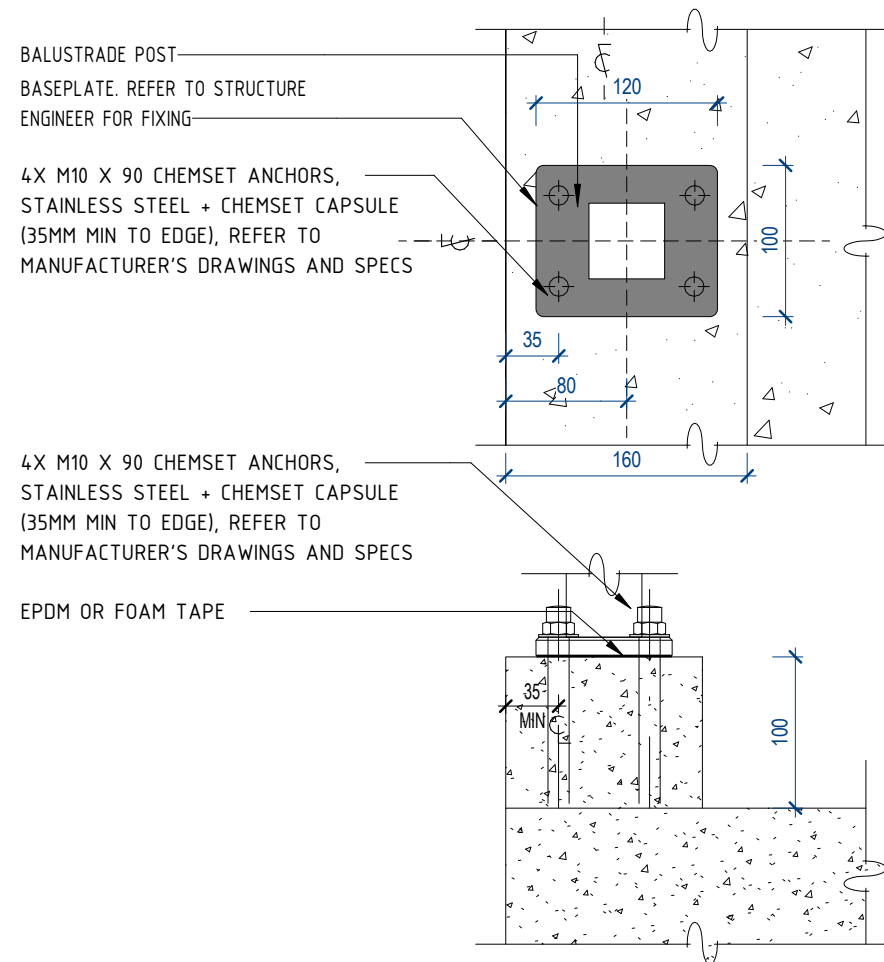
REVISION

1

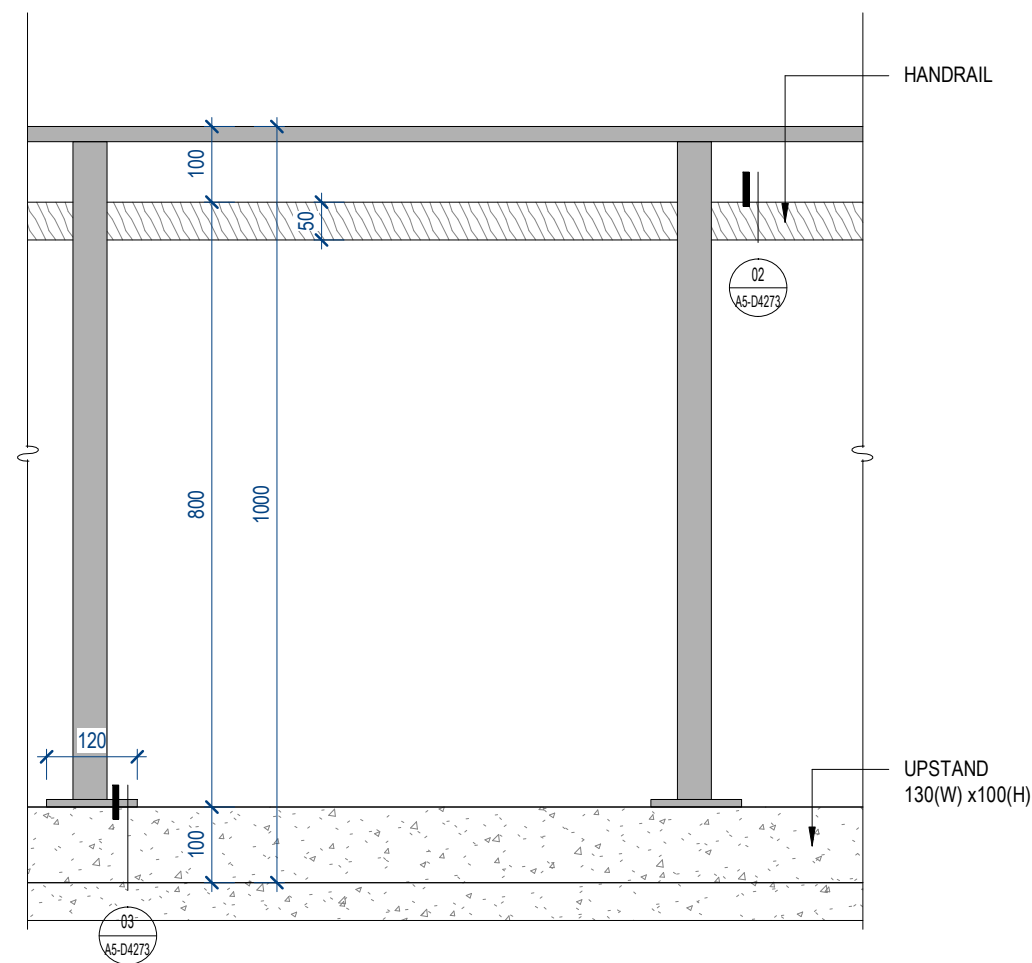


SCALE: 1:5 METAL HANDRAIL TO BALUSTRADE **02**
 01 / A5-D4273

REFER TO MANUFACTURER'S DRAWINGS AND SPECIFICATIONS FOR INSTALLATION



SCALE: 1:5 ENTRY BALUSTRADE TOP FIXING DETAIL **03**
 01 / A5-A5140



SCALE: 1:10 ENTRY BALUSTRADE & HANDRAIL DETAIL **01**

Key Value	Keynote Text
3130_4.6	CONCRETE COLOUR
4161T_4.3	COVERTEK 407 ROOFING UNDERLAY
4161T_4.5	THERMAKRAFT™ THERMAFLASH
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4311RI_4.3	MULTIFIT EXTERNAL AND CONCEALED FASCIA
4311RI_4.4	ROOFING INDUSTRIES - GUTTER
4711_4.1	ROCKWOOL PROROX SL 950SA, DENSITY 80KG/M³
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4711M_4.3	MAMMOTH CEILING BLANKET - R3.6 - 225MM THICK
4811S_4.9	SIKAFLEX® AT-FACADE
4821_4.12	FLASHINGS: EAVES FLASHING
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5113G_4.5	GIB® STANDARD SYSTEMS CEILINGS
5211SR_4.2	SRP™ TRACK SECTIONS 64MM

4d Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

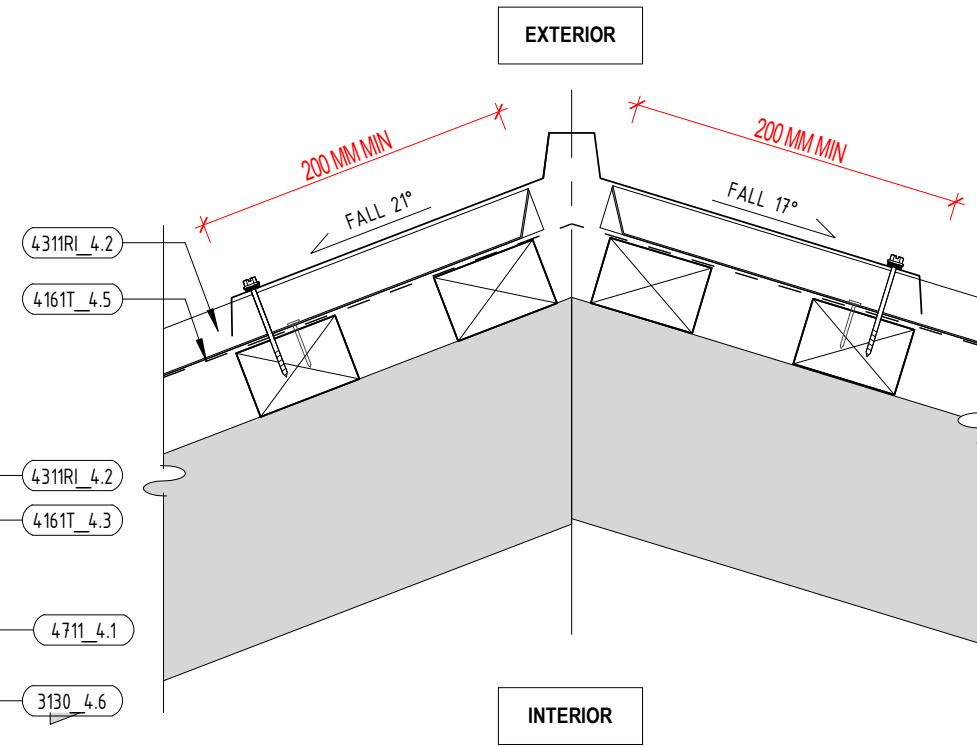
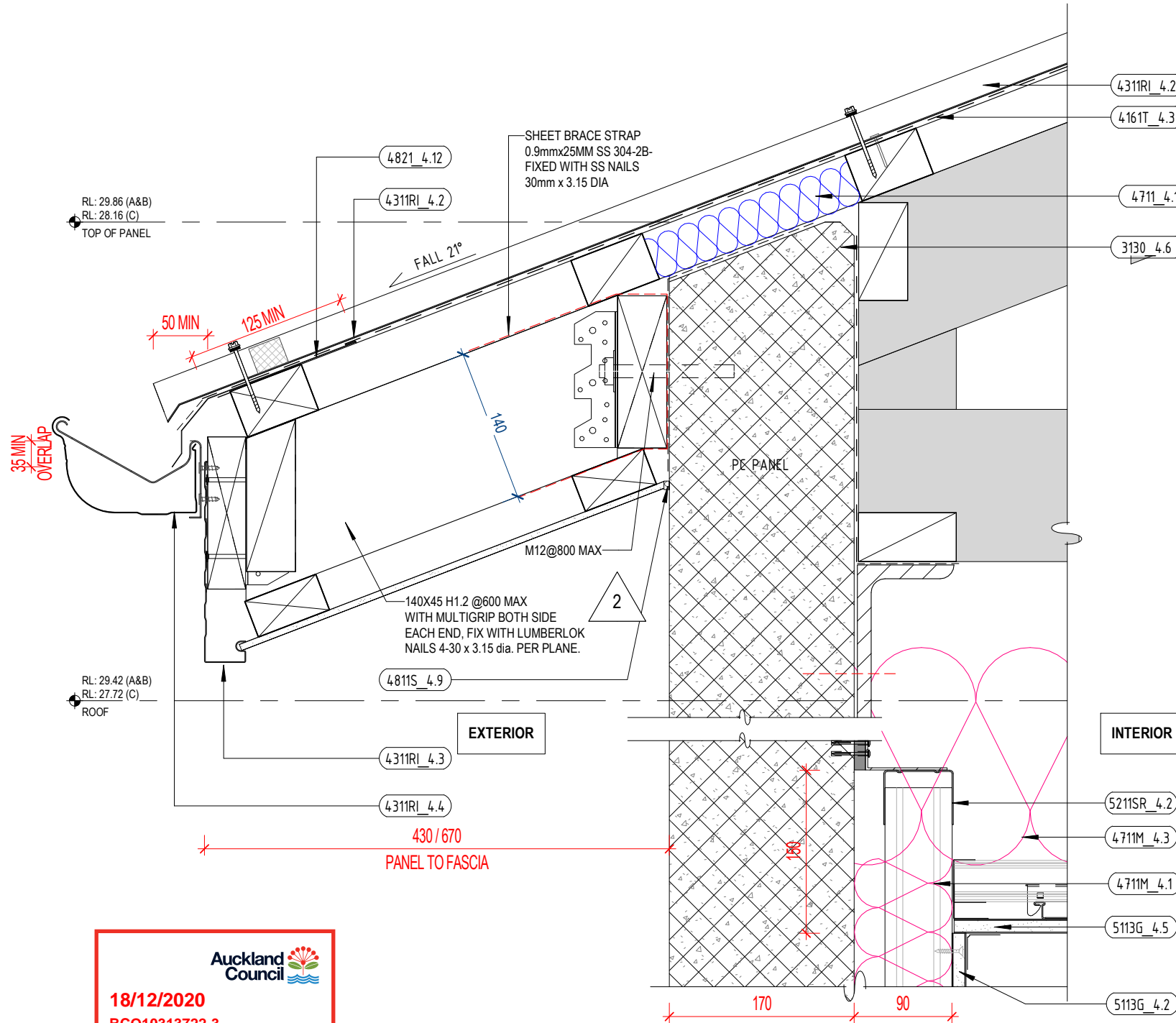
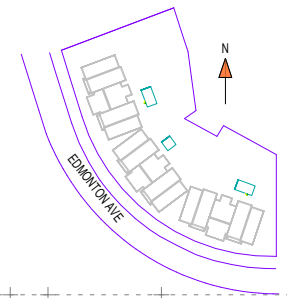
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

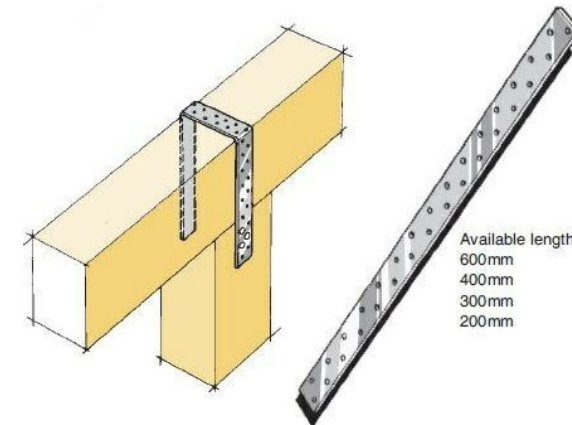
PROJECT NUMBER

200003

KEY PLAN



SCALE: 1:5
01 / A5-A3043 **01**



* SHEET BRACE STRAPS

0.9mm x 25mm Stainless Steel 304-2B

Punched strap available in lengths of 200mm, 300mm, 400mm and 600mm. Fixed with LUMBERLOK Stainless Steel Product Nails 30mm x 3.15mm diameter.

Refer to brochure for application data.



SCALE: 1:5
01 / A5-A4240 **02**

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT
• ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
• BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
• FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
• FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
• THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
• THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
• DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
DETAILS - ROOF

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE: **1:5** SHEET SIZE: **A3=100%** PRINT IN COLOUR:

SHEET NUMBER: **A5-D4330** REVISION: **2**



Key Value	Keynote Text
3410_4.2	STEELWORK BEING GALVANIZED
4161T_4.3	COVERTEK 407 ROOFING UNDERLAY
4161T_4.5	THERMAKRAFT™ THERMAFLASH
4239JH_4.1	HARDIFLEX™ EAVES LINING - 6MM
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4311RI_4.4	ROOFING INDUSTRIES - GUTTER
4711_4.1	ROCKWOOL PROROX SL 950SA, DENSITY 80KG/M³
4811S_4.9	SIKAFLEX® AT-FACADE
4821_4.12	FLASHINGS: EAVES FLASHING
4821_4.15	FLASHINGS: APRON
4821_4.24	FLASHINGS: CHASED FLASHING

4d Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - ROOF

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:5

SHEET SIZE

A3=100%

PRINT IN COLOUR

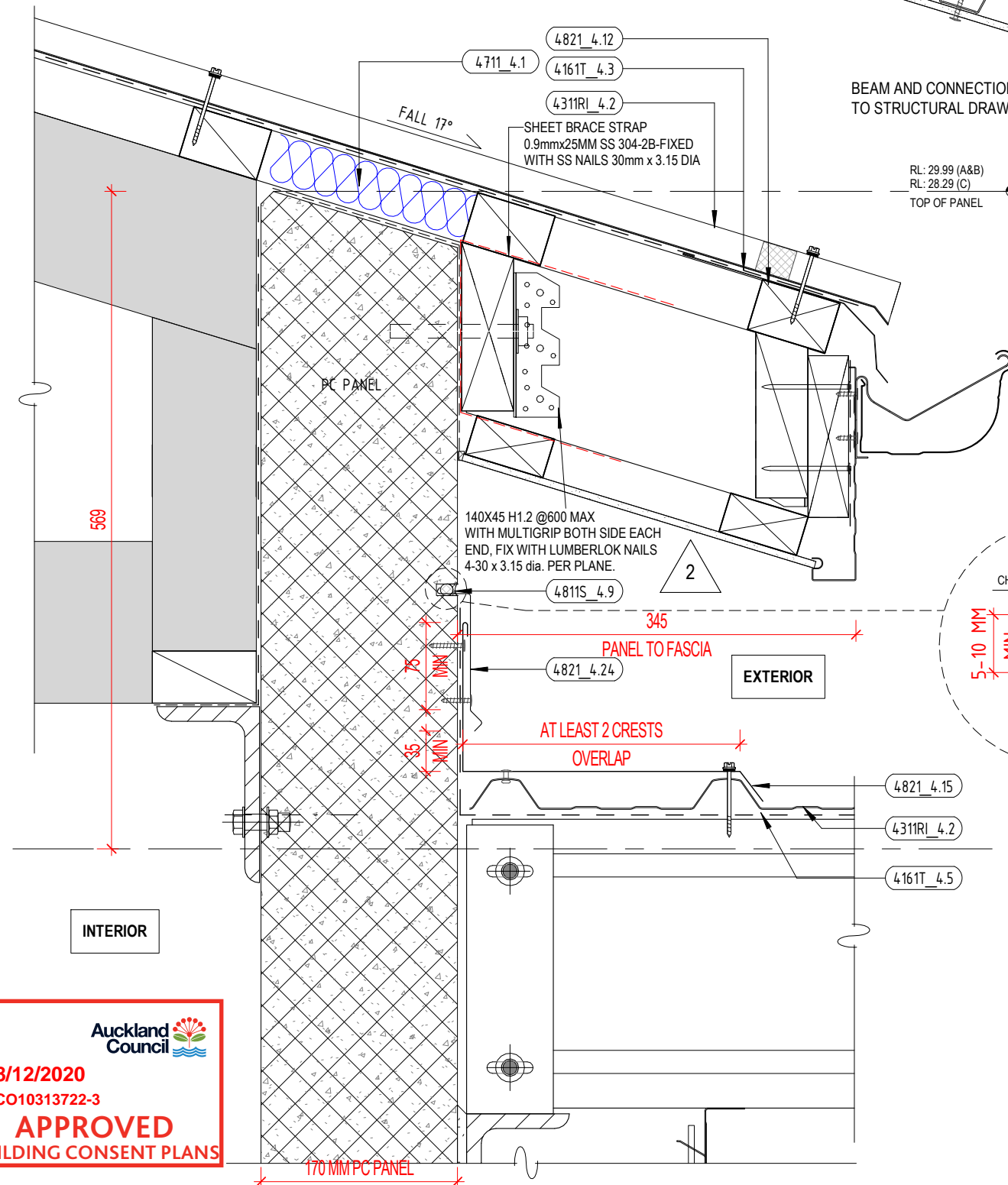
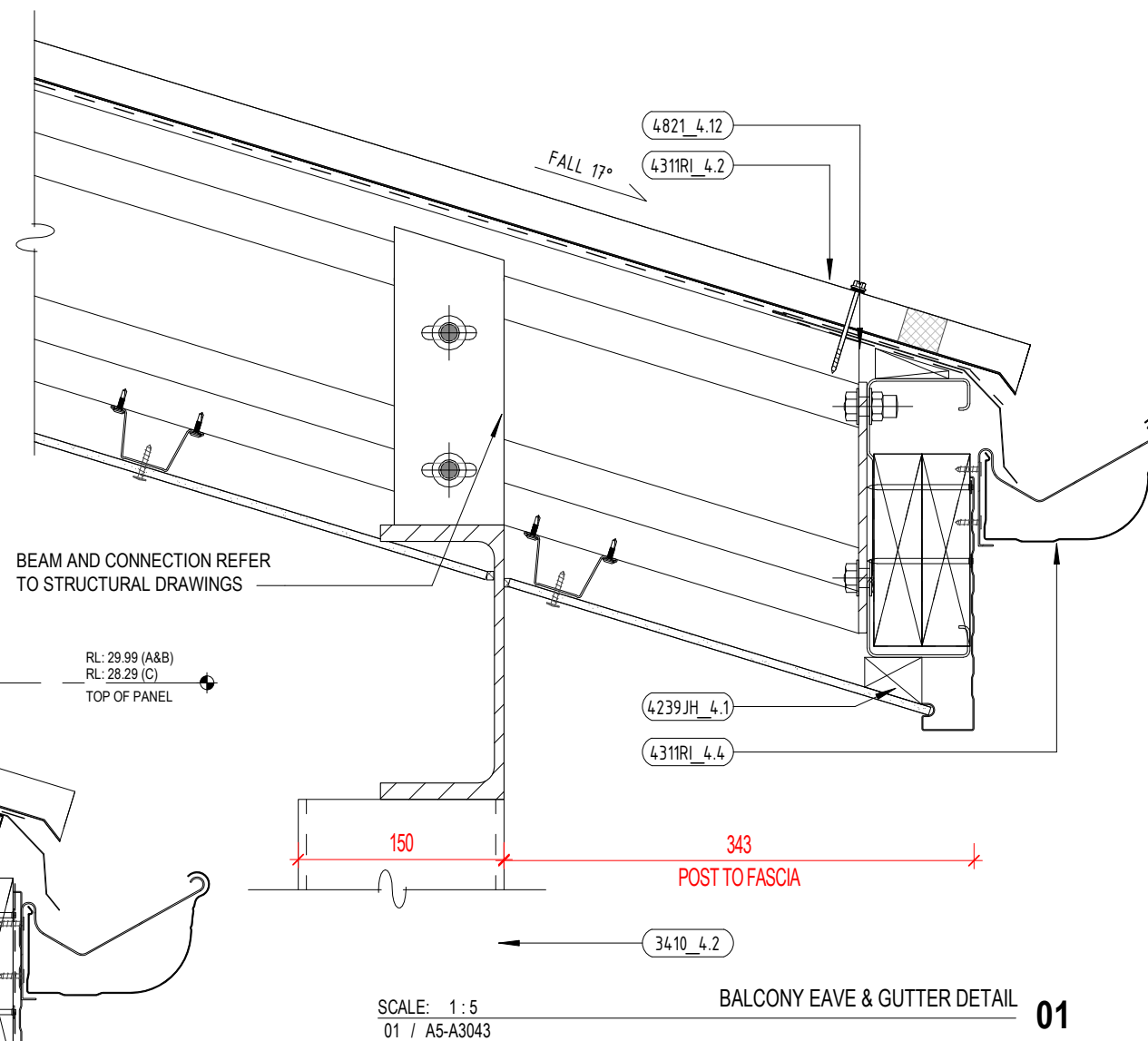


SHEET NUMBER

A5-D4331

REVISION

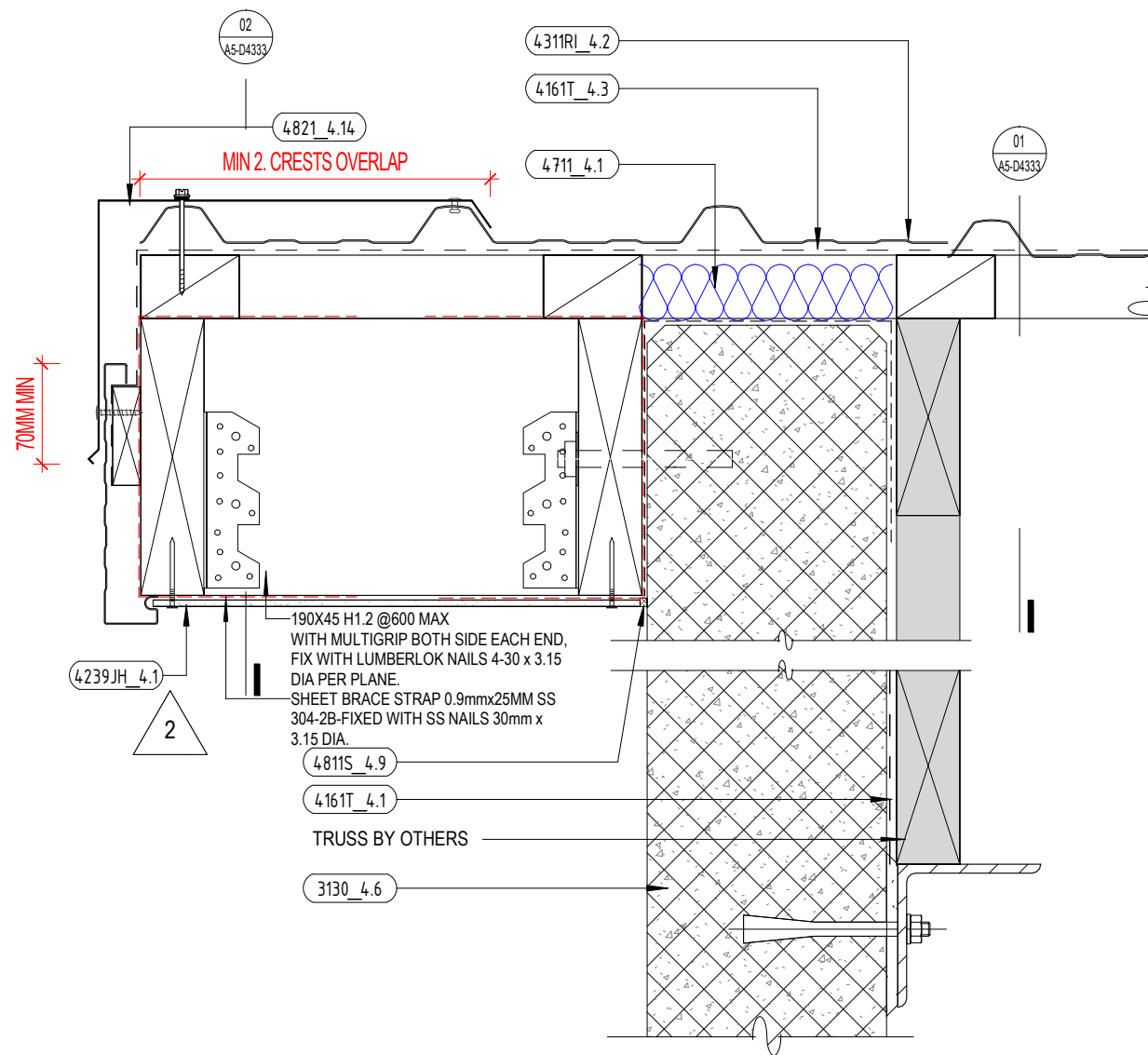
2



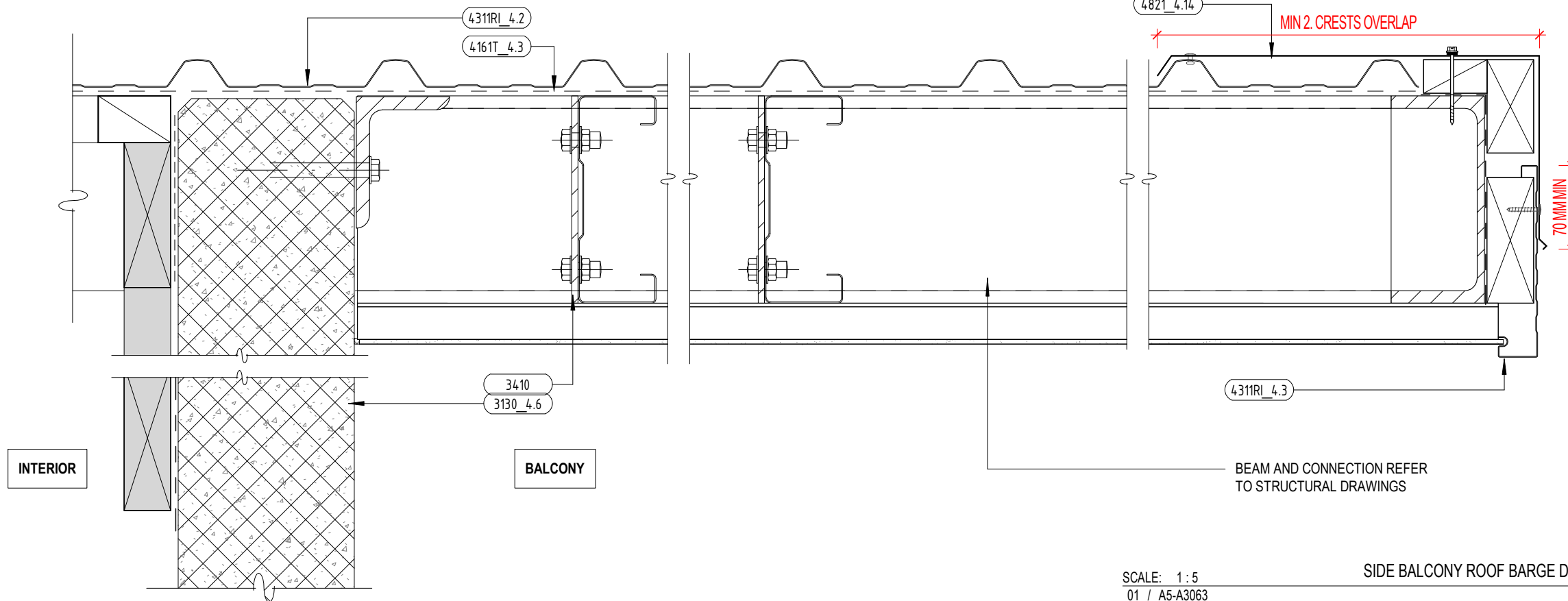
SCALE: 1:5
01 / A5-A3043

TYP. EAVE & GUTTER DETAIL 02 **02**

Key Value	Keynote Text
3130_4.6	CONCRETE COLOUR
3410	STRUCTURAL STEEL
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4161T_4.3	COVERTEK 407 ROOFING UNDERLAY
4239JH_4.1	HARDIEFLEX™ EAVES LINING - 6MM
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4311RI_4.3	MULTIFIT EXTERNAL AND CONCEALED FASCIA
4711_4.1	ROCKWOOL PROROX SL 950SA, DENSITY 80KG/M³
4811S_4.9	SIKAFLEX® AT-FACADE
4821_4.14	FLASHINGS: BARGE



SCALE: 1:5
01 / A5-A3043
TYP. ROOF BARGE DETAIL 02



SCALE: 1:5
01 / A5-A3063
SIDE BALCONY ROOF BARGE DETAIL 01

Young+Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

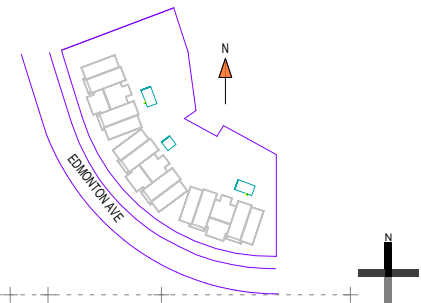
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - ROOF

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:5

SHEET SIZE

A3=100%

PRINT IN COLOUR



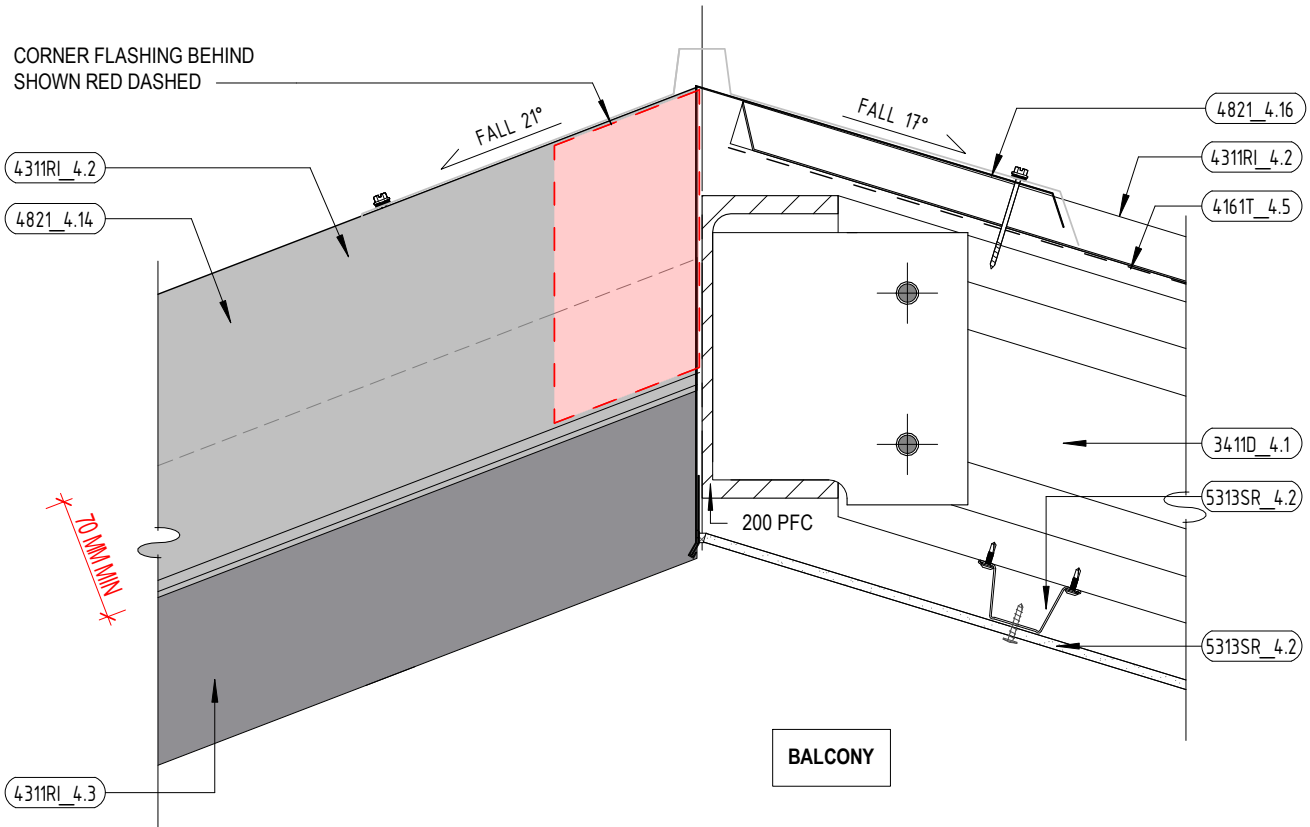
SHEET NUMBER

A5-D4332

REVISION

2

Key Value	Keynote Text
3130_4.6	CONCRETE COLOUR
3411D_4.1	DIMOND DHS PURLINS
3821_4.9	INTERIOR ROOF PURLINS - 45X 70MM @900 MAX.
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4161T_4.3	COVERTEK 407 ROOFING UNDERLAY
4161T_4.5	THERMAKRAFT™ THERMAFLASH
4239JH_4.1	HARDIEFLEX™ EAVES LINING - 6MM
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4311RI_4.3	MULTIFIT EXTERNAL AND CONCEALED FASCIA
4821_4.14	FLASHINGS: BARGE
4821_4.16	FLASHINGS: APEX
5313SR_4.2	SRP™ CEILING BATTEN 35MM



Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

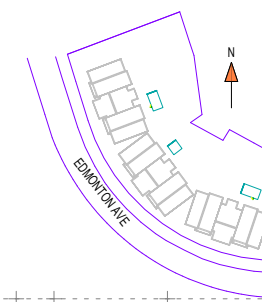
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

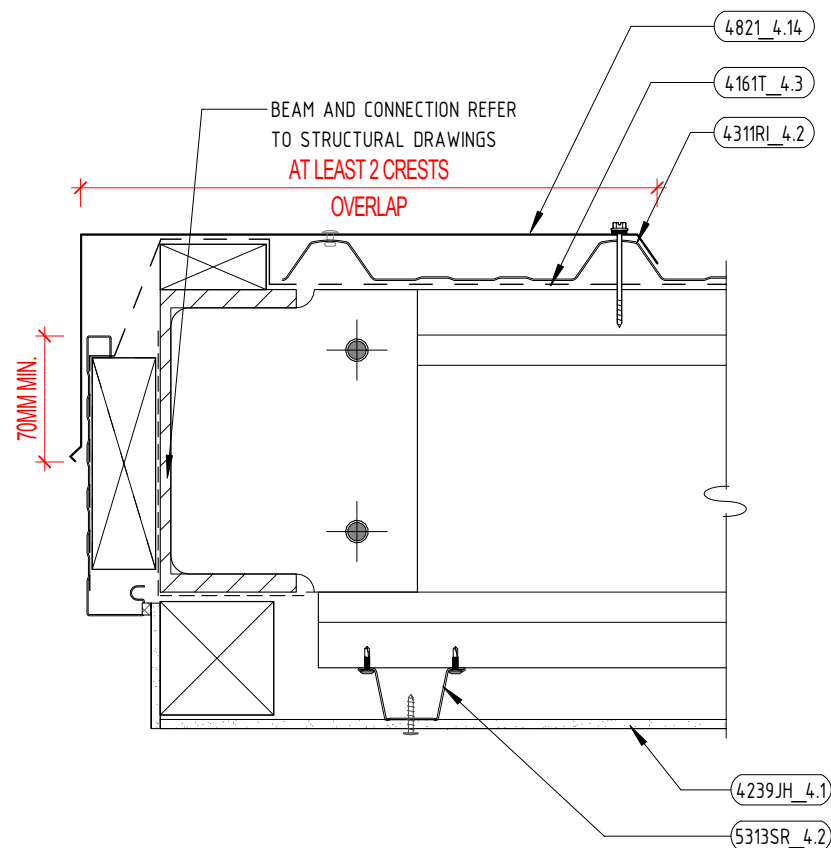
PROJECT NUMBER

200003

KEY PLAN

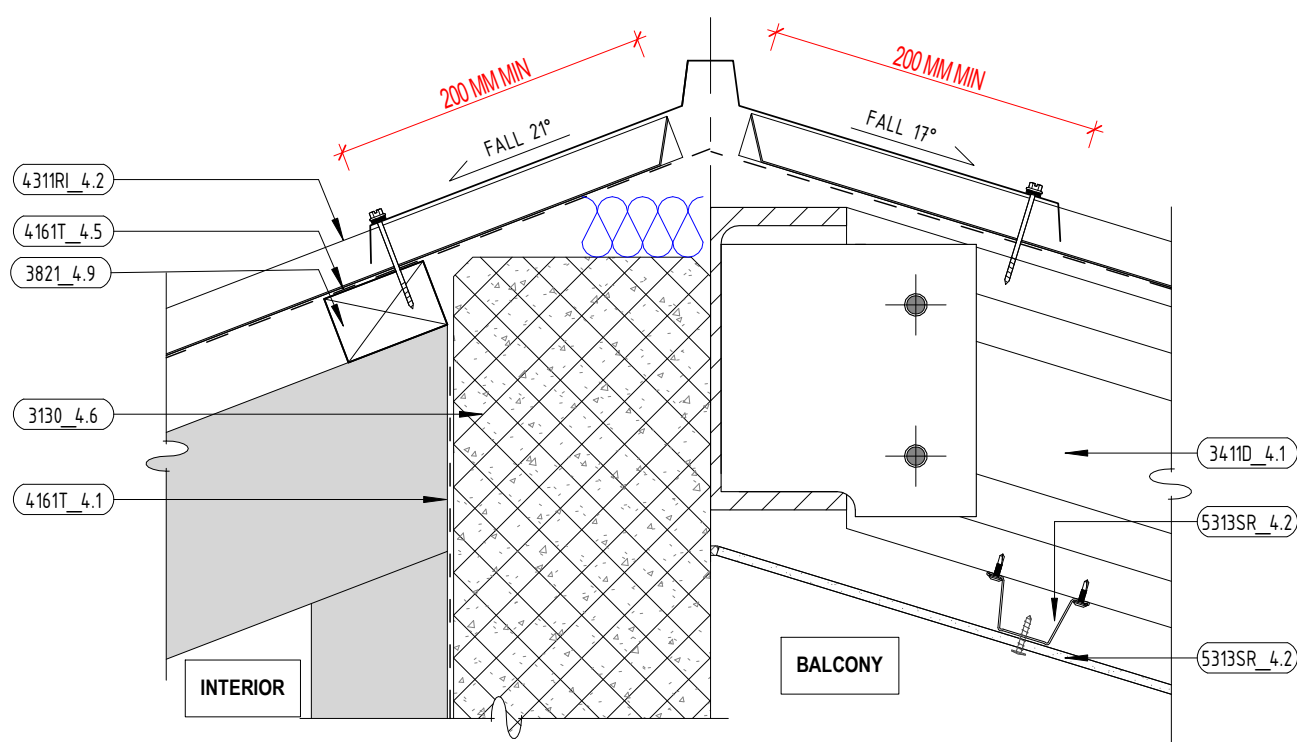


STAMP



SCALE: 1:5
02 / A5-D4332

TYP. ROOF RIDGE DETAIL 04 **02**



SCALE: 1:5
02 / A5-D4332

TYP. ROOF RIDGE DETAIL 03 **01**

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
DETAILS - ROOF

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1:5

SHEET SIZE
A3=100%

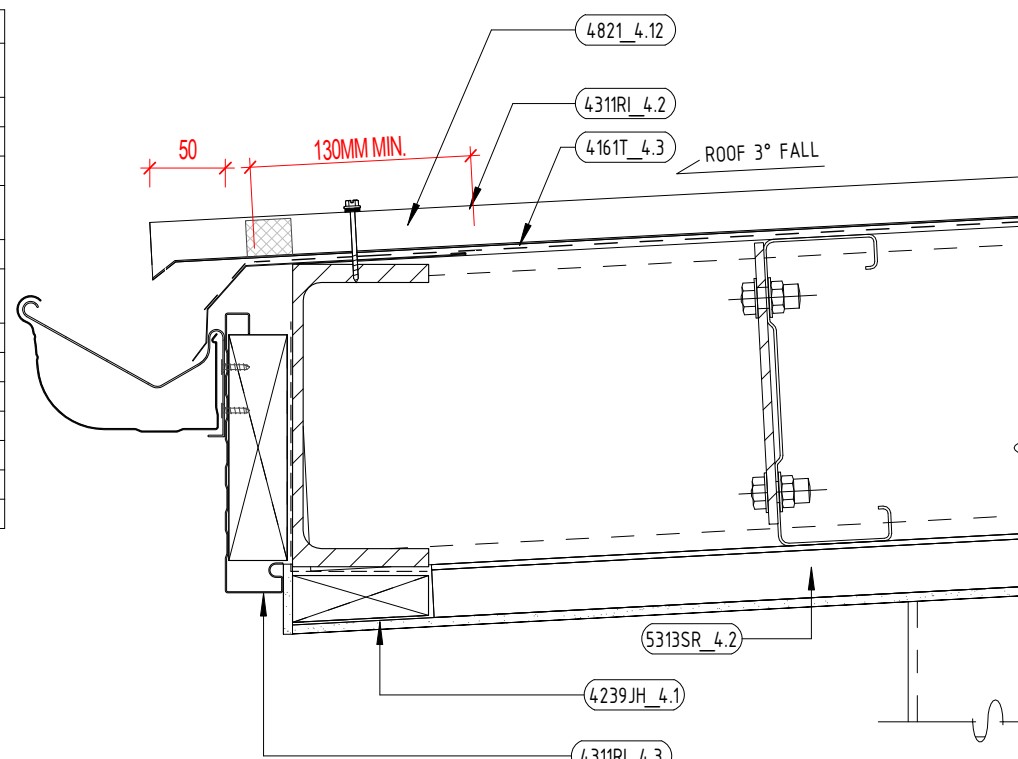


SHEET NUMBER
A5-D4333

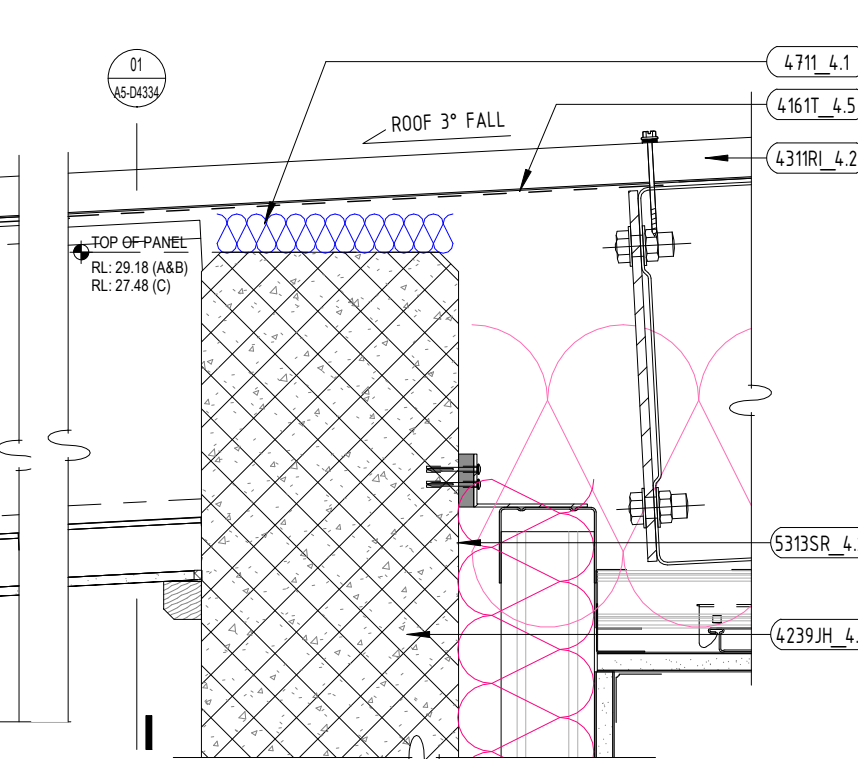
REVISION
1

File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
 Plot: 17/12/2020 3:42:49 pm

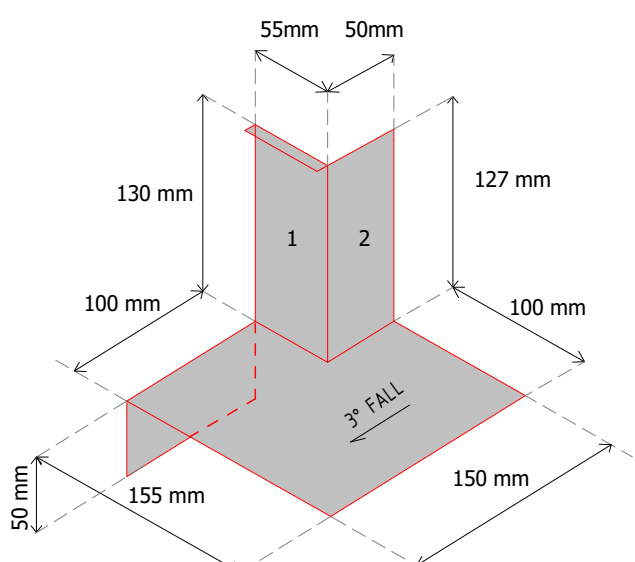
Key Value	Keynote Text
3130_4.5	STRUCTURAL PANELS - THICKNESS REFER TO STRUCTURAL ENGINEERS DRAWINGS
4161T_4.3	COVERTEK 407 ROOFING UNDERLAY
4161T_4.5	THERMAKRAFT™ THERMAFLASH
4239JH_4.1	HARDIFLEX™ EAVES LINING - 6MM
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4311RI_4.3	MULTIFIT EXTERNAL AND CONCEALED FASCIA
4711_4.1	ROCKWOOL PROROX SL 950SA, DENSITY 80KG/M³
4811S_4.9	SIKAFLEX® AT-FACADE
4821_4.12	FLASHINGS: EAVES FLASHING
4821_4.14	FLASHINGS: BARGE
4821_4.15	FLASHINGS: APRON
4821_4.22	FLASHING TAPE - SIKAPROOF® TAPE-150 A
4821_4.24	FLASHINGS: CHASED FLASHING
5313SR_4.2	SRP™ CEILING BATTEN 35MM



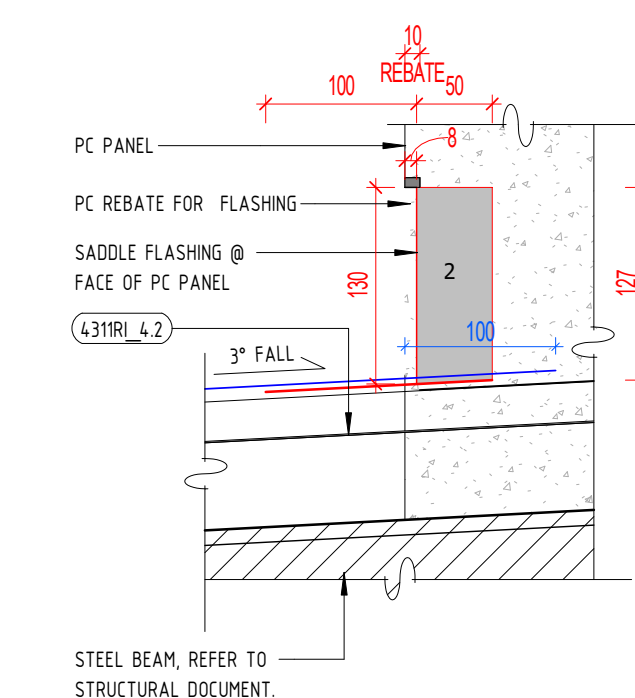
SCALE: 1:5
01 / A5-A3043
GUTTER EAVE AND ROOF DETAIL 04



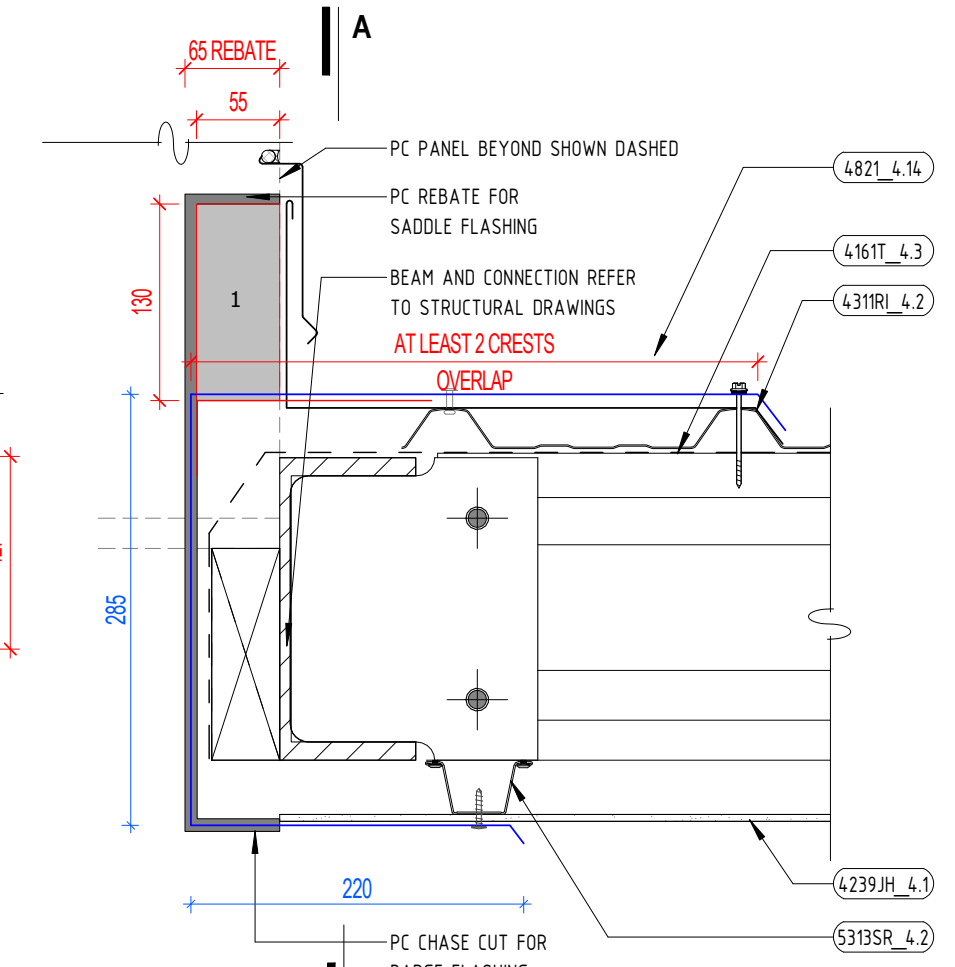
SCALE: 1:5
01 / A5-A4271
ROOF DETAIL 03



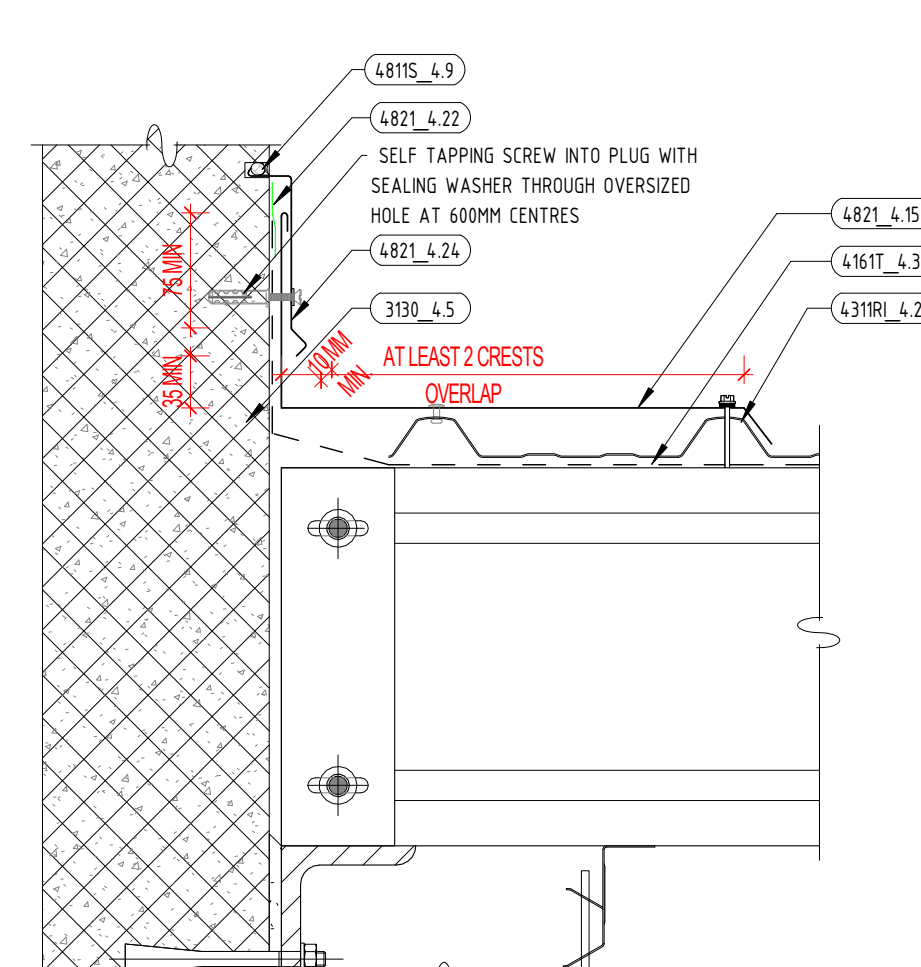
SADDLE FLASHING FOR POST CONNECTION
NOTE: EXACT SIZE TO BE CONFIRMED ON SITE



SECTION A-A



SCALE: 1:5
01 / A4-A4272
LOWER ROOF BARGE DETAIL 02 02

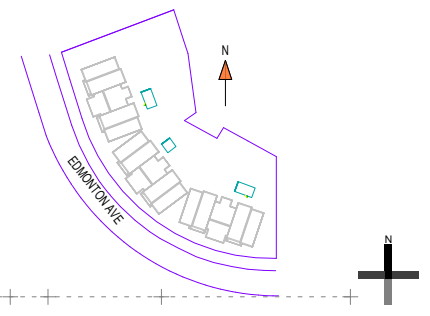


SCALE: 1:5
03 / A5-D4334
LOWER ROOF BARGE DETAIL 01 01

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT
DOMINION CONSTRUCTORS LTD
PROJECT NAME
8-18 EDMONTON AVENUE
PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061
PROJECT NUMBER
200003
KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

Auckland Council

18/12/2020

BCO10313722-3

APPROVED

BUILDING CONSENT PLANS

THE FINE PRINT
• ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
• BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
• FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
• FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
• THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
• THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
• DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
DETAILS - ROOF
PROJECT STATUS
BC-CONSTRUCTION-STAGE3
SHEET SCALE
1:5
SHEET SIZE
A3=100%
PRINT IN COLOUR

SHEET NUMBER
A5-D4334
REVISION
1

Key Value	Keynote Text
3130_4.6	CONCRETE COLOUR
3821_4.9	INTERIOR ROOF PURLINS - 45X 70MM @900 MAX.
3821_4.10	RAFTERS - 45X140MM @600 MAX.
4161T_4.3	COVERTEK 407 ROOFING UNDERLAY
4239JH_4.1	HARDIEFLEX™ EAVES LINING - 6MM
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4311RI_4.3	MULTIFIT EXTERNAL AND CONCEALED FASCIA
4311RI_4.4	ROOFING INDUSTRIES - GUTTER
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4711M_4.4	MAMMOTH CEILING BLANKET - R2.9 - 115MM THICK
4811S_4.9	SIKAFLEX® AT-FACADE
4821_4.12	FLASHINGS: EAVES FLASHING
4821_4.15	FLASHINGS: APRON
4821_4.24	FLASHINGS: CHASED FLASHING
5211SR_4.2	SRP™ TRACK SECTIONS 64MM
5313SR_4.1	CEILING BATTEN SYSTEM - SUSPENSION - TOP CROSS RAIL SYSTEM



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

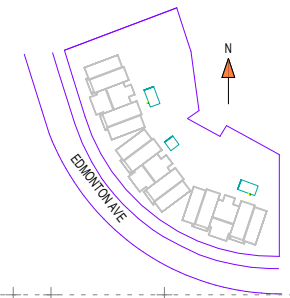
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
DETAILS - ROOF

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

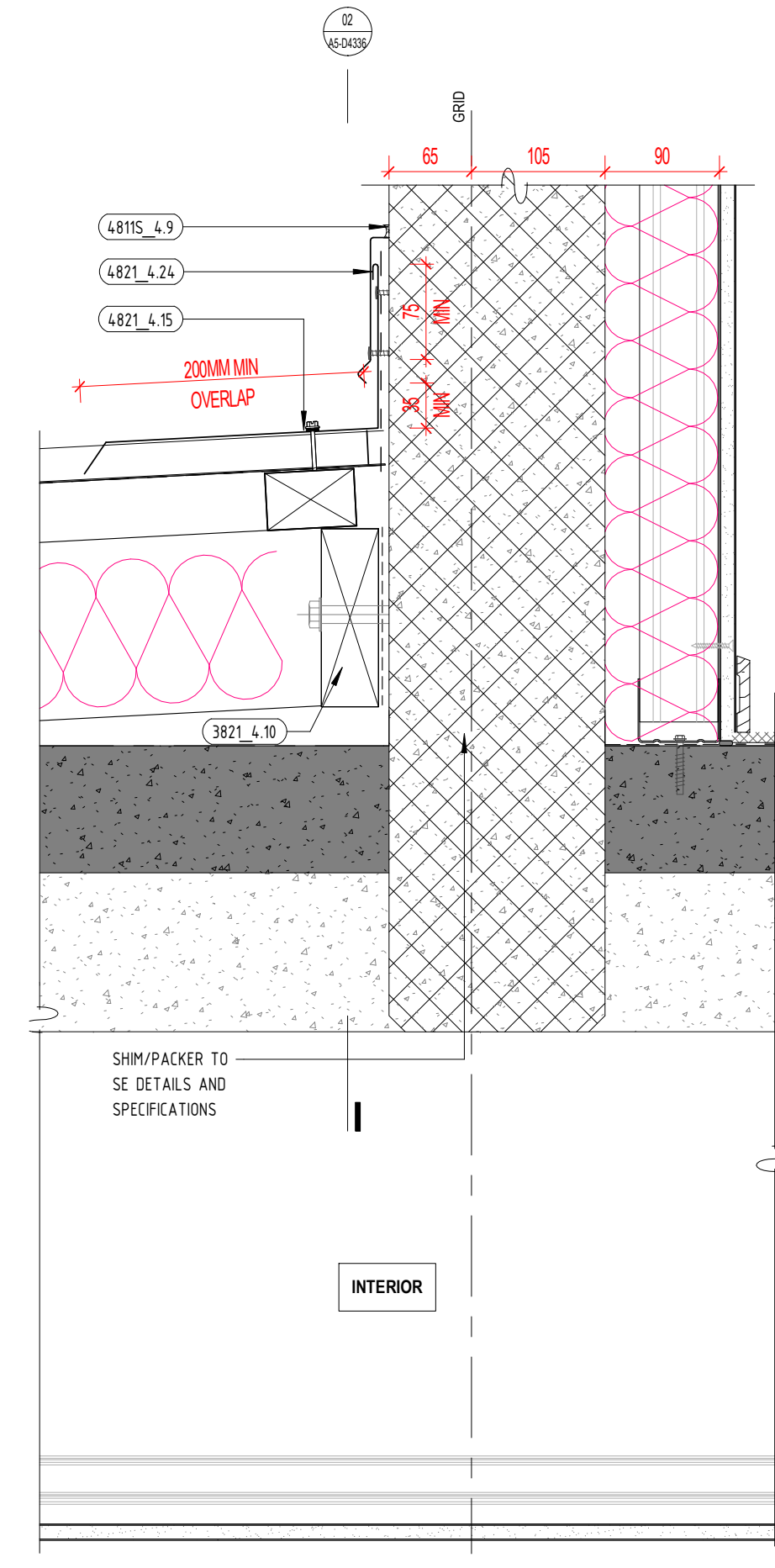
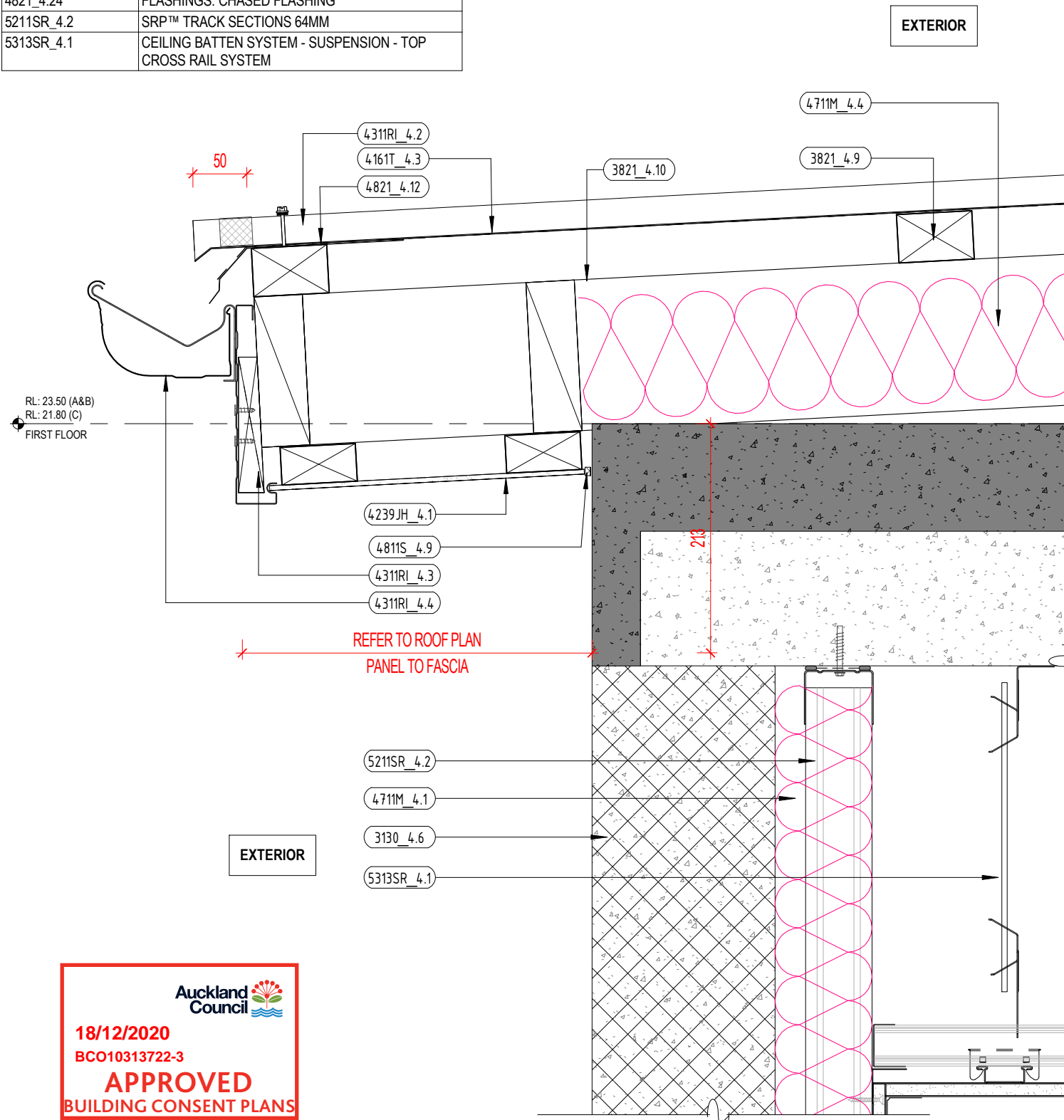
SHEET SCALE
1:5

SHEET SIZE
A3=100%



SHEET NUMBER
A5-D4335

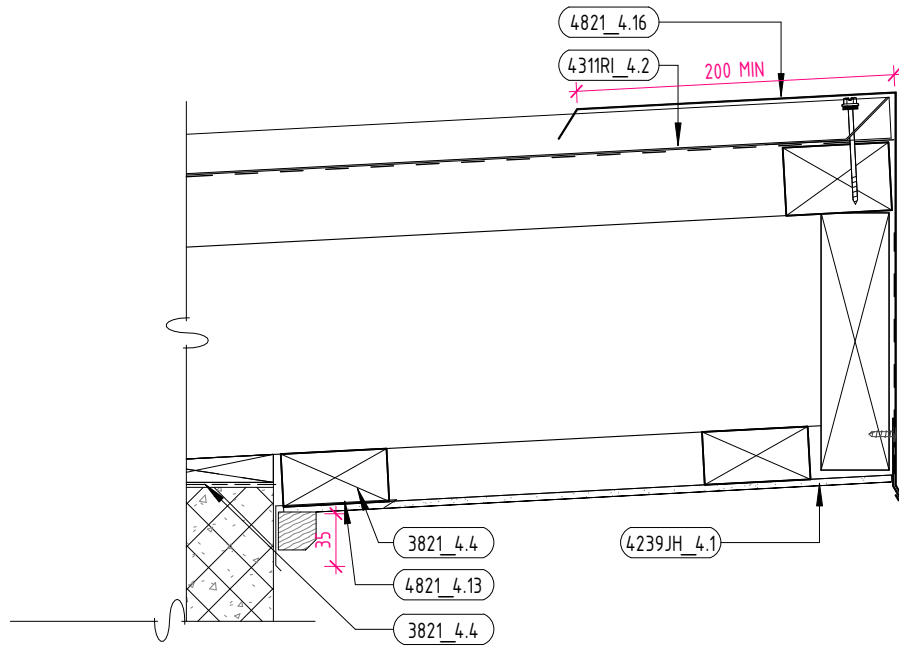
REVISION
1



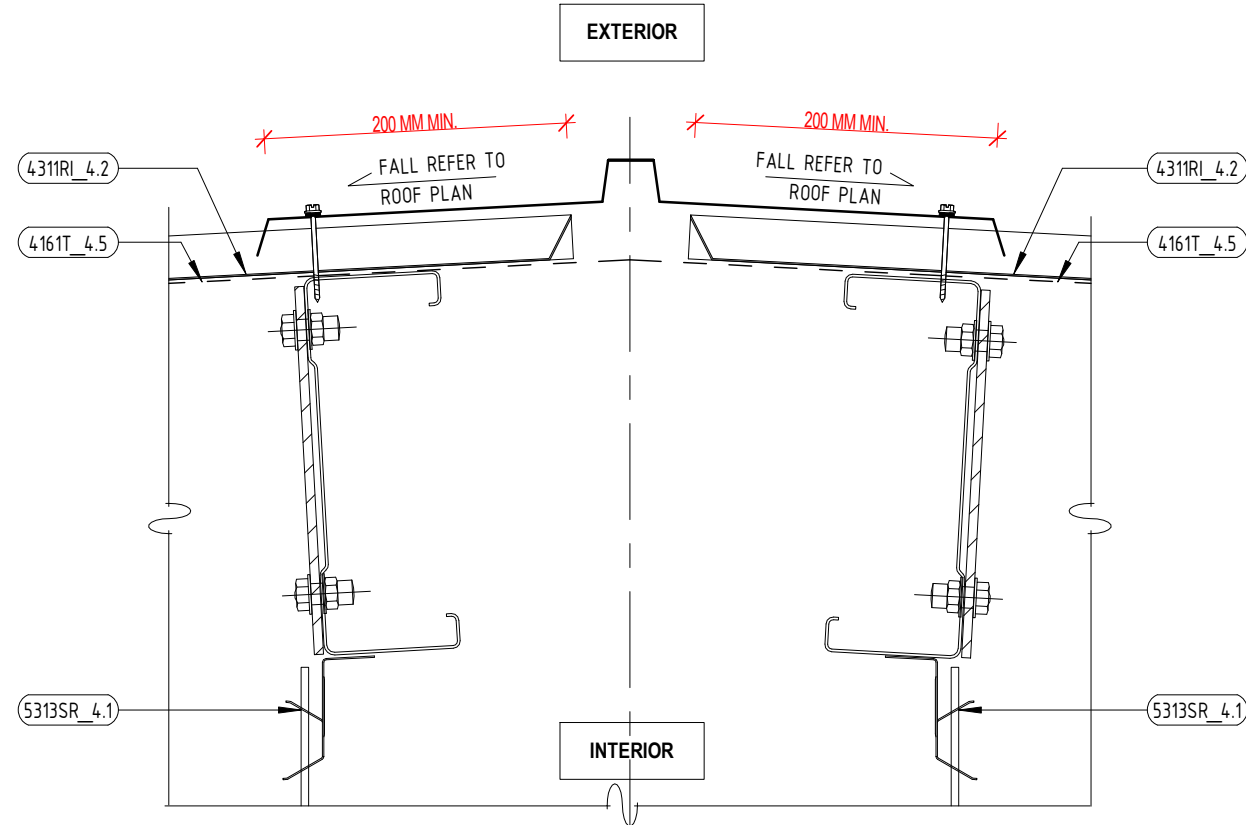
SCALE: 1:5
02 / A5-A4272

GROUND FLOOR KITCHEN EAVE DETAIL **01**

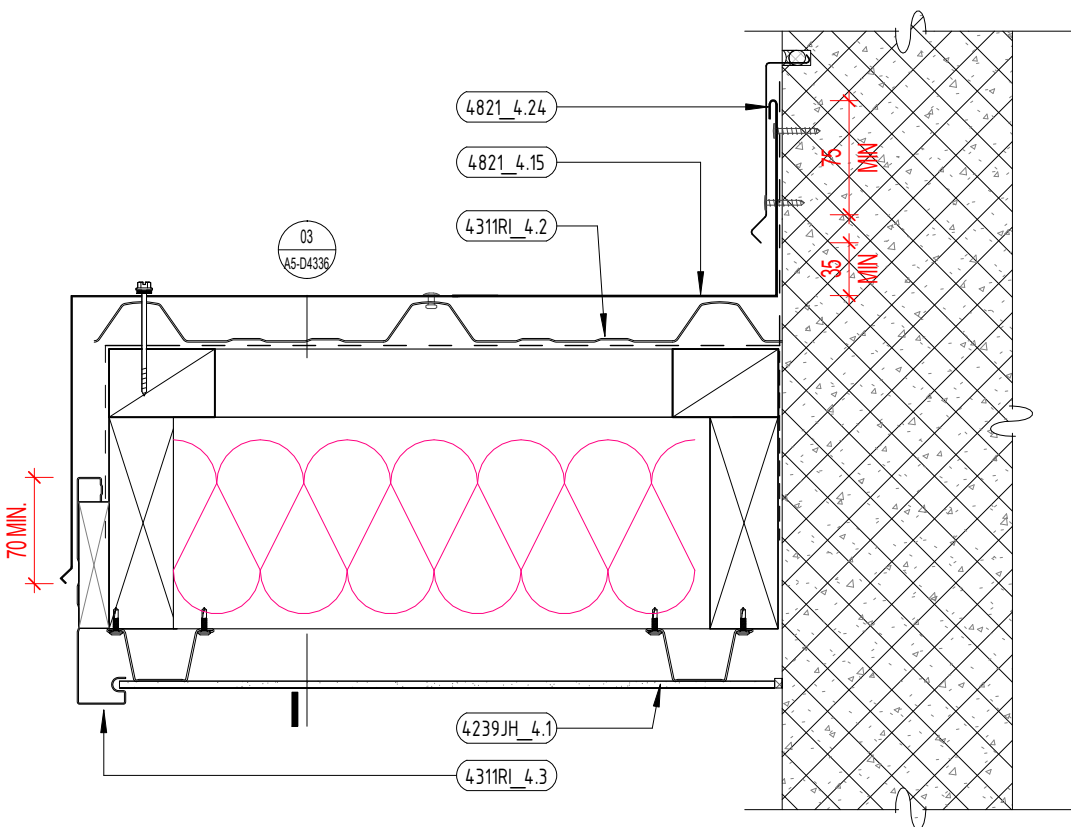
Key Value	Keynote Text
3821_4.4	SOFFIT FRAMING - H3.1
4161T_4.5	THERMAKRAFT™ THERMAFLASH
4239JH_4.1	HARDIEFLEX™ EAVES LINING - 6MM
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4311RI_4.3	MULTIFIT EXTERNAL AND CONCEALED FASCIA
4821_4.13	FLASHINGS: SOFFIT BACKFLASHING
4821_4.15	FLASHINGS: APRON
4821_4.16	FLASHINGS: APEX
4821_4.24	FLASHINGS: CHASED FLASHING
5313SR_4.1	CEILING BATTEN SYSTEM - SUSPENSION - TOP CROSS RAIL SYSTEM



SCALE: 1:5 LOWER ROOF APEX DETAIL 03
02 / A5-D4336



SCALE: 1:5 TYP. ROOF RIDGE DETAIL 02 01
01 / A5-A3043



SCALE: 1:5 LOWER ROOF BARGE DETAIL 04 02
01 / A4-D4335

Young+Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

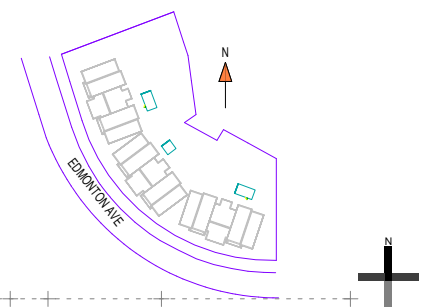
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - ROOF

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:5

SHEET SIZE

A3=100%

PRINT IN COLOUR



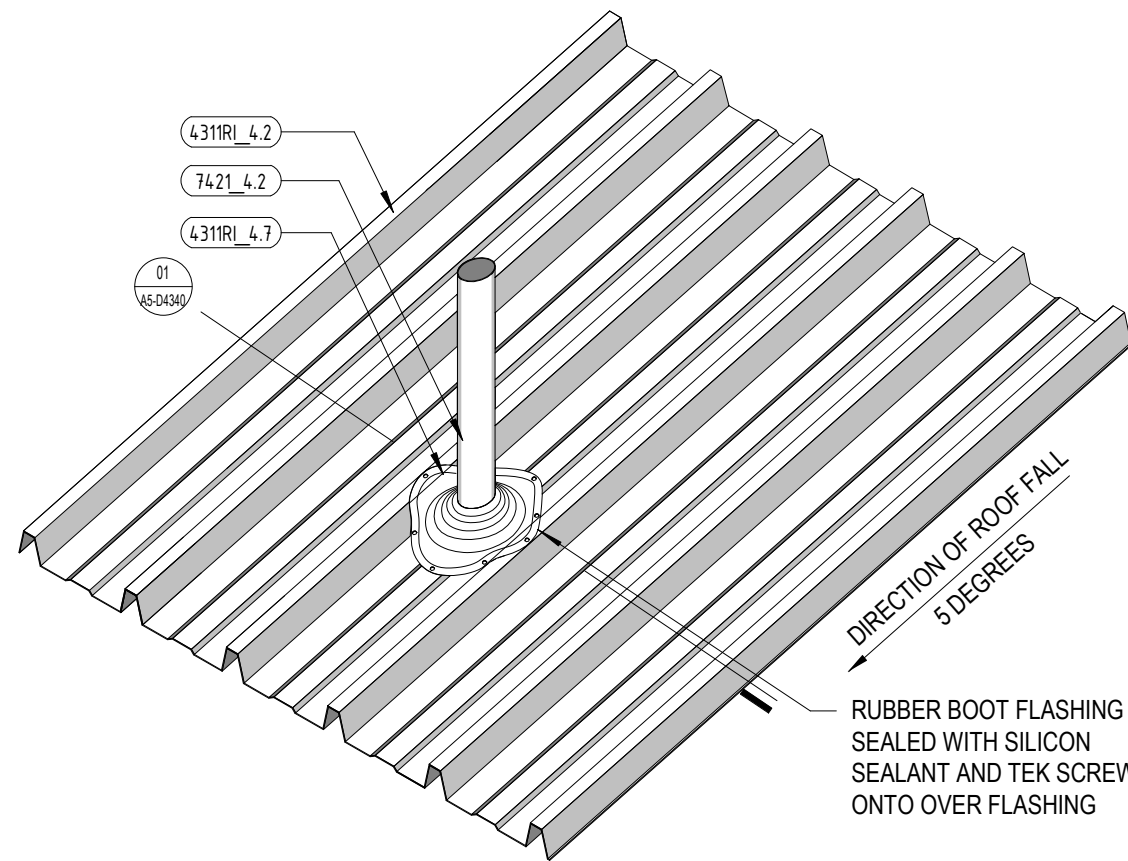
SHEET NUMBER

A5-D4336

REVISION

1

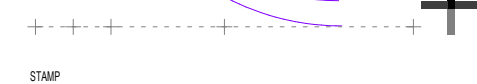
Key Value	Keynote Text
3130_4.6	CONCRETE COLOUR
3821_4.9	INTERIOR ROOF PURLINS - 45X 70MM @900 MAX.
4161T_4.3	COVERTEK 407 ROOFING UNDERLAY
4161T_4.5	THERMAKRAFT™ THERMAFLASH
4239JH_4.1	HARDIEFLEX™ EAVES LINING - 6MM
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4311RI_4.7	DEKTITE PIPE FLASHING
4711_4.1	ROCKWOOL PROROX SL 950SA, DENSITY 80KG/M³
4711M_4.3	MAMMOTH CEILING BLANKET - R3.6 - 225MM THICK
7421_4.2	SANITARY SYSTEMS - PVC-U VENT PIPE
7612HE_4.3	HOMETECH™ CEILING MOUNTED FAN, DUCTED THROUGH EXTERIOR WALL



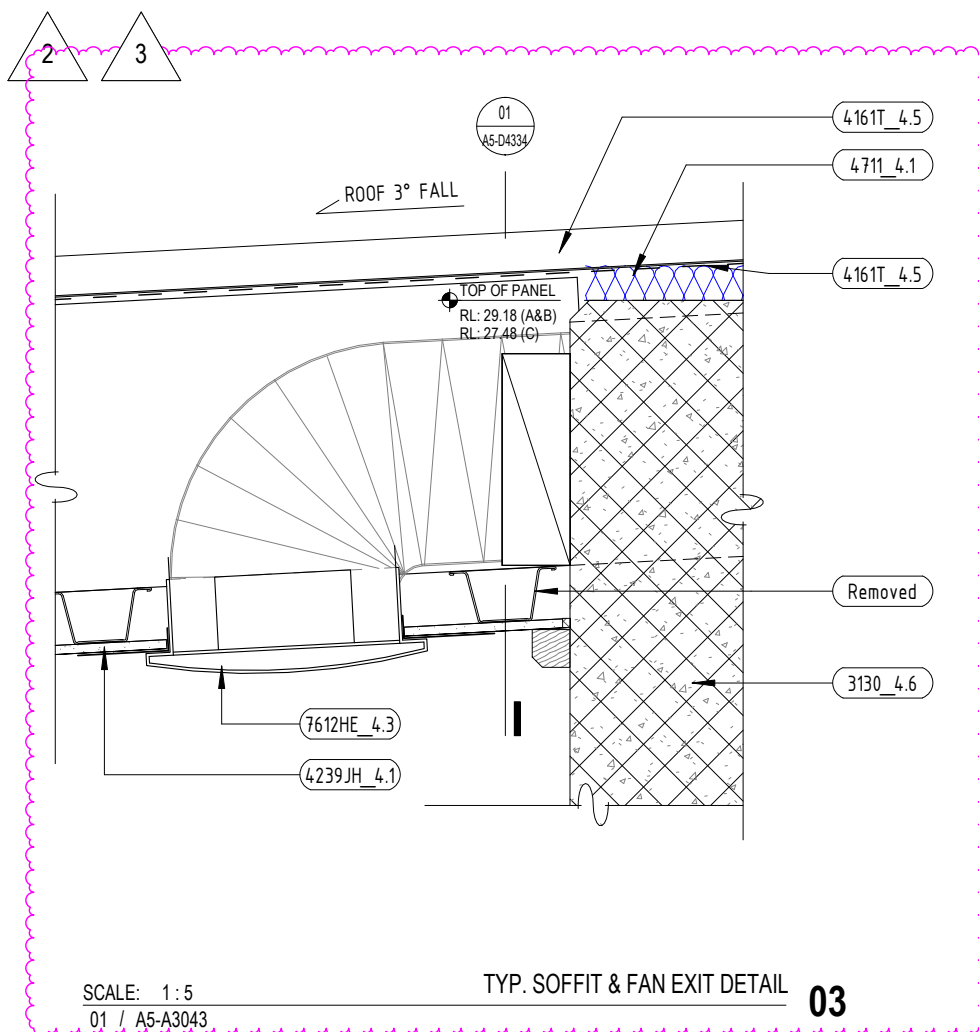
SCALE: 1 : 10
01 / A5-A3043

ROOF PENETRATION DETAIL

02



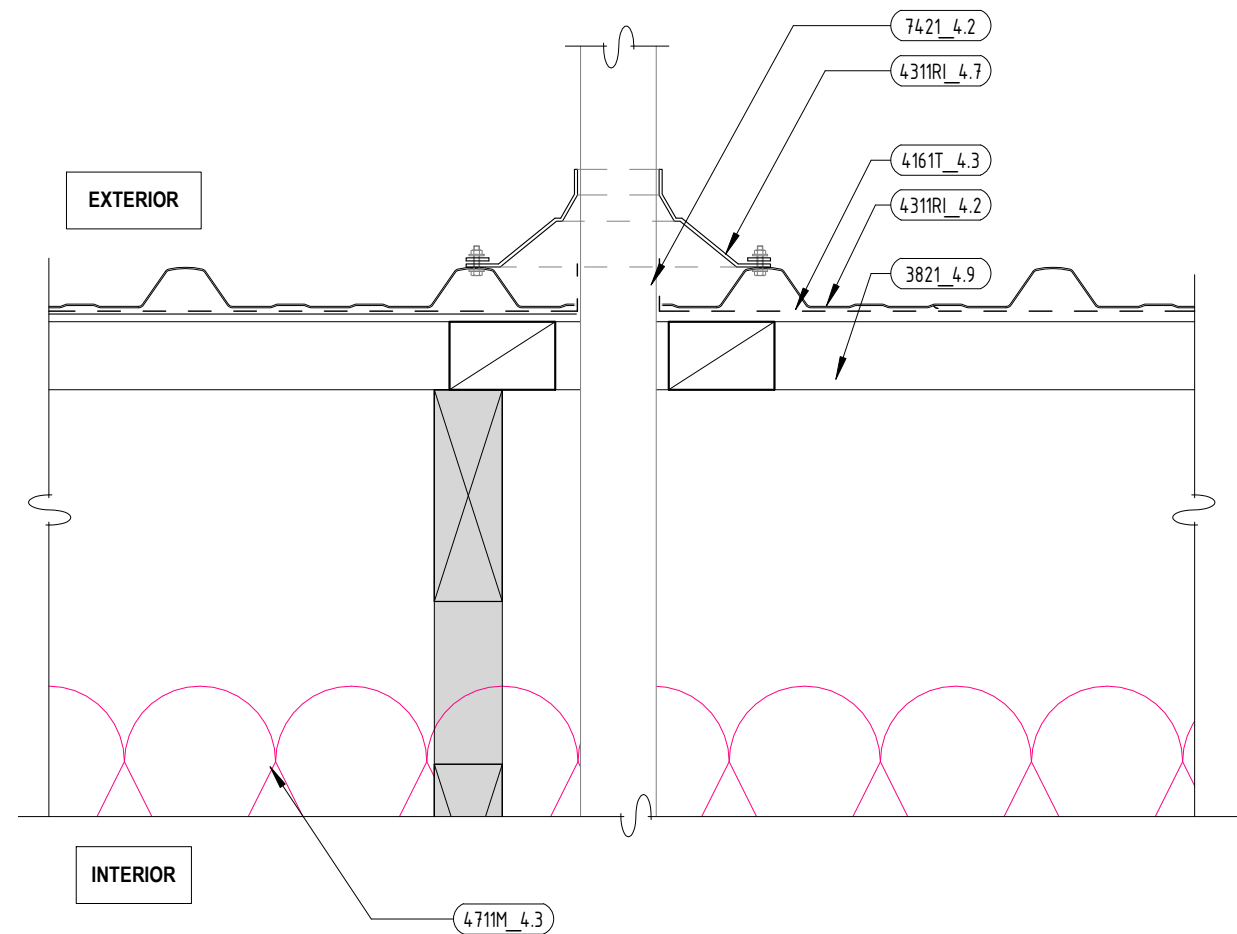
STAMP



SCALE: 1 : 5
01 / A5-A3043

TYP. SOFFIT & FAN EXIT DETAIL

03



SCALE: 1 : 5
02 / A5-D4340

ROOF PENETRATION DETAIL

01

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
DETAILS - ROOF

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE: **As indicated** SHEET SIZE: **A3=100%** PRINT IN COLOUR

SHEET NUMBER: **A5-D4340** REVISION: **3**

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT
DOMINION CONSTRUCTORS LTD

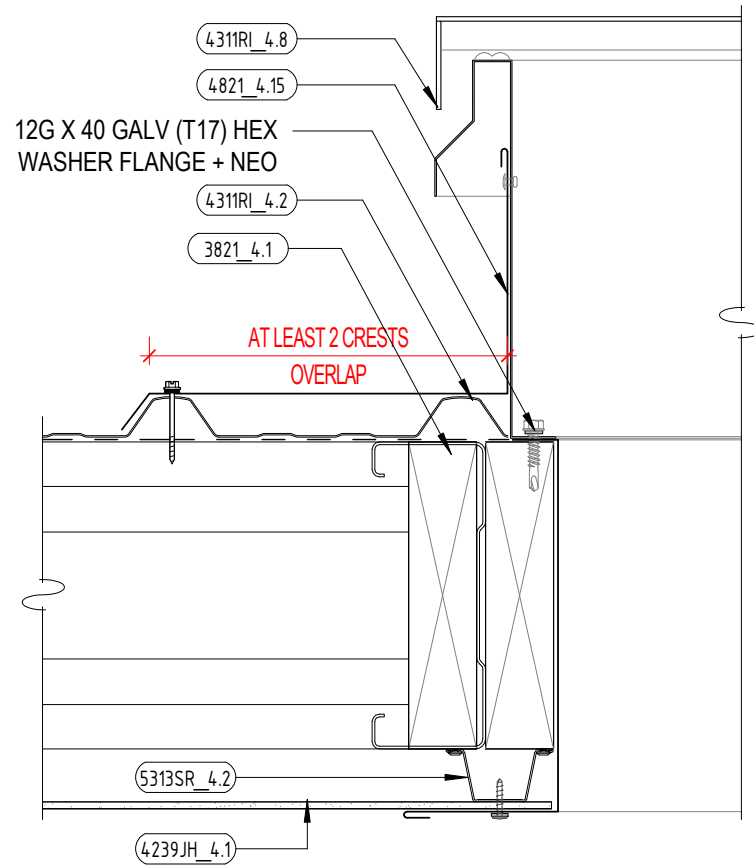
PROJECT NAME
8-18 EDMONTON AVENUE

PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER
200003

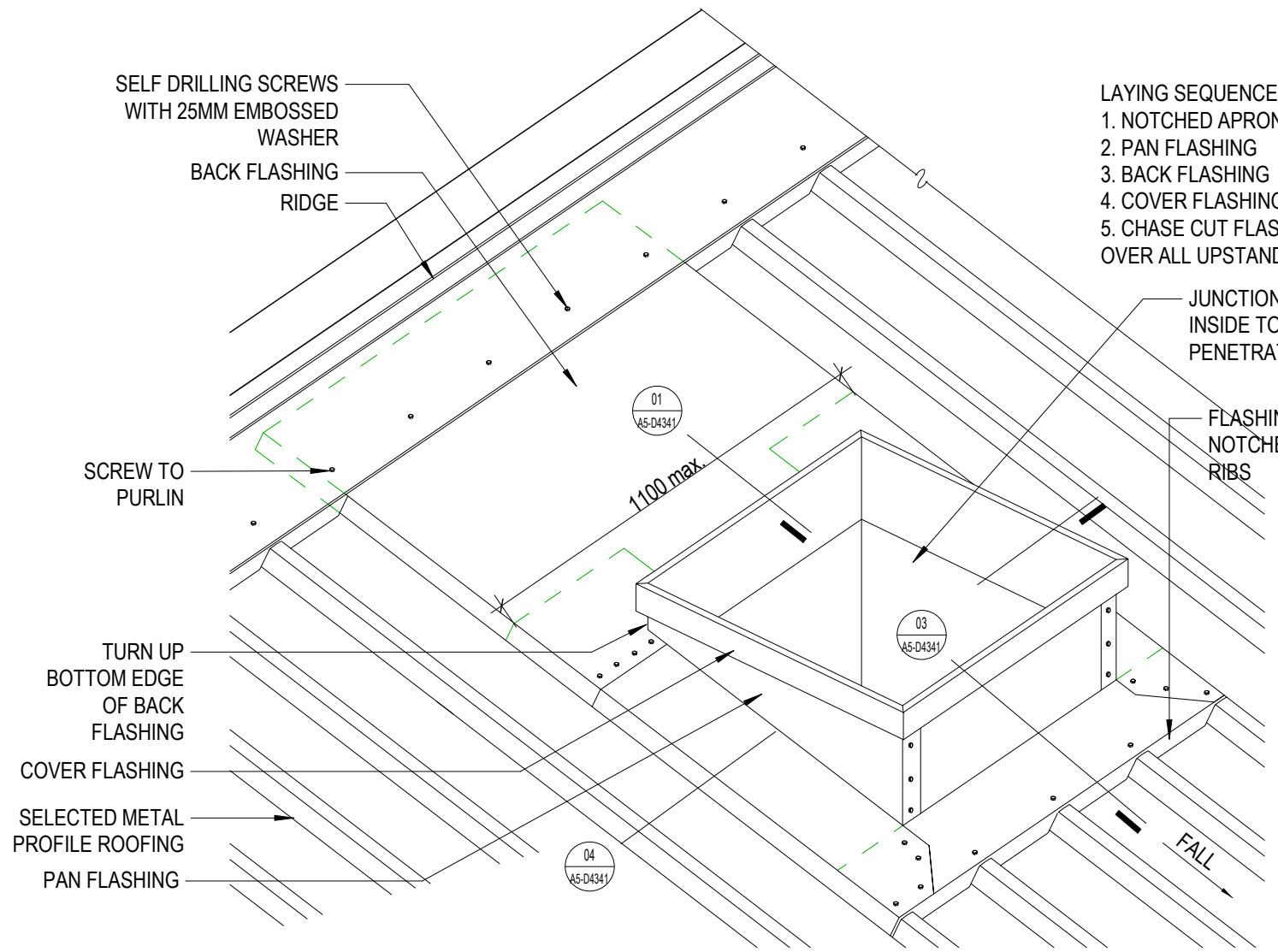
KEY PLAN

Key Value	Keynote Text
3411D_4.1	DIMOND DHS PURLINS
3821_4.1	INTERIOR FRAMING - NOG H1.2
4239JH_4.1	HARDIFLEX™ EAVES LINING - 6MM
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4311RI_4.8	SELLWOOD ROOF ACCESS HATCH - SRH800800
4821_4.15	FLASHINGS: APRON
5313SR_4.2	SRP™ CEILING BATTEN 35MM



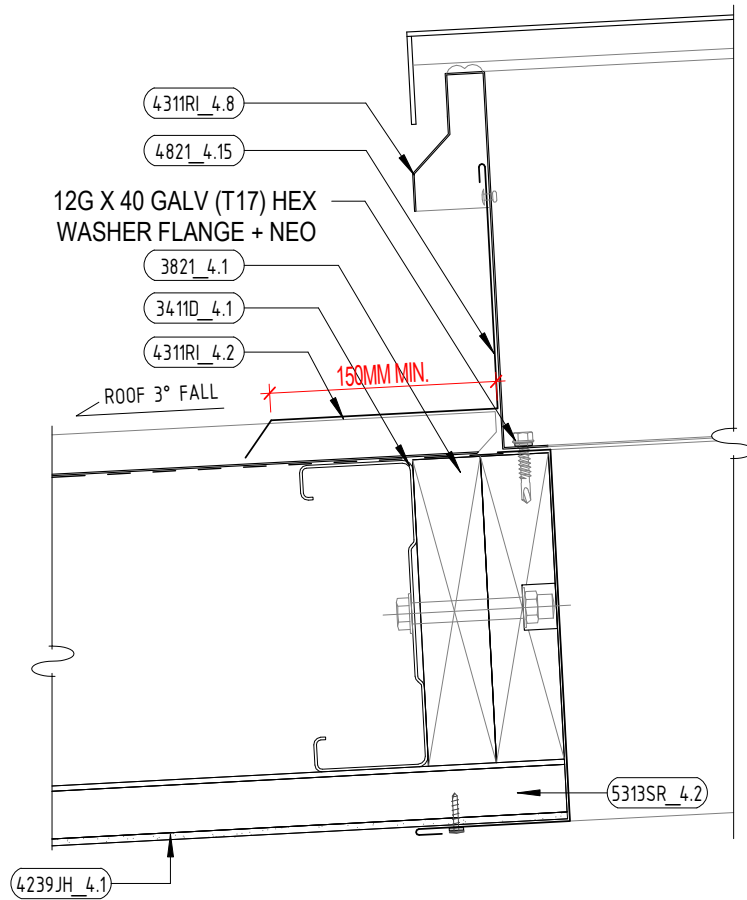
SCALE: 1:5
02 / A5-D4341

ROOF ACCESS HATCH DETAIL 04 **04**



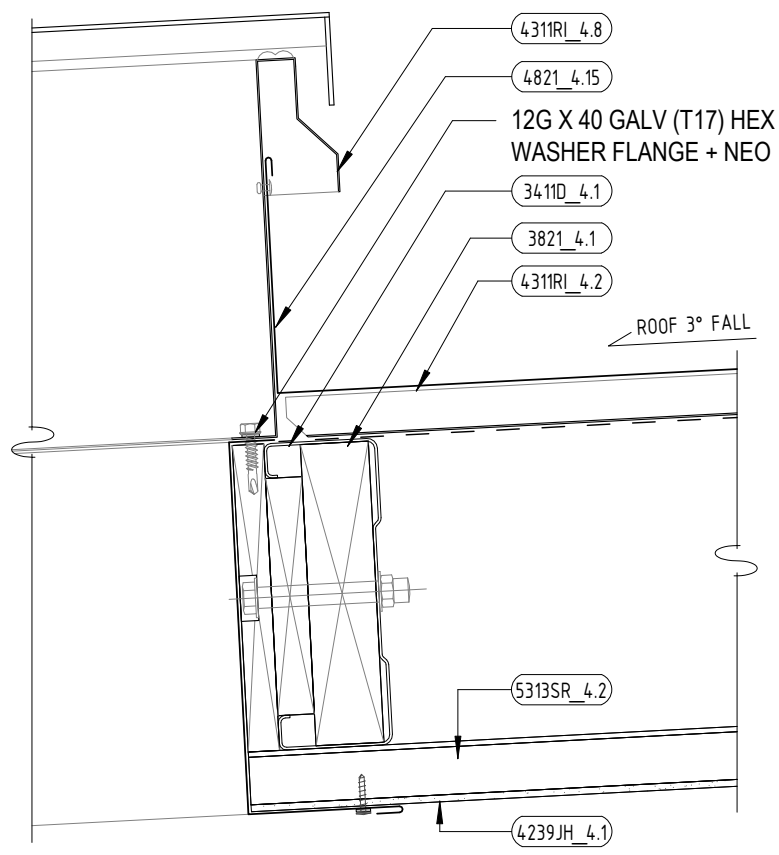
SCALE: 1:10
01 / A5-A3043

ROOF ACCESS HATCH DETAIL 02 **02**



SCALE: 1:5
02 / A5-D4341

ROOF ACCESS HATCH DETAIL 03 **03**



SCALE: 1:5
02 / A5-D4341

ROOF ACCESS HATCH DETAIL 01 **01**



Young+Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



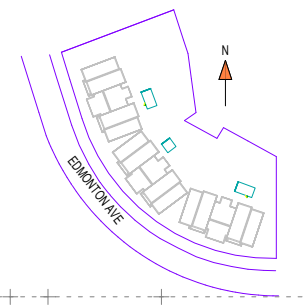
CLIENT
DOMINION CONSTRUCTORS LTD

PROJECT NAME
8-18 EDMONTON AVENUE

PROJECT ADDRESS
**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER
200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
DETAILS - ROOF

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
As indicated

SHEET SIZE
A3=100%

SHEET NUMBER
A5-D4341



Key Value	Keynote Text
3130_4.2	STRUCTURAL PANELS 125MM - REFER TO STRUCTURAL ENGINEERS DRAWINGS
3821_4.1	INTERIOR FRAMING - NOG H1.2
4161T_4.2	THERMATHENE BLACK™ 250UM DPM
4424SG_4.3	SIKA SARNAFIL G410 L
4521FA_4.8	PLASTIC PACKER
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4521FA_4.11	ALUMINIUM ANGLE 30 X 30MM
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4811S_4.8	SIKAHYFLEX®-250 FACADE- WEATHER AND AIR SEAL
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5151_4.1	INTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM
5151_4.5	INTERNAL TIMBER TRIM: HEAD LINER
5151_4.7	INTERNAL TIMBER TRIM: JAMB LINER
5211SR_4.7	SRP EXTENDED STRAPPING BRACKET
5211SR_4.9	THERMAL BREAKER 10MM, THERMAX B
5211SR_4.10	SRP ADJ CLIP/WALL BRACKET WITH 16MM FURRING CHANNEL
5211SR_4.12	25MM XPS STRIP FOAM-KNAUF CLIMAFOAM POLYSTYRENE INSULATION
6511_4.1	UNDERLAY: DUNLOP - 8MM
6511_4.2	CARPET : GODFREY HIRST - 3MM
7451AE	ALLPROOF EXTERIOR SURFACE DRAINAGE SOLUTIONS



CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

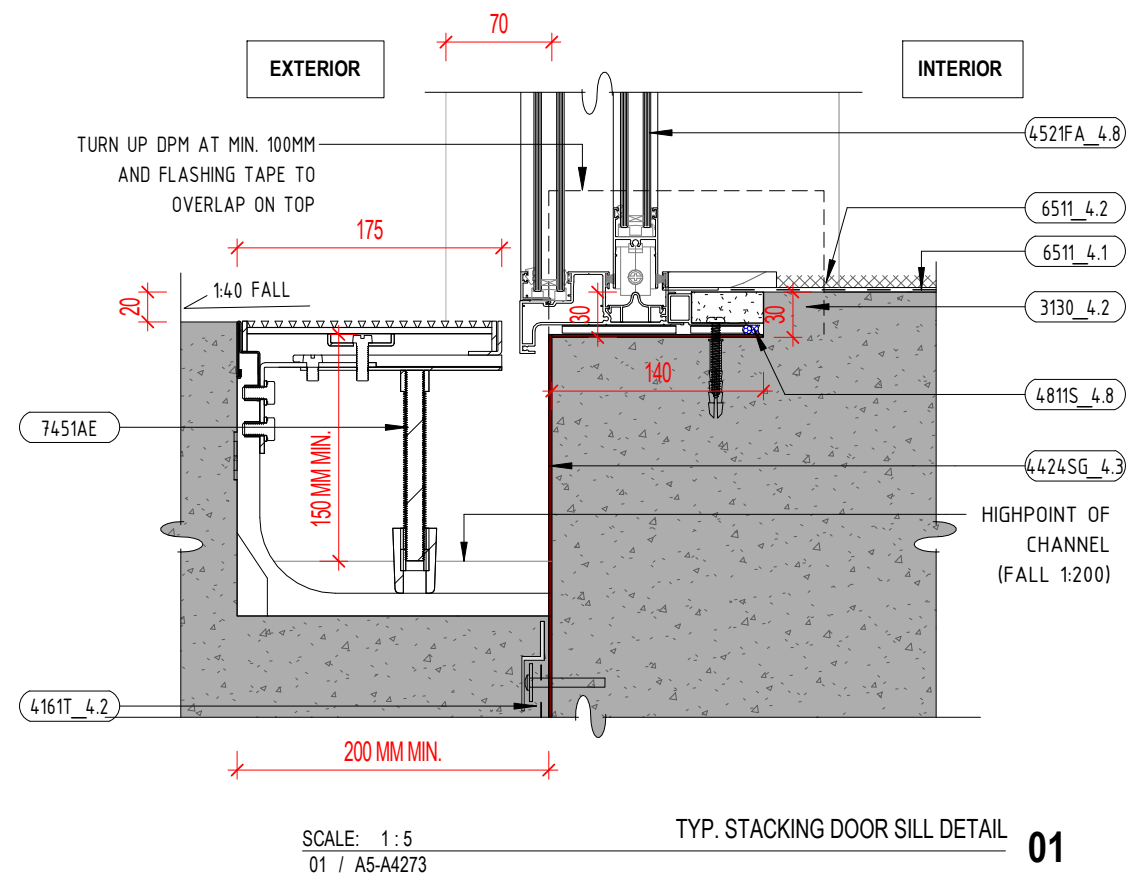
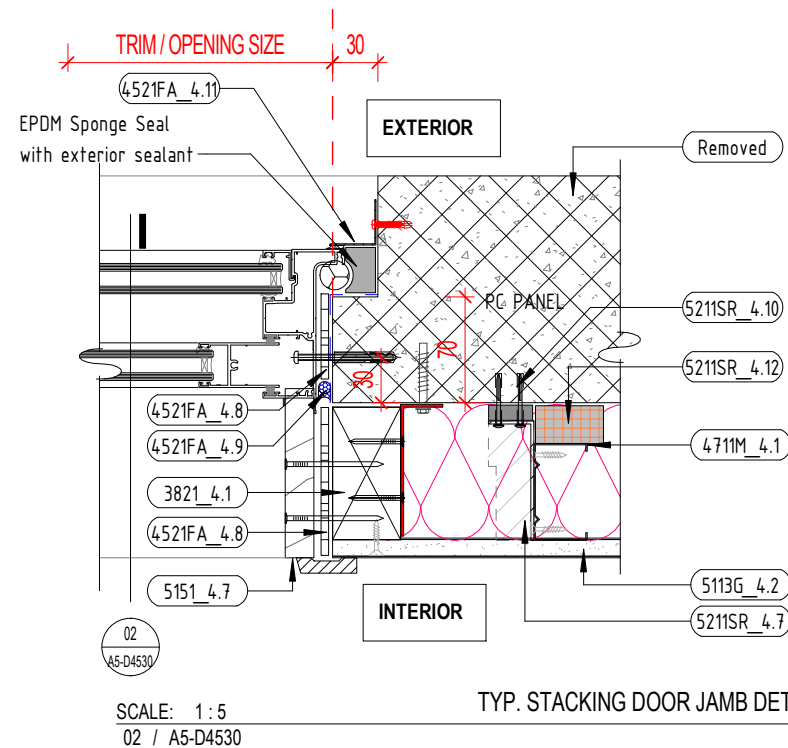
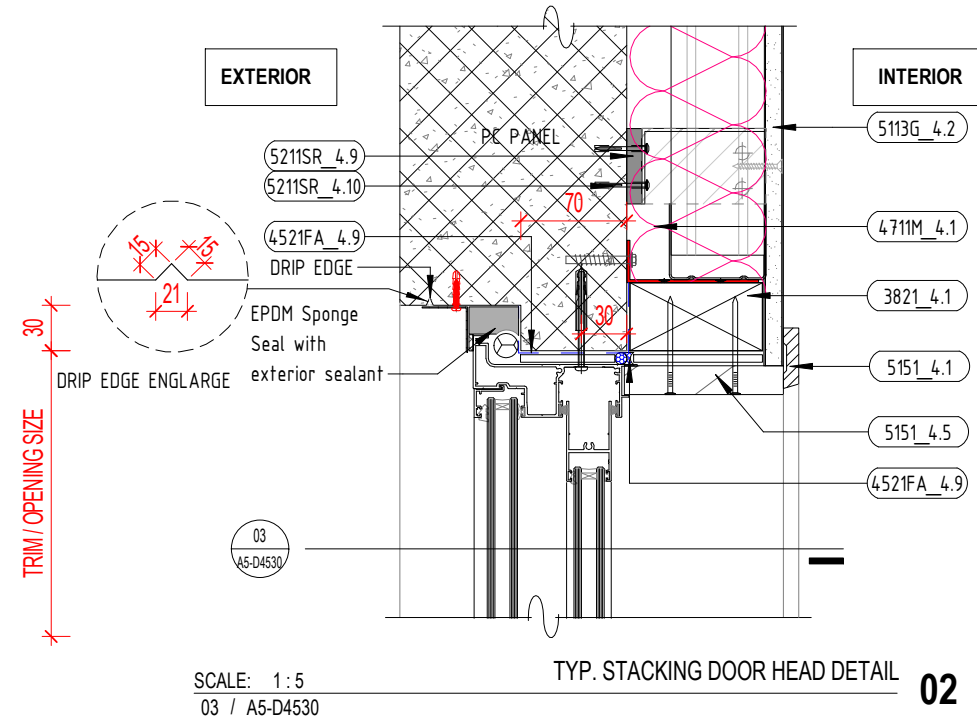
PROJECT NUMBER

200003

KEY PLAN



STAMP



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
• ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
• BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
• FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
• FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
• THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
• THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
• DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - EXTERIOR DOORS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:5

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

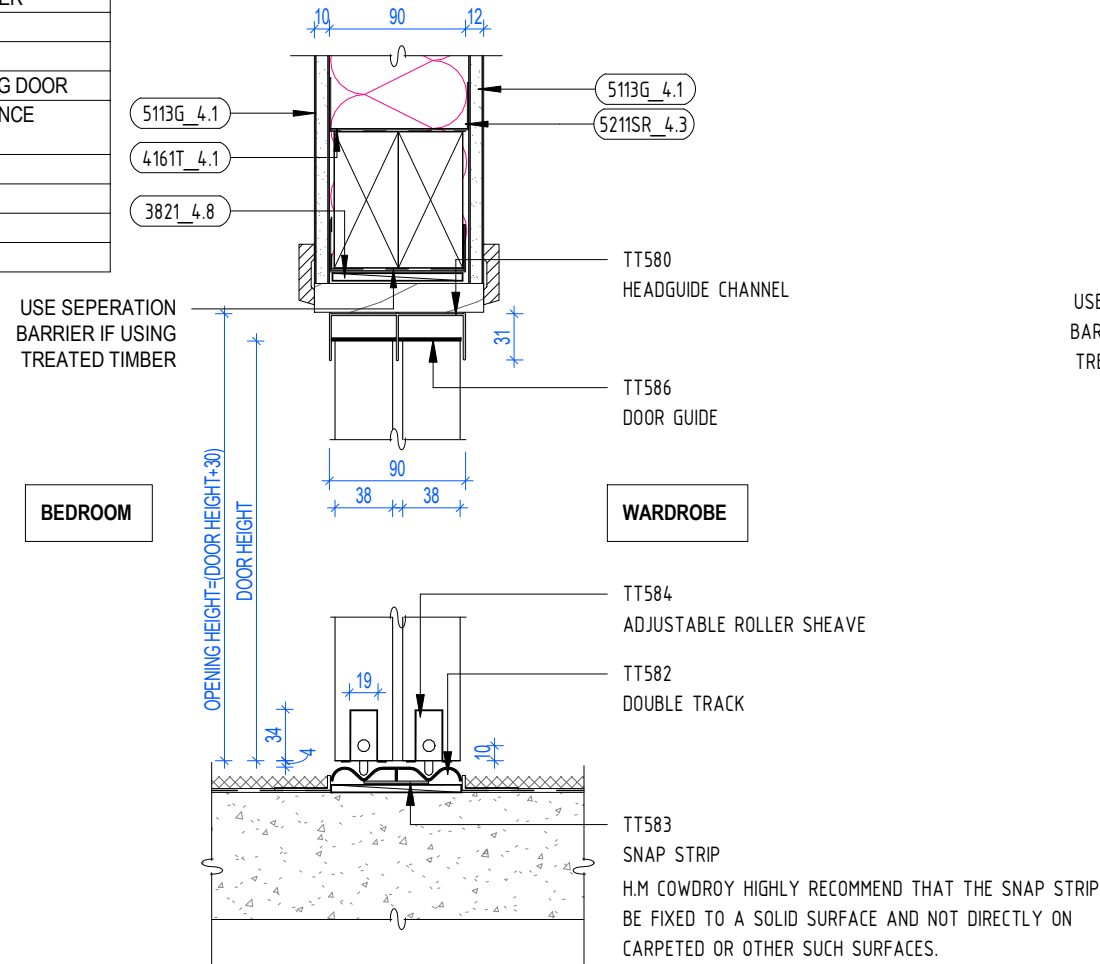
A5-D4530

REVISION

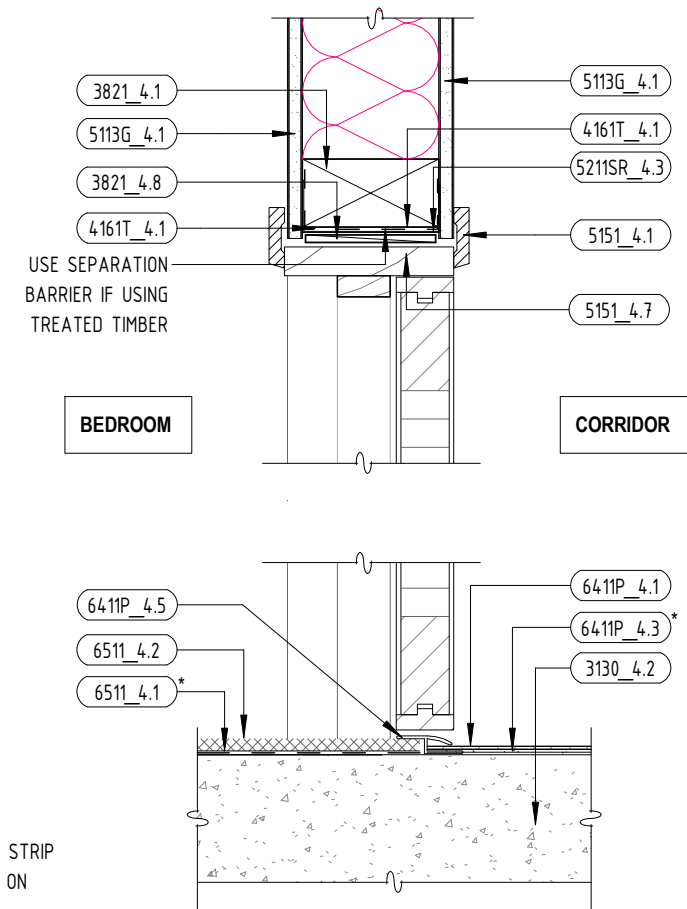
1



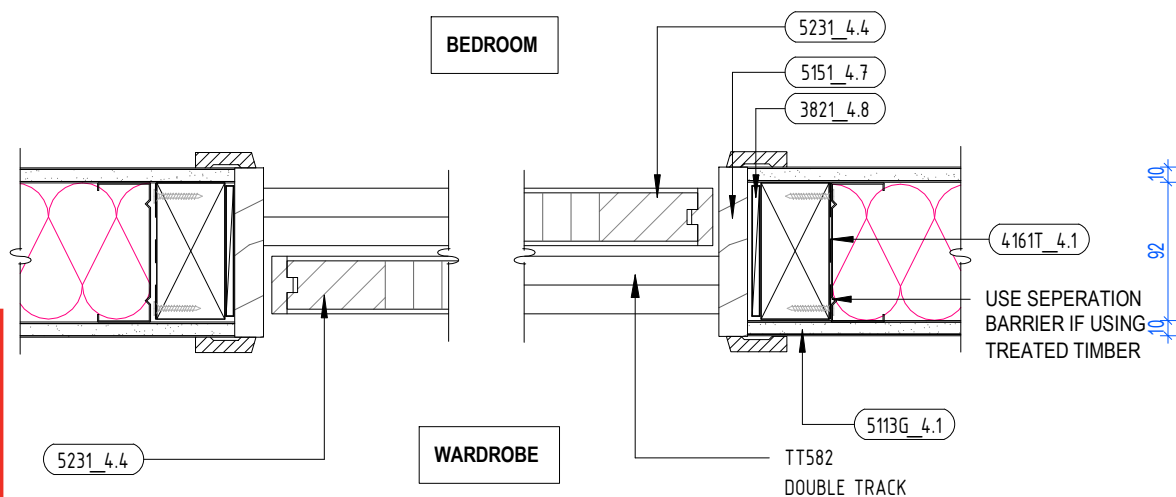
Key Value	Keynote Text
3130_4.2	STRUCTURAL PANELS 125MM - REFER TO STRUCTURAL ENGINEERS DRAWINGS
3821_4.1	INTERIOR FRAMING - NOG H1.2
3821_4.8	INTERIOR FRAMING PACKERS - H1.2
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
5113G_4.1	GIB® STANDARD SYSTEMS WALLS
5151_4.1	INTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM
5151_4.7	INTERNAL TIMBER TRIM: JAMB LINER
5211SR_4.3	SRP™ TRACK SECTIONS 92MM
5231_4.4	STANDARD DOORS
5231_4.5	STANDARD DOORSETS, SIDE HUNG DOOR
6411P_4.1	TEST FOR MINIMUM SLIP RESISTANCE REQUIREMENTS
6411P_4.3	POLYFLOR VINYL ACOUSTIFOAM
6411P_4.5	TRIMS AND EDGING
6511_4.1	UNDERLAY: DUNLOP - 8MM
6511_4.2	CARPET : GODFREY HIRST - 3MM



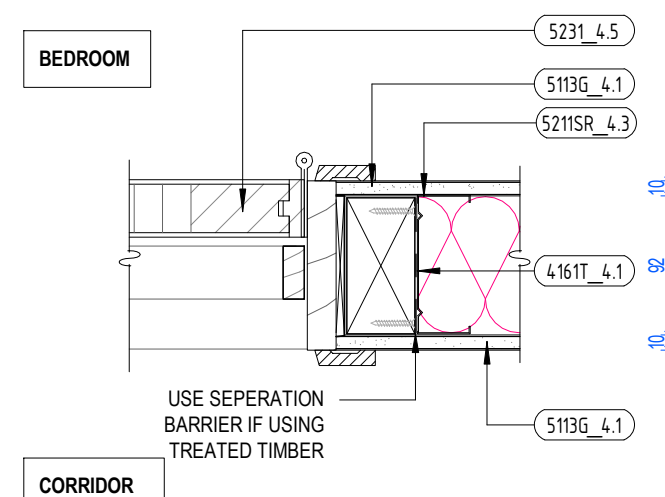
SCALE: 1:5 TYP. INTERNAL SLIDING DOOR - HEAD/SILL DETAIL **04**



SCALE: 1:5 TYP. INTERNAL TIMBER DOOR HEAD/SILL DETAIL **02**

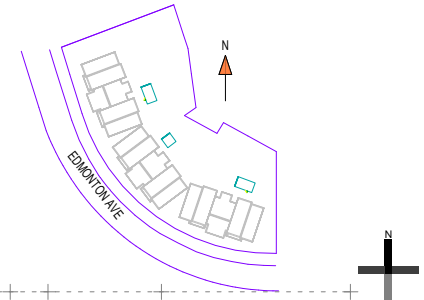


SCALE: 1:5 TYP. INTERNAL SLIDING DOOR - JAMB DETAIL **03**



SCALE: 1:5 TYP. INTERNAL TIMBER DOOR - JAMB DETAIL **01**

CLIENT
DOMINION CONSTRUCTORS LTD
PROJECT NAME
8-18 EDMONTON AVENUE
PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061
PROJECT NUMBER
200003
KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
• ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
• BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
• FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
• FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
• THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
• THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
• DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
DETAILS - INTERIOR DOORS

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1:5

SHEET SIZE
A3=100%

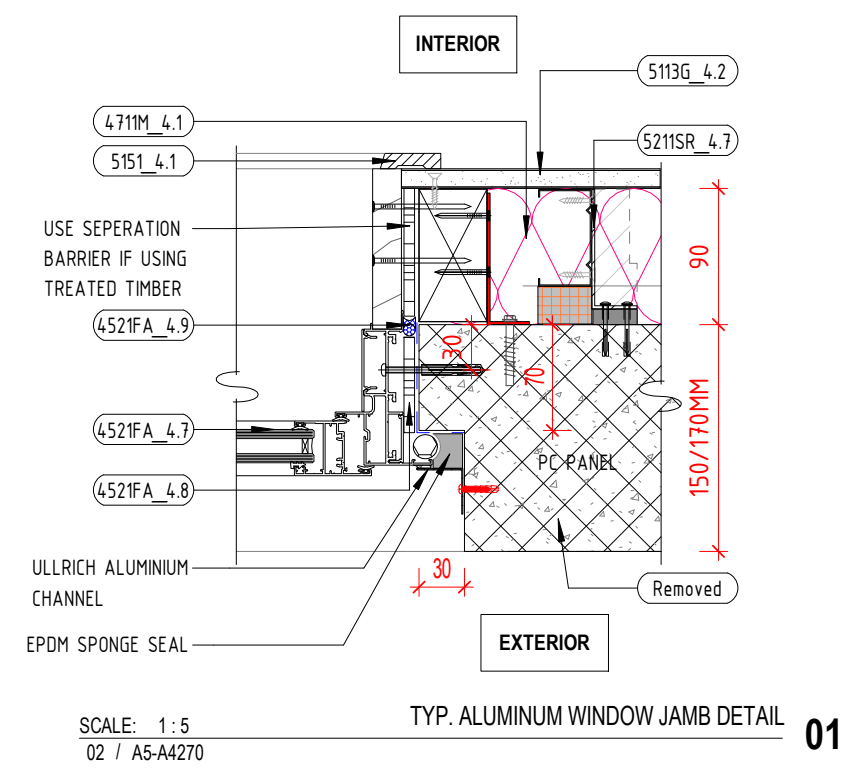
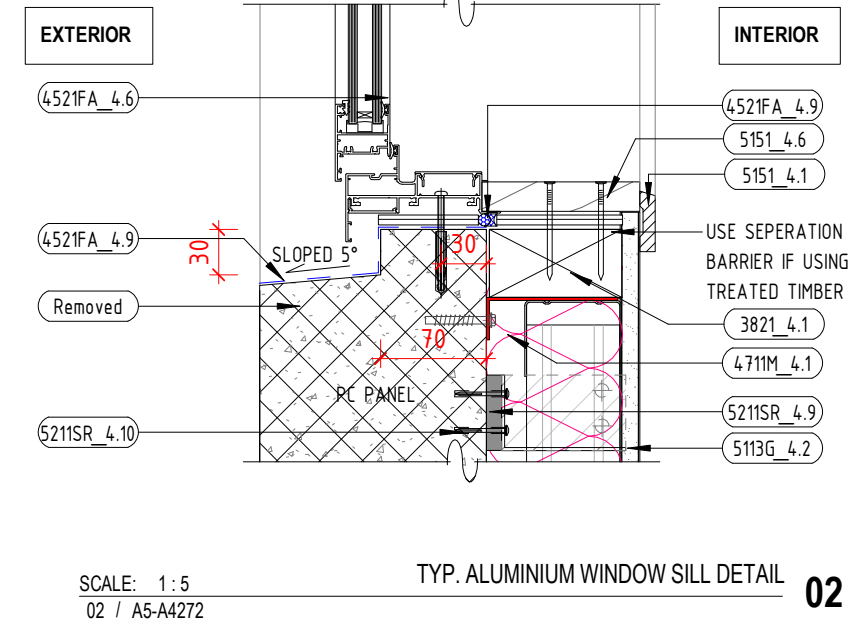
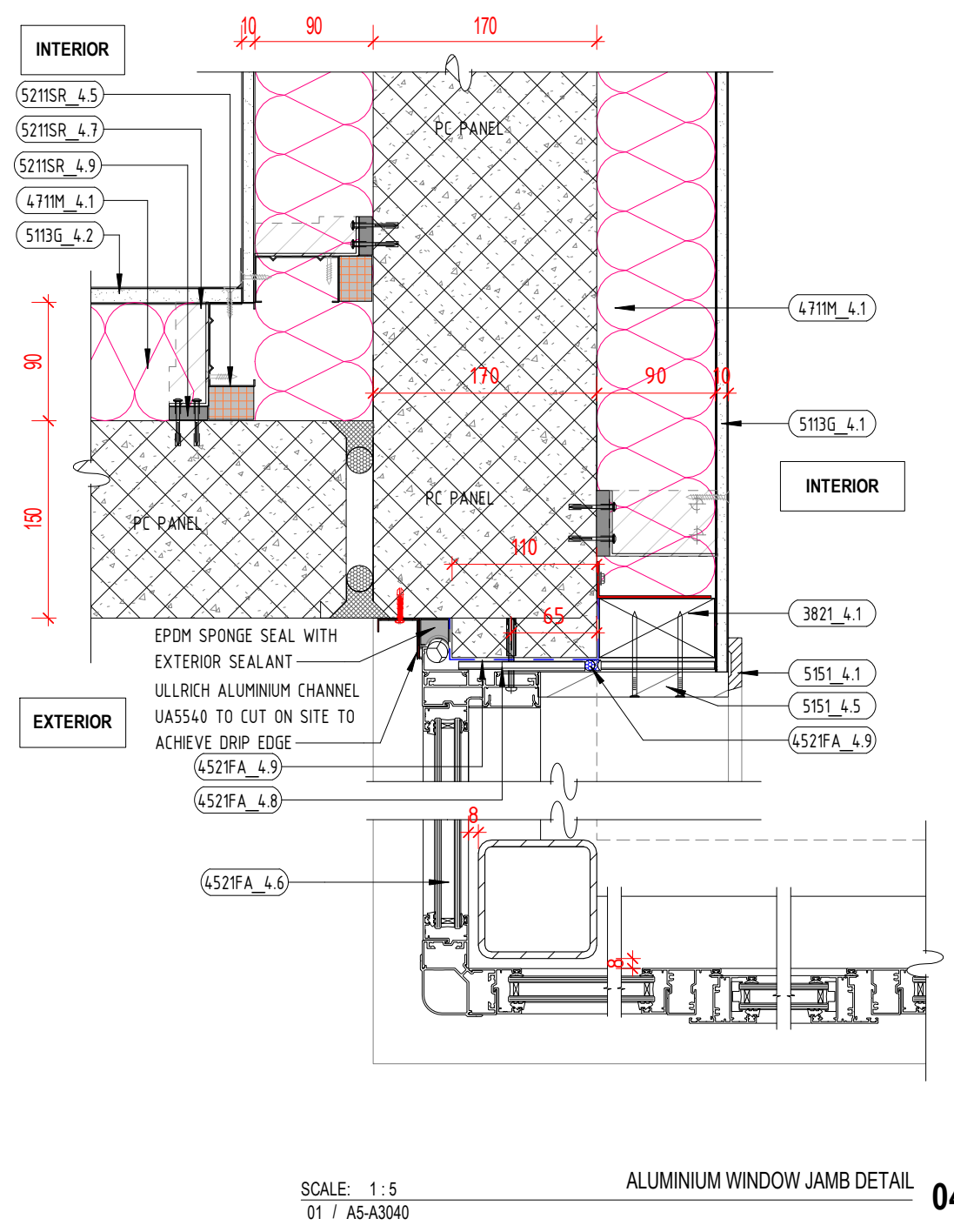
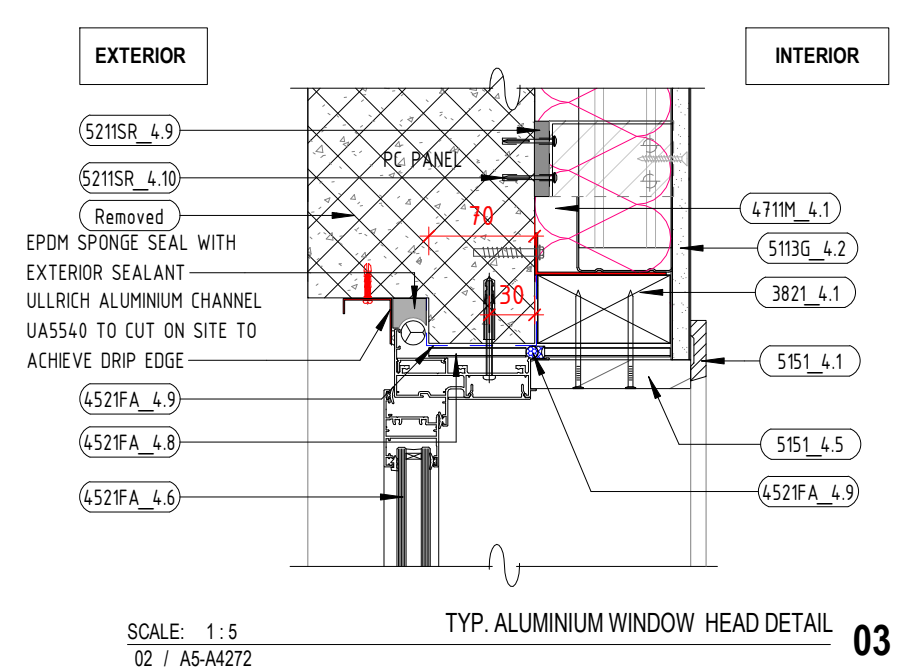
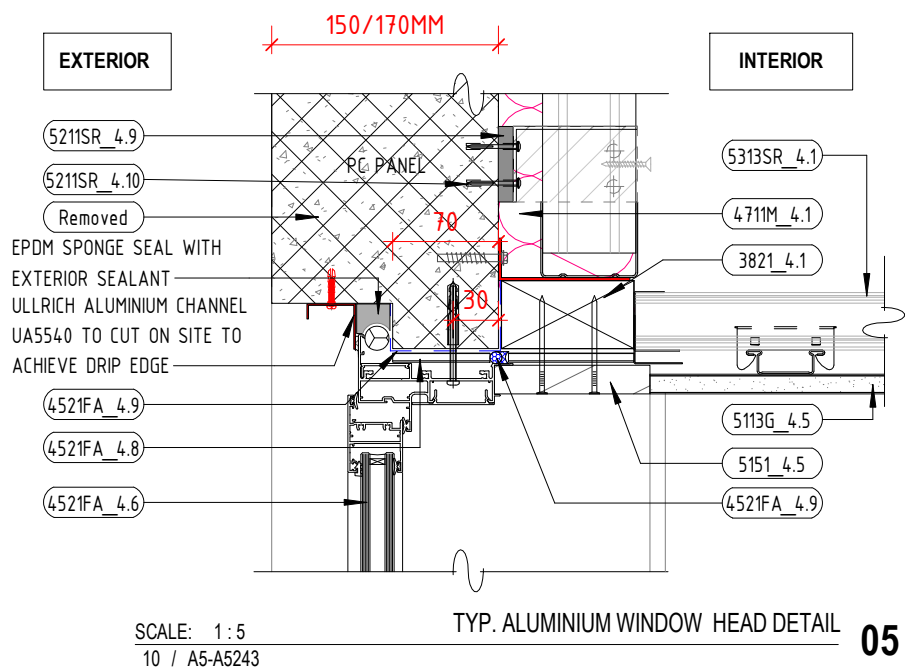


SHEET NUMBER
A5-D4531

REVISION
1



Key Value	Keynote Text
3821_4.1	INTERIOR FRAMING - NOG H1.2
4521FA_4.6	FAIRVIEW ARCHITECTURAL CUBIC AC35 SERIES WINDOW
4521FA_4.7	FAIRVIEW ARCHITECTURAL CUBIC AC35 SERIES - EXTERNAL STACKING DOOR, 35MM PLATFORM
4521FA_4.8	PLASTIC PACKER
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
5113G_4.1	GIB@ STANDARD SYSTEMS WALLS
5113G_4.2	GIB@ STANDARD SYSTEMS WALLS
5113G_4.5	GIB@ STANDARD SYSTEMS CEILINGS
5151_4.1	INTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM
5151_4.5	INTERNAL TIMBER TRIM: HEAD LINER
5151_4.6	INTERNAL TIMBER TRIM: SILL LINER
5211SR_4.5	SRP™ STUD SECTIONS 64MM, CRS 600MM MAX.
5211SR_4.7	SRP EXTENDED STRAPPING BRACKET
5211SR_4.9	THERMAL BREAKER 10MM, THERMAX B
5211SR_4.10	SRP ADJ CLIP/WALL BRACKET WITH 16MM FURRING CHANNEL
5313SR_4.1	CEILING BATTEN SYSTEM - SUSPENSION - TOP CROSS RAIL SYSTEM



Young+Richards+

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

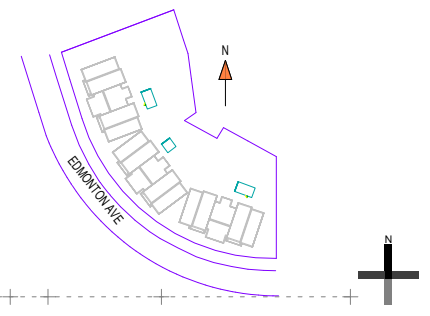
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - EXTERIOR WINDOWS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:5

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

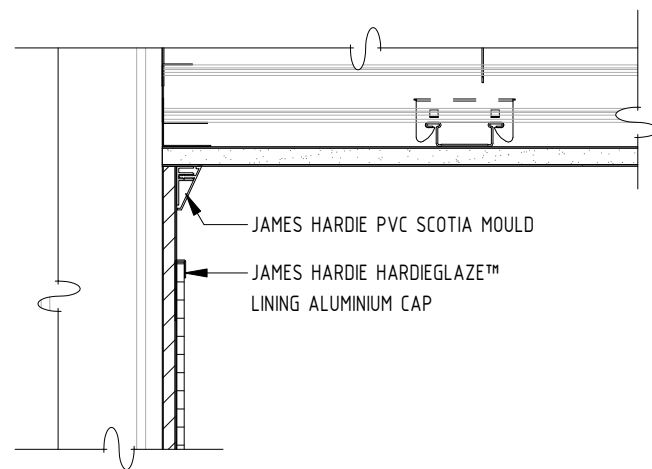
A5-D4540

REVISION

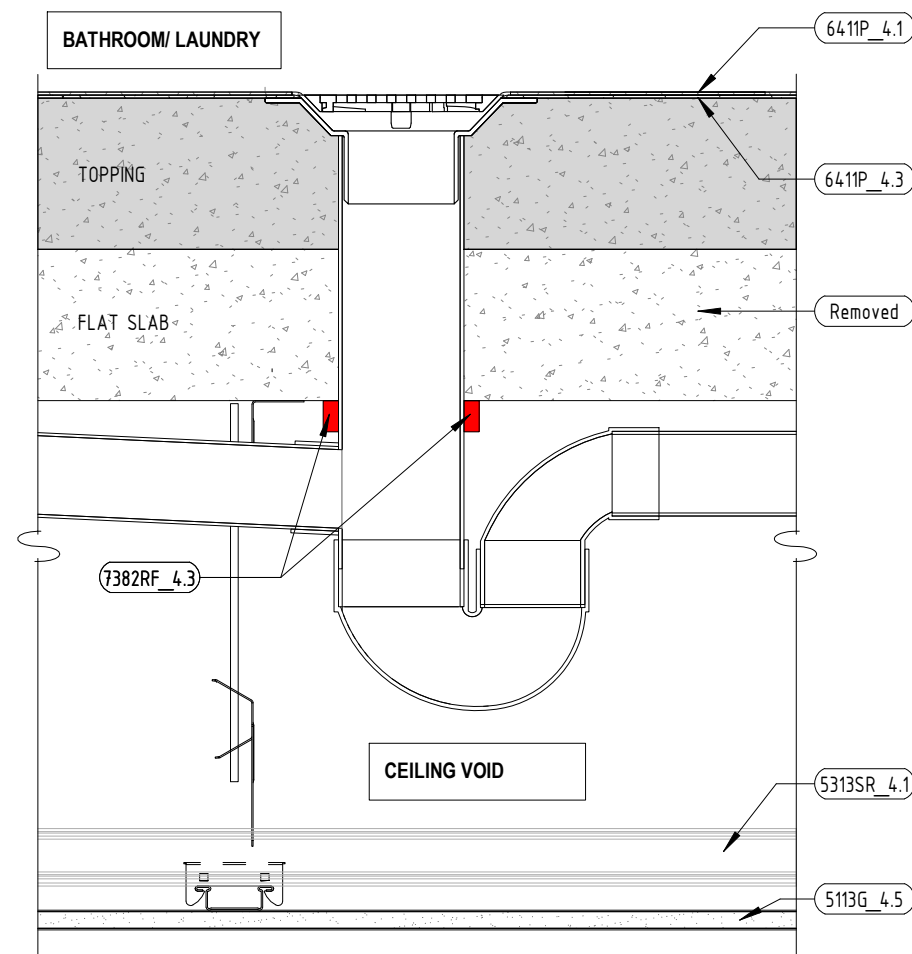
1



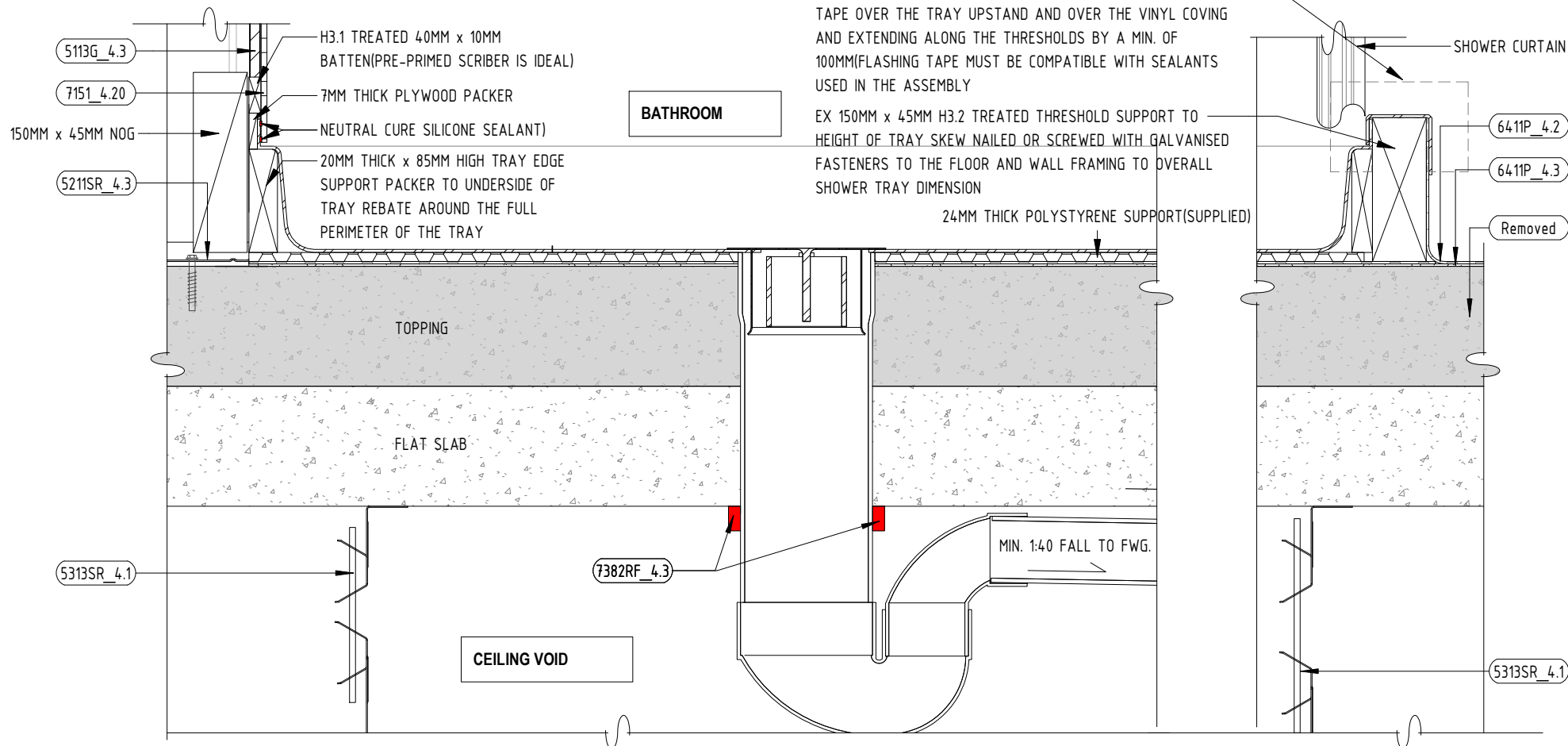
Key Value	Keynote Text
5113G_4.3	GIB® WATER RESISTANT SYSTEMS WALLS
5113G_4.5	GIB® STANDARD SYSTEMS CEILINGS
5211SR_4.3	SRP™ TRACK SECTIONS 92MM
5313SR_4.1	CEILING BATTEN SYSTEM - SUSPENSION - TOP CROSS RAIL SYSTEM
6411P_4.1	TEST FOR MINIMUM SLIP RESISTANCE REQUIREMENTS
6411P_4.2	POLYFLOR VINYL FLOORING - XL PUR/FOREST FX PUR
6411P_4.3	POLYFLOR VINYL ACOUSTIFOAM
7151_4.20	ACRYLIC SHOWER LINER
7382RF_4.3	FIRE THERM INTUCOLLAR FIRE COLLAR



SCALE: 1:5
02 / A5-A5242
TYP. BATHROOM CEILING DETAIL 03



SCALE: 1:5
06 / A5-A5242
TYP. FLOOR WASTE GULLY OVER 02



SCALE: 1:5
06 / A5-A5243
TYP. SHOWER TRAY OVER CONCRETE DETAIL 01



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

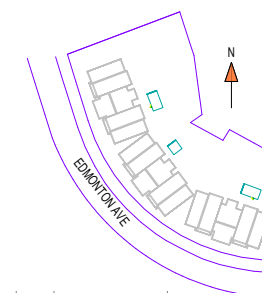
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - INTERIOR WATERPROOFING

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:5

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-D5430

REVISION

1



Key Value	Keynote Text
2242_4.2	GRANULAR FILL MATERIAL – SPECIFIC DESIGN - 150MM
2242_4.3	BLINDING LAYER – SPECIFIC DESIGN - 25MM
3821_4.13	17MM H3.2 PLYWOOD BEHIND LINING FOR FIXTURE FIXING
4161T_4.2	THERMATHENE BLACK™ 250UM DPM
4811_4.7	SANITARY FIXTURES SEALANT
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
6411P_4.3	POLYFLOR VINYL ACOUSTIFOAM
7151_4.20	ACRYLIC SHOWER LINER
7421_4.1	SANITARY SYSTEMS - PVC-U WASTE PIPES AND TRAPS



CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

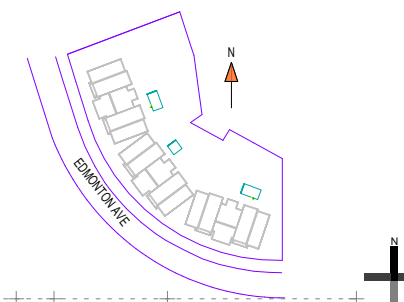
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - INTERIOR WATERPROOFING

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 5

SHEET SIZE

A3=100%

PRINT IN COLOUR

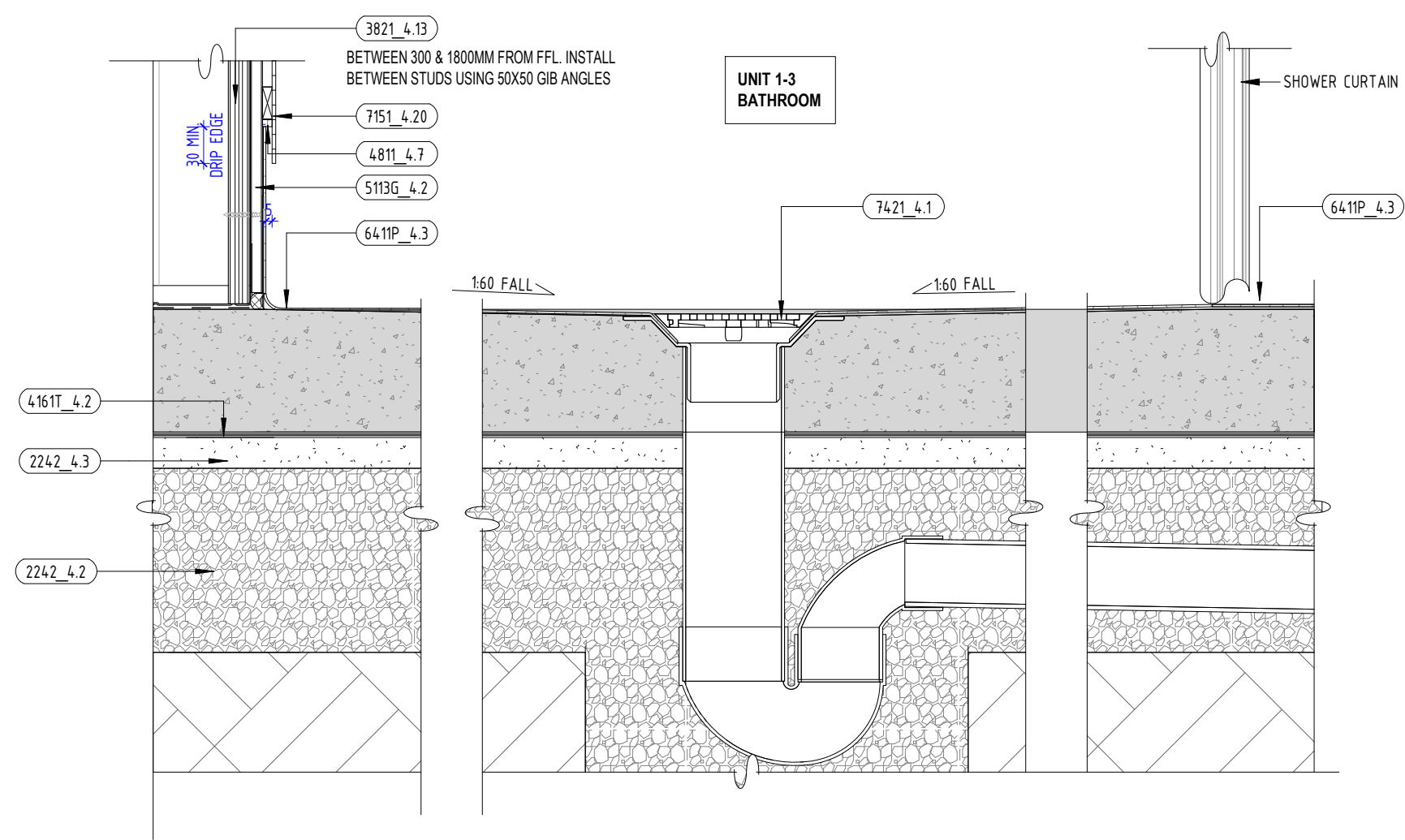


SHEET NUMBER

A5-D5431

REVISION

1



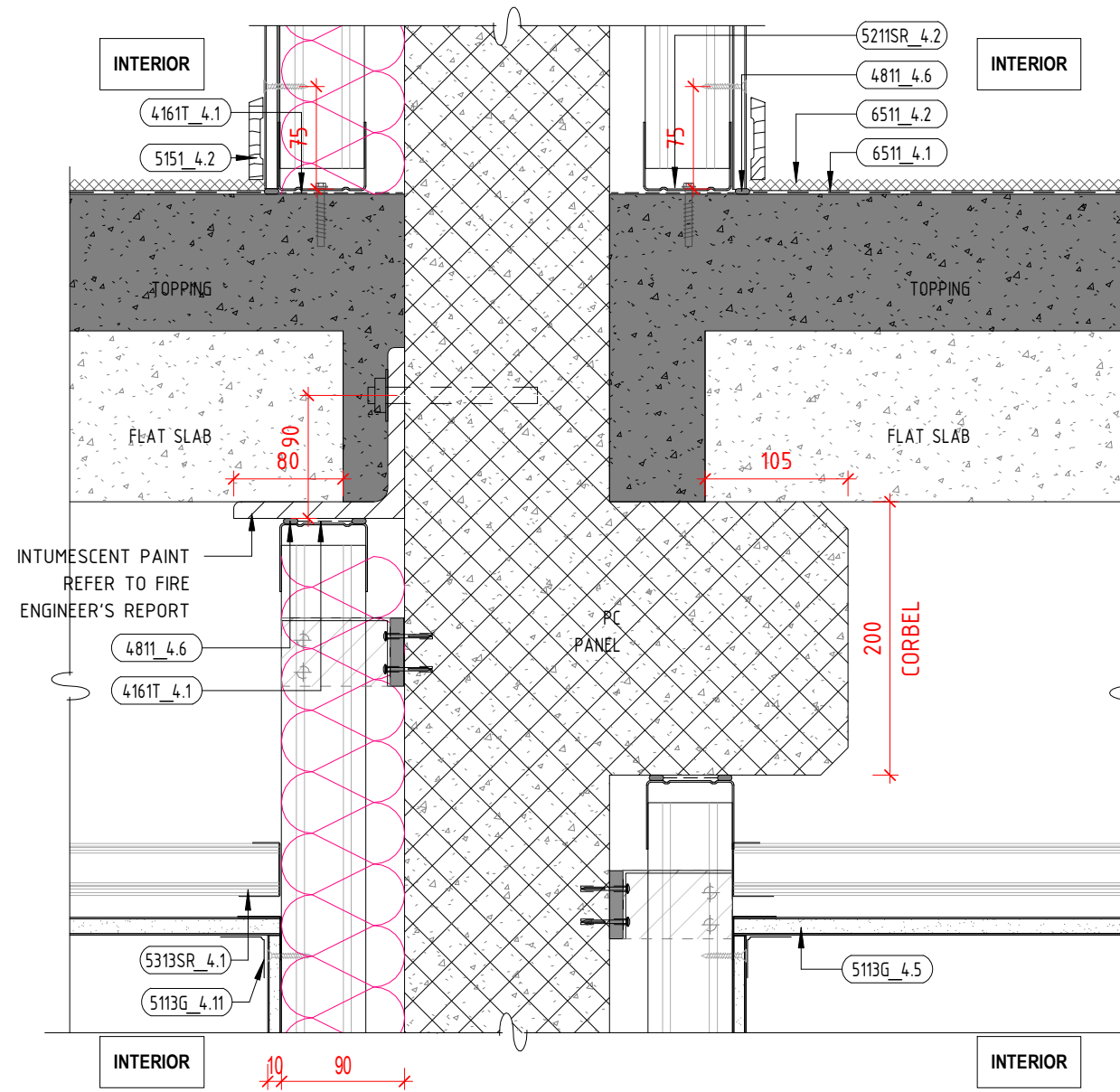
SCALE: 1 : 5
01 / A5-A5242

TYP. SHOWER (WITHOUT TRAY) DETAIL

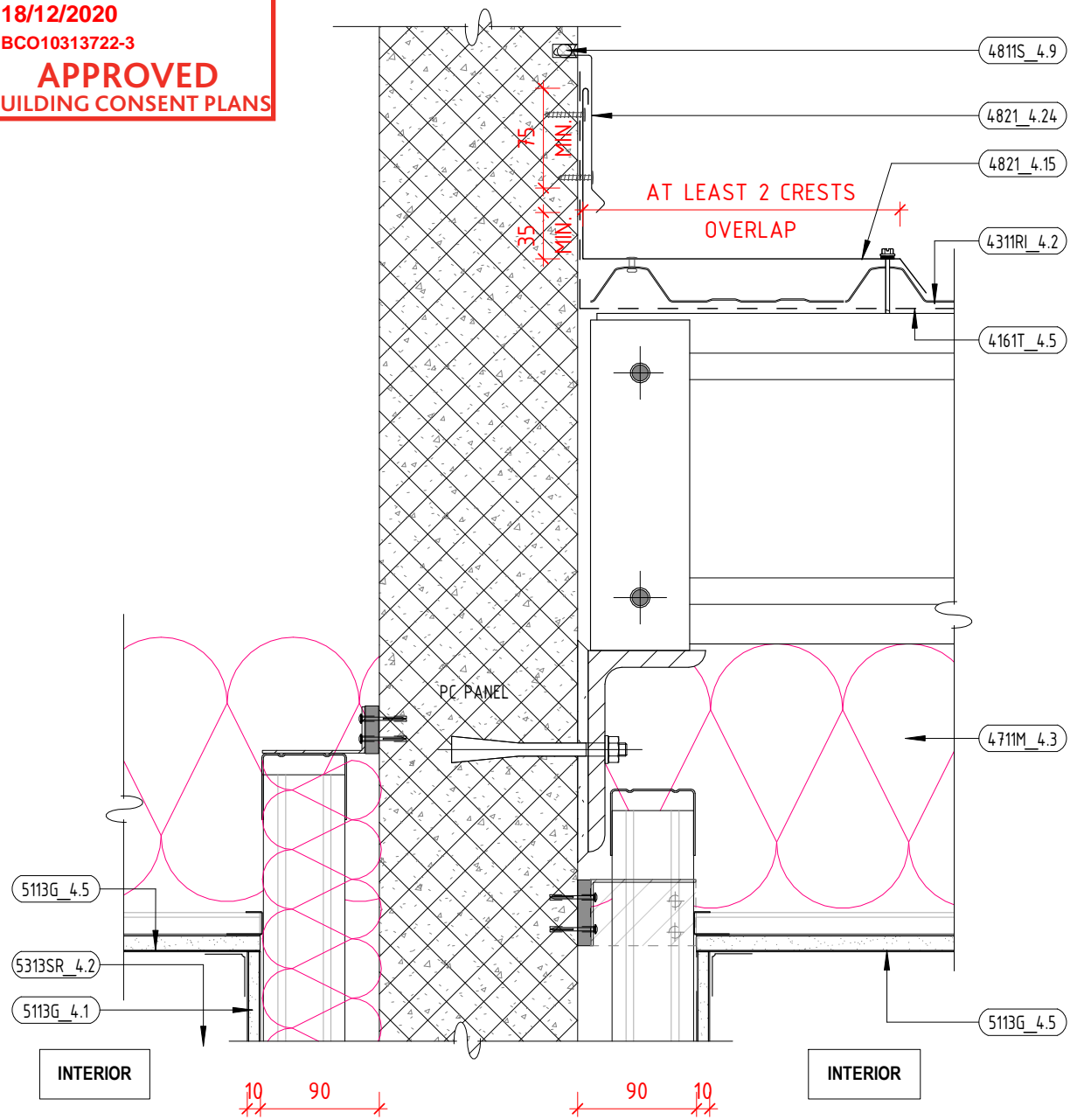
01



Key Value	Keynote Text
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4161T_4.5	THERMAKRAFT™ THERMAFLASH
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4711M_4.3	MAMMOTH CEILING BLANKET - R3.6 - 225MM THICK
4811_4.6	BEAD OF SEALANT, FIX ALL 220LM MS POLYMER
4811S_4.9	SIKAFLEX® AT-FACADE
4821_4.15	FLASHINGS: APRON
4821_4.24	FLASHINGS: CHASED FLASHING
5113G_4.1	GIB® STANDARD SYSTEMS WALLS
5113G_4.5	GIB® STANDARD SYSTEMS CEILINGS
5113G_4.11	GIB® TAPE ON EDGE OR CORNER TRIMS
5151_4.2	INTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM
5211SR_4.2	SRP™ TRACK SECTIONS 64MM
5313SR_4.1	CEILING BATTEN SYSTEM - SUSPENSION - TOP CROSS RAIL SYSTEM
5313SR_4.2	SRP™ CEILING BATTEN 35MM
6511_4.1	UNDERLAY: DUNLOP - 8MM
6511_4.2	CARPET : GODFREY HIRST - 3MM



SCALE: 1:5
 01 / A5-A4240 INTERTENANCY WALL TO CONCRETE SLAB JUNCTION DETAIL **01**



SCALE: 1:5
 01 / A5-A4270 RAFTER FIXING AT INTERTENANCY WALL **02**

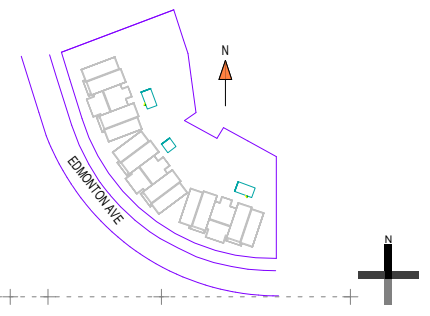
CLIENT
DOMINION
 CONSTRUCTORS LTD

PROJECT NAME
8-18 EDMONTON AVENUE

PROJECT ADDRESS
**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER
200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
DETAILS - FIRE/INTERTENANCY WALLS

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE: **1:5** SHEET SIZE: **A3=100%** PRINT IN COLOUR

SHEET NUMBER
A5-D5630 REVISION **1**

File: BIM_360/200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
 17/12/2020 9:43:19 pm
 Plozet

Key Value	Keynote Text
3821_4.1	INTERIOR FRAMING - NOG H1.2
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4239JH_4.1	HARDIFLEX™ EAVES LINING - 6MM
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4711M_4.5	MAMMOTH CARPARK PANEL - R1.7 - 70MM THICK
4811_4.6	BEAD OF SEALANT, FIX ALL 220LM MS POLYMER
5113G_4.5	GIB® STANDARD SYSTEMS CEILINGS
5151_4.2	INTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM
5211SR_4.2	SRP™ TRACK SECTIONS 64MM
5211SR_4.9	THERMAL BREAKER 10MM, THERMAX B
5313SR_4.1	CEILING BATTEN SYSTEM - SUSPENSION - TOP CROSS RAIL SYSTEM
6511_4.1	UNDERLAY: DUNLOP - 8MM
6511_4.2	CARPET : GODFREY HIRST - 3MM



CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

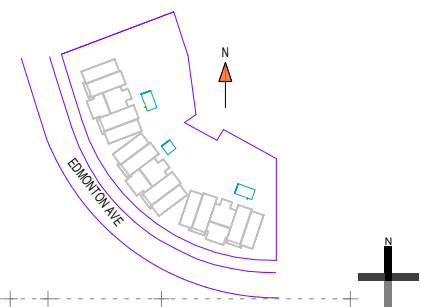
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - INTERNAL WALLS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 5

SHEET SIZE

A3=100%

PRINT IN COLOUR

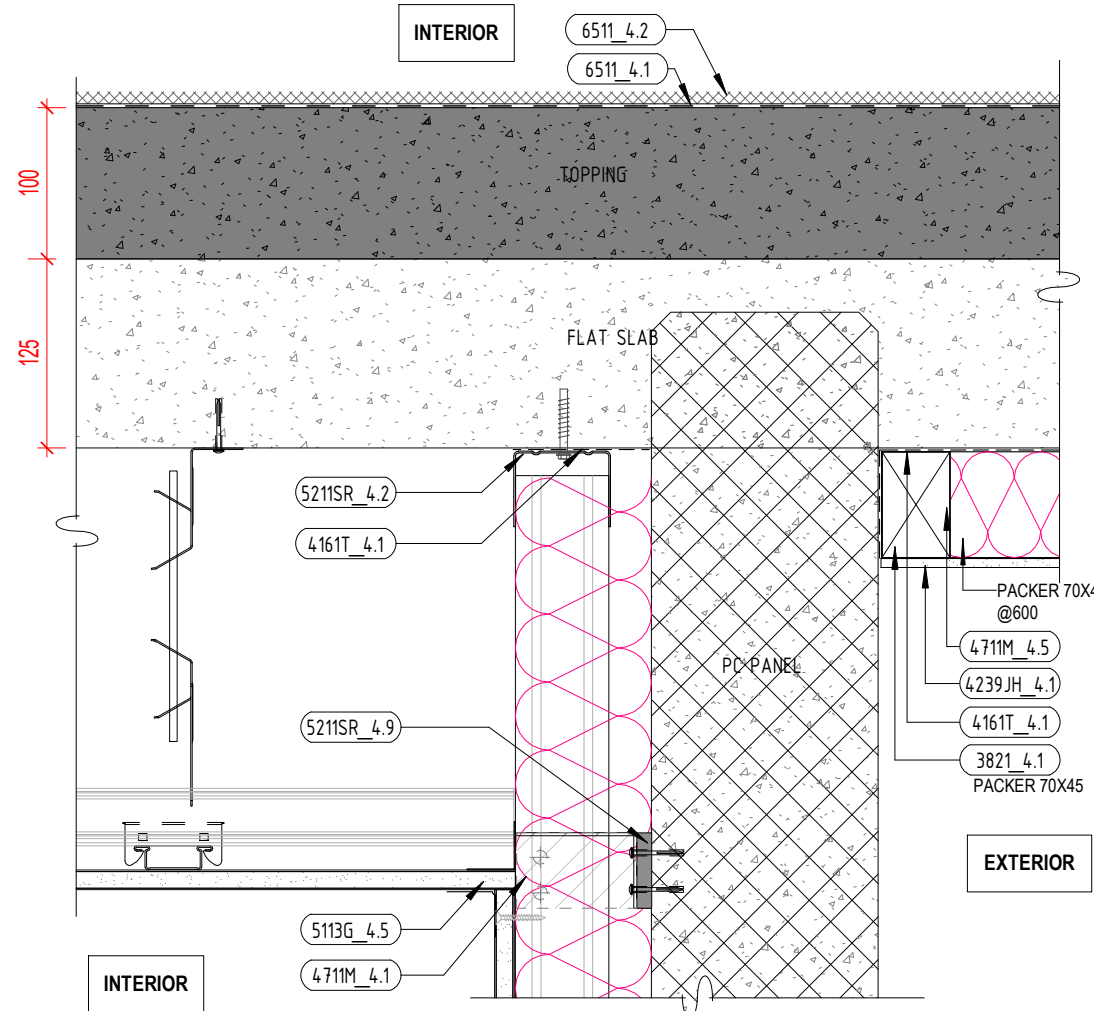


SHEET NUMBER

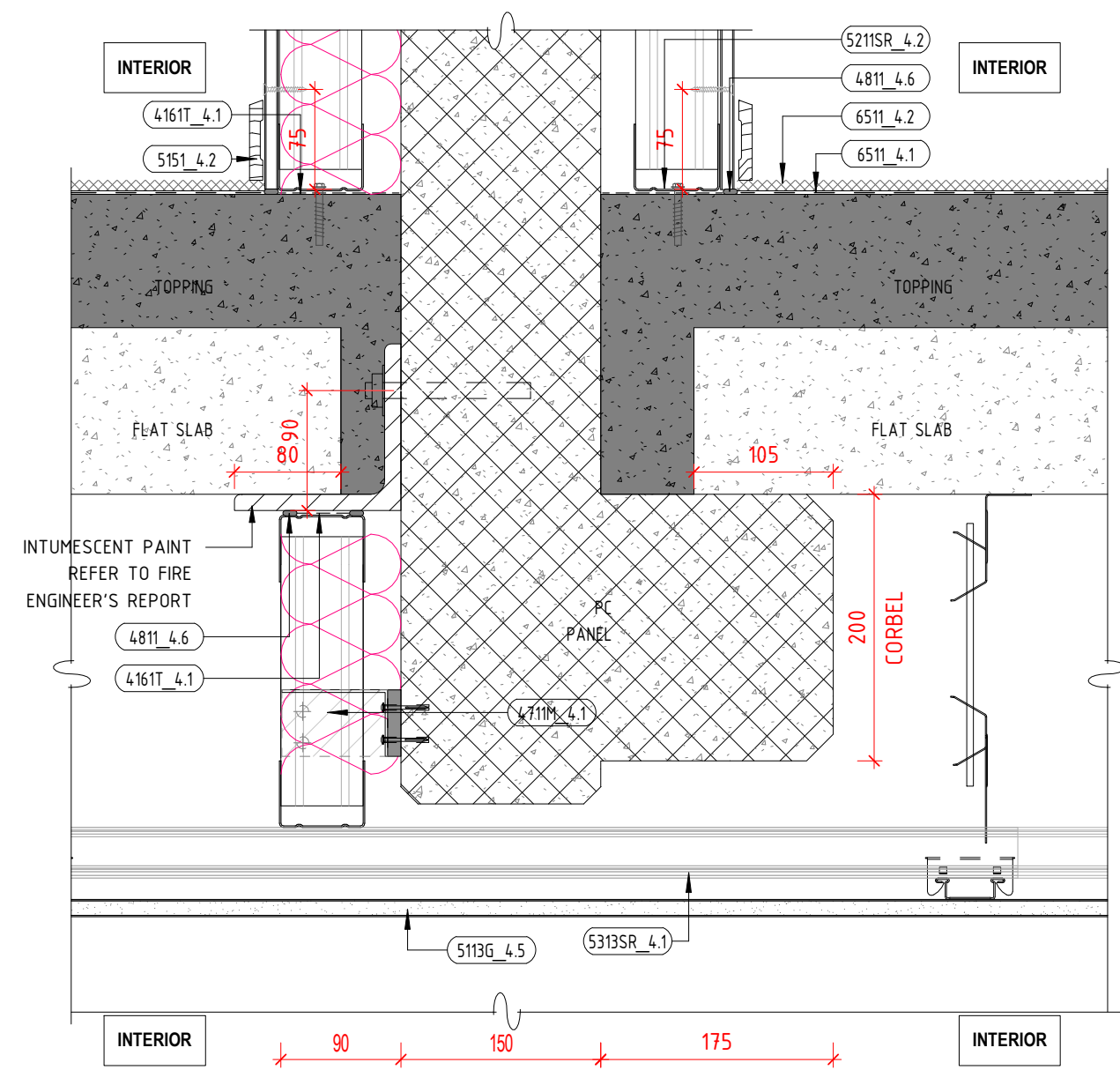
A5-D5631

REVISION

1



EXTERIOR WALL TO SLAB JUCTION **02**



INTERNAL PC TO SLAB JUCTION DETAIL **01**

SCALE: 1:5
01 / A5-A4240

SCALE: 1:5
01 / A5-A4270

Key Value	Keynote Text
3130_4.2	STRUCTURAL PANELS 125MM - REFER TO STRUCTURAL ENGINEERS DRAWINGS
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4811_4.2	JOINTING SEALANT, INTERNAL
5113G_4.1	GIB® STANDARD SYSTEMS WALLS
5113G_4.5	GIB® STANDARD SYSTEMS CEILINGS
5113G_4.10	GIB® RONDO® CEILING BATTENS
5113G_4.12	GIB® EDGE PROFILES
5151_4.2	INTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM
6511_4.1	UNDERLAY: DUNLOP - 8MM
6511_4.2	CARPET : GODFREY HIRST - 3MM
7382RF_4.3	FIRE THERM INTUCOLLAR FIRE COLLAR



CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

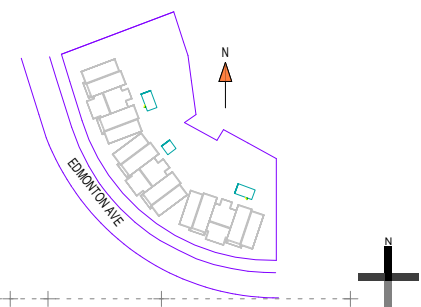
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - INTERNAL WALLS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 5

SHEET SIZE

A3=100%

PRINT IN COLOUR

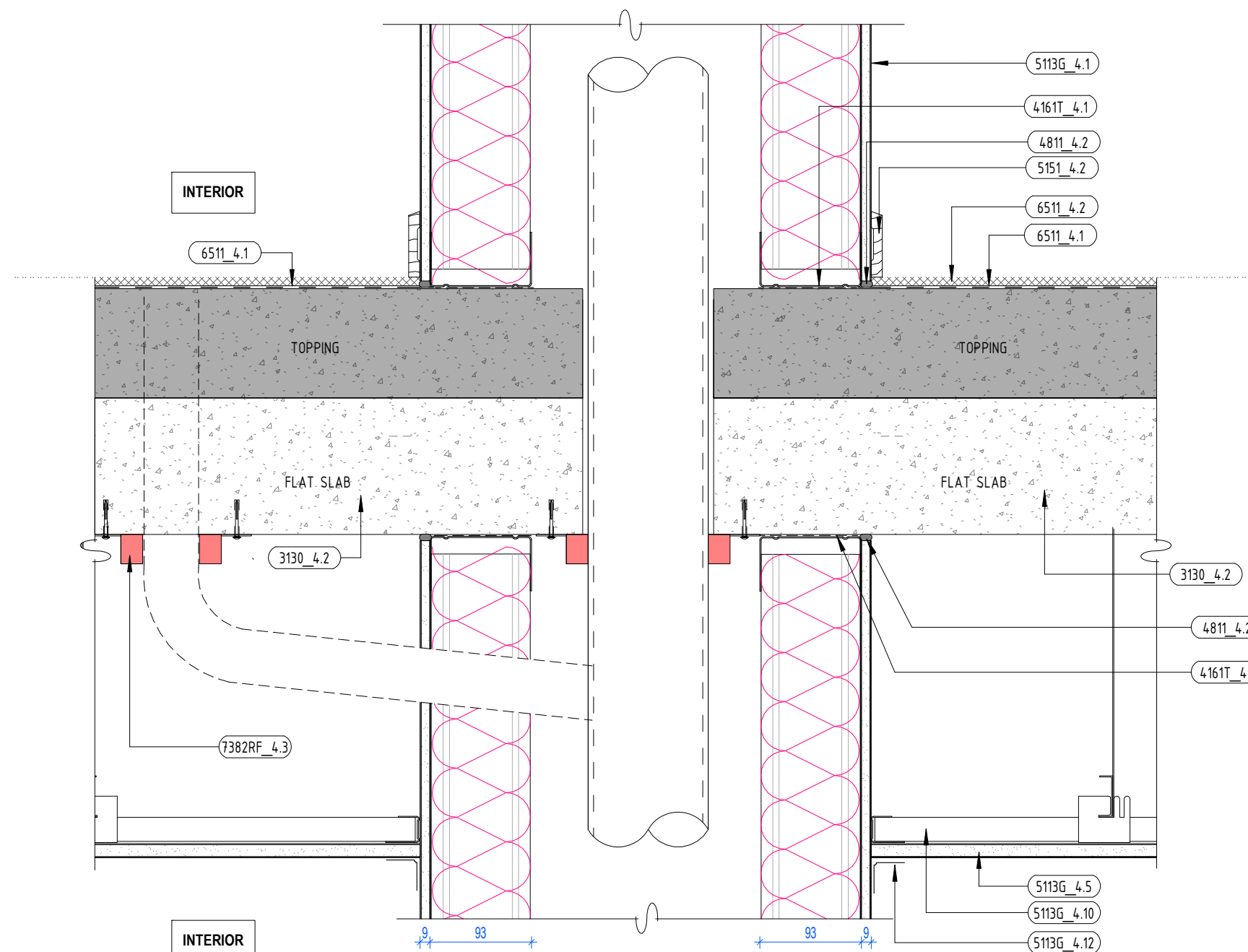


SHEET NUMBER

A5-D5632

REVISION

1



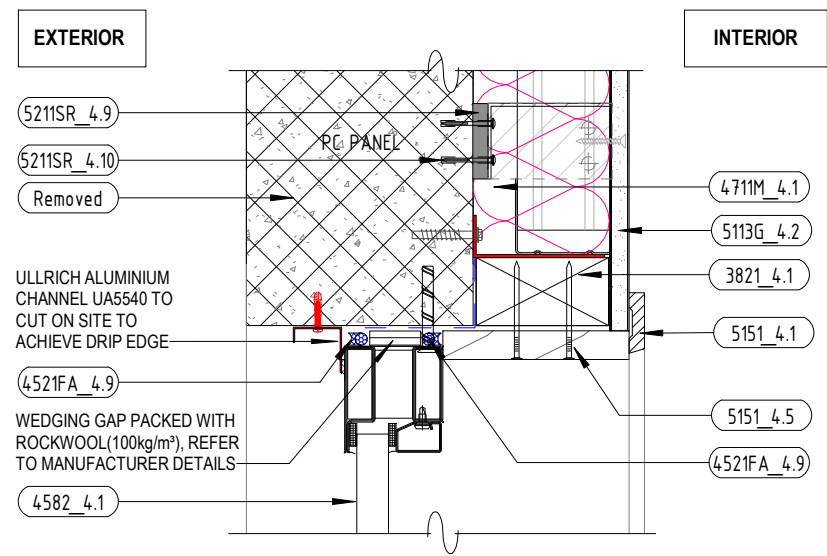
SCALE: 1 : 5
01 / A5-A3042

SECTION THROUGH FRR DRY RISER

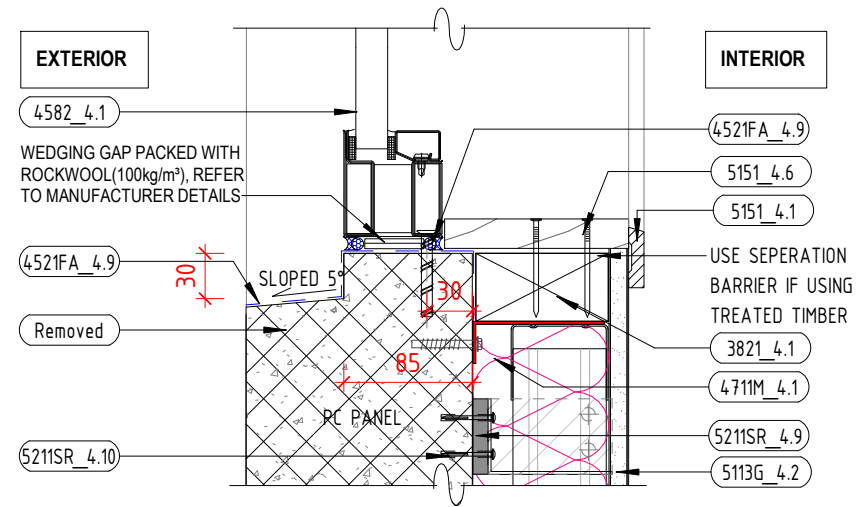
01



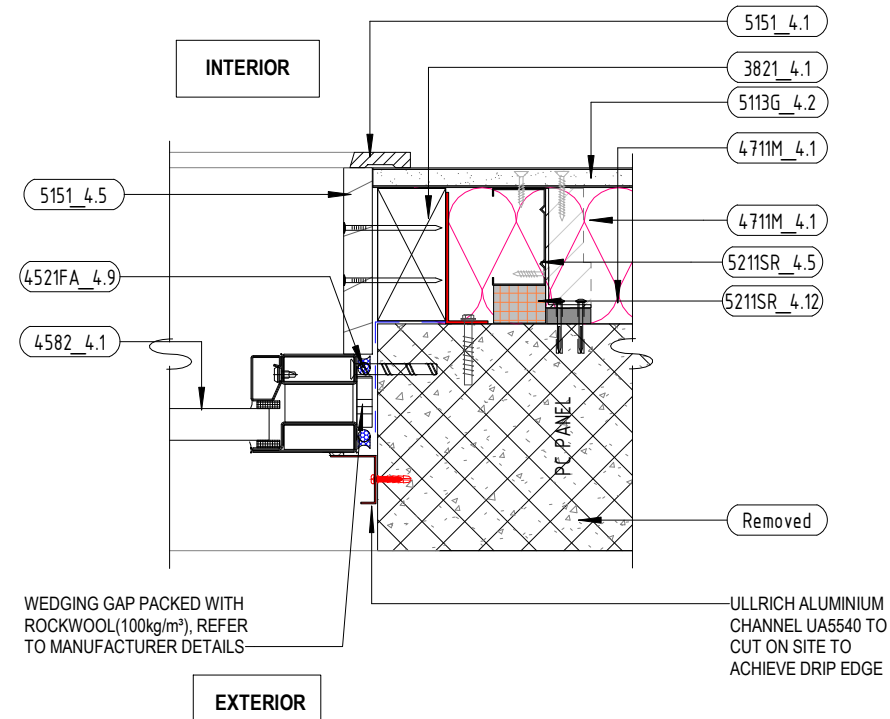
Key Value	Keynote Text
3821_4.1	INTERIOR FRAMING - NOG H1.2
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4582_4.1	PACIFIC PFW60 FIRE WINDOW, FRR -60/30
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5151_4.1	INTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM
5151_4.5	INTERNAL TIMBER TRIM: HEAD LINER
5151_4.6	INTERNAL TIMBER TRIM: SILL LINER
5211SR_4.5	SRP™ STUD SECTIONS 64MM, CRS 600MM MAX.
5211SR_4.9	THERMAL BREAKER 10MM, THERMAX B
5211SR_4.10	SRP ADJ CLIP/WALL BRACKET WITH 16MM FURRING CHANNEL
5211SR_4.12	25MM XPS STRIP FOAM-KNAUF CLIMAFOAM POLYSTYRENE INSULATION



SCALE: 1:5
01 / A5-A3042
TYP. FRR WINDOW HEAD DETAIL **03**



SCALE: 1:5
01 / A5-A3041
TYP. FRR WINDOW SILL DETAIL **02**



SCALE: 1:5
01 / A5-A3040
TYP. FRR WINDOW JAMB DETAIL **01**

Young+Richards+

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

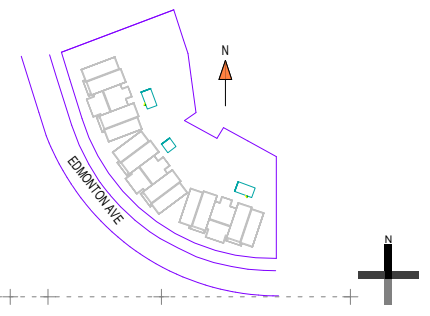
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - FIRE WINDOW

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:5

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-D5634

REVISION

1



Key Value	Keynote Text
3130_4.5	STRUCTURAL PANELS - THICKNESS REFER TO STRUCTURAL ENGINEERS DRAWINGS
3130_4.10	WATERPROOFING FOR EXTERNAL OPENINGS
3821_4.1	INTERIOR FRAMING - NOG H1.2
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4224_4.1	TIMBER TRIM, H3.1 SG8
4521FA_4.8	PLASTIC PACKER
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4581NZ_4.2	NZ FIRE DOORS DOORSET - UTILITY ROOM
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4811S_4.8	SIKAHYFLEX®-250 FACADE- WEATHER AND AIR SEAL
4821_4.24	FLASHINGS: CHASED FLASHING
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5151_4.1	INTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM
5151_4.5	INTERNAL TIMBER TRIM: HEAD LINER
5211SR_4.2	SRP™ TRACK SECTIONS 64MM
5211SR_4.5	SRP™ STUD SECTIONS 64MM, CRS 600MM MAX.
5211SR_4.12	25MM XPS STRIP FOAM-KNAUF CLIMAFOAM POLYSTYRENE INSULATION
6411P_4.2	POLYFLOR VINYL FLOORING - XL PUR/FOREST FX PUR
6411P_4.3	POLYFLOR VINYL ACOUSTIFOAM



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

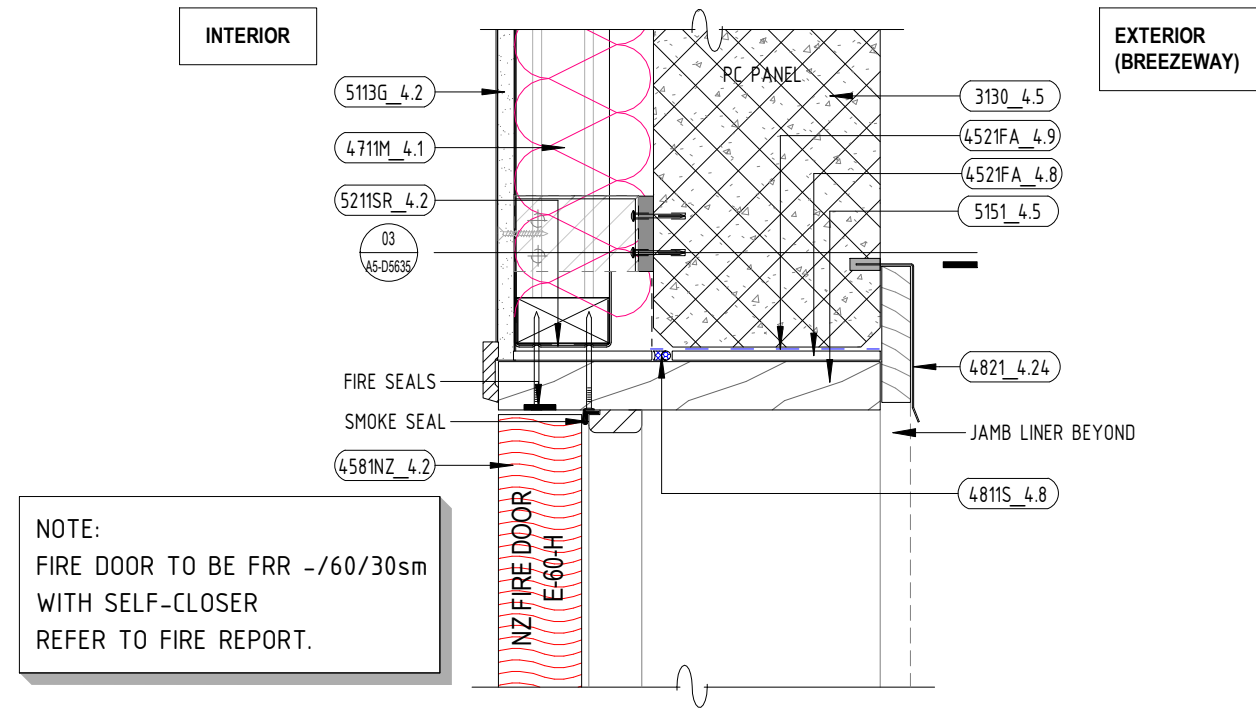
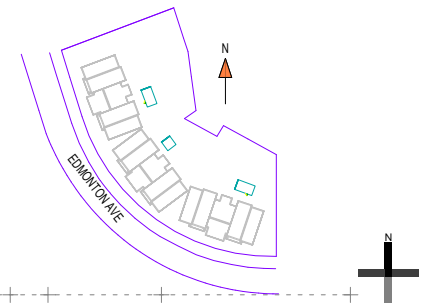
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

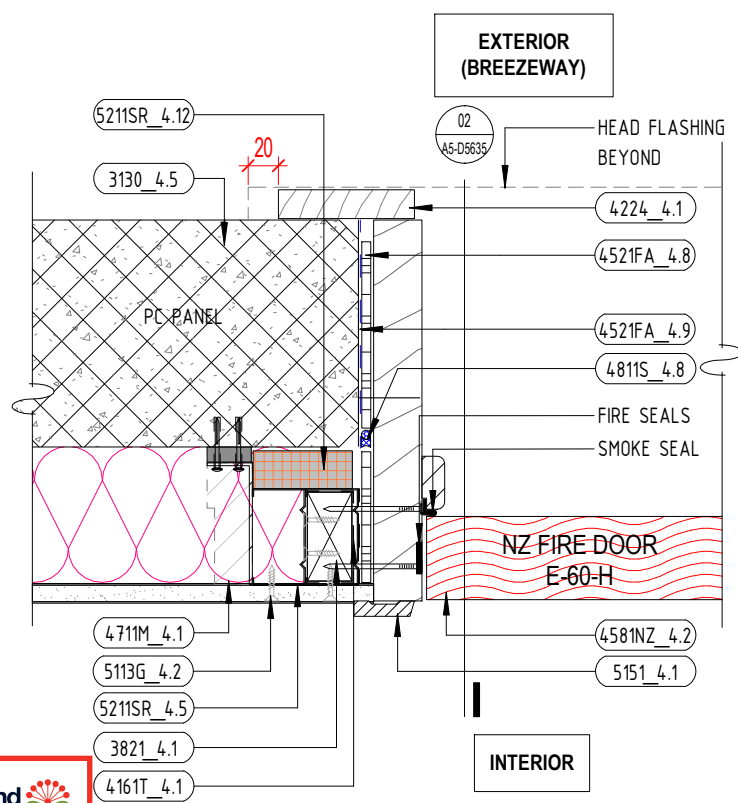
200003

KEY PLAN



SCALE: 1:5
03 / A5-D5635

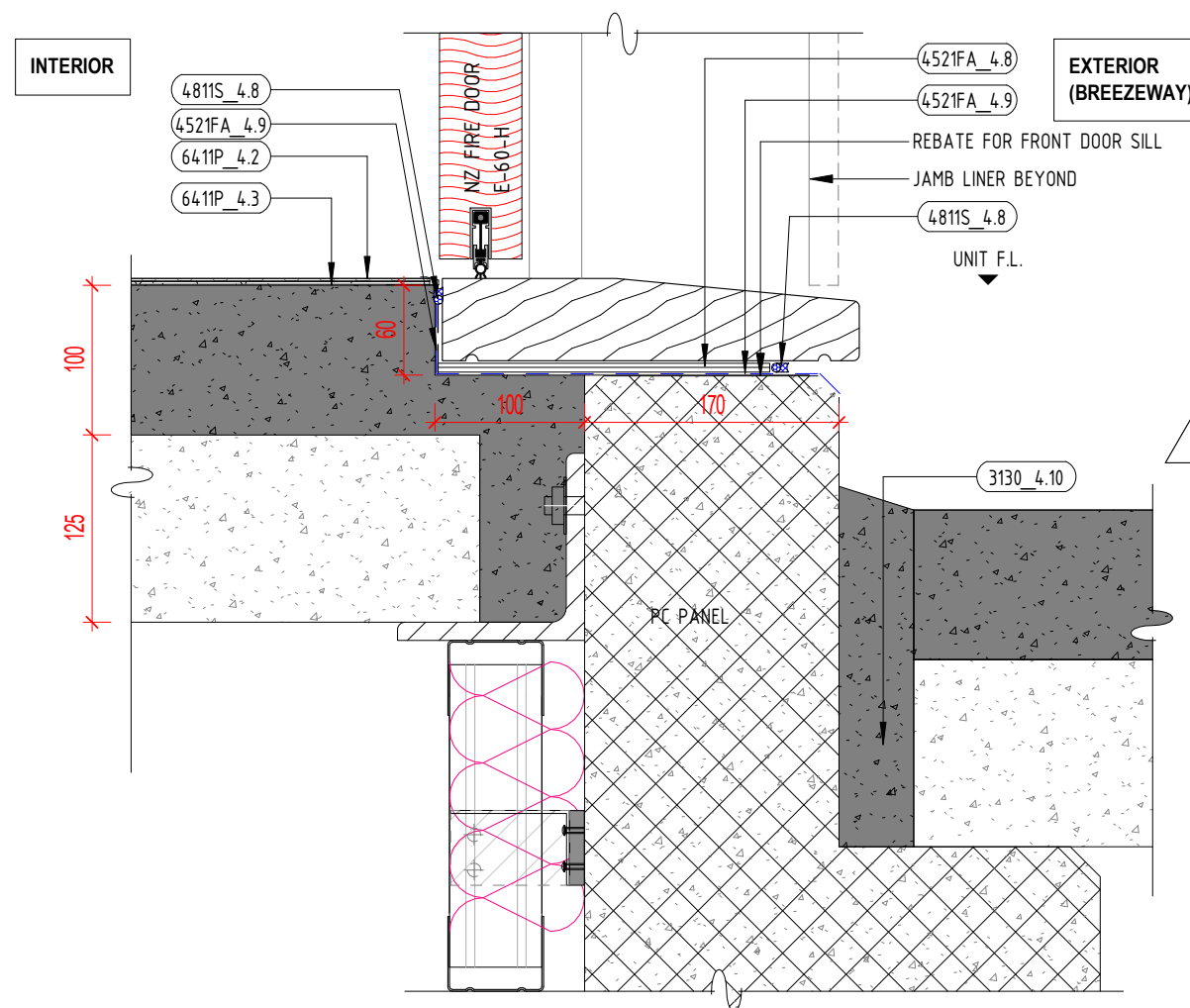
TYP. FIRE ENTRY DOOR HEAD DETAIL **02**



Auckland Council
18/12/2020
BCO10313722-3
APPROVED
BUILDING CONSENT PLANS

SCALE: 1:5
02 / A5-D5635

TYP. FIRE ENTRY DOOR JAMB DETAIL **03**



SCALE: 1:5
01 / A5-A3041

TYP. FIRE ENTRY DOOR SILL DETAIL **01**
SECOND FLOOR

STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT
• ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
• BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
• FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
• FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
• THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
• THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
• DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - FIRE DOOR

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:5

SHEET SIZE

A3=100%

PRINT IN COLOUR



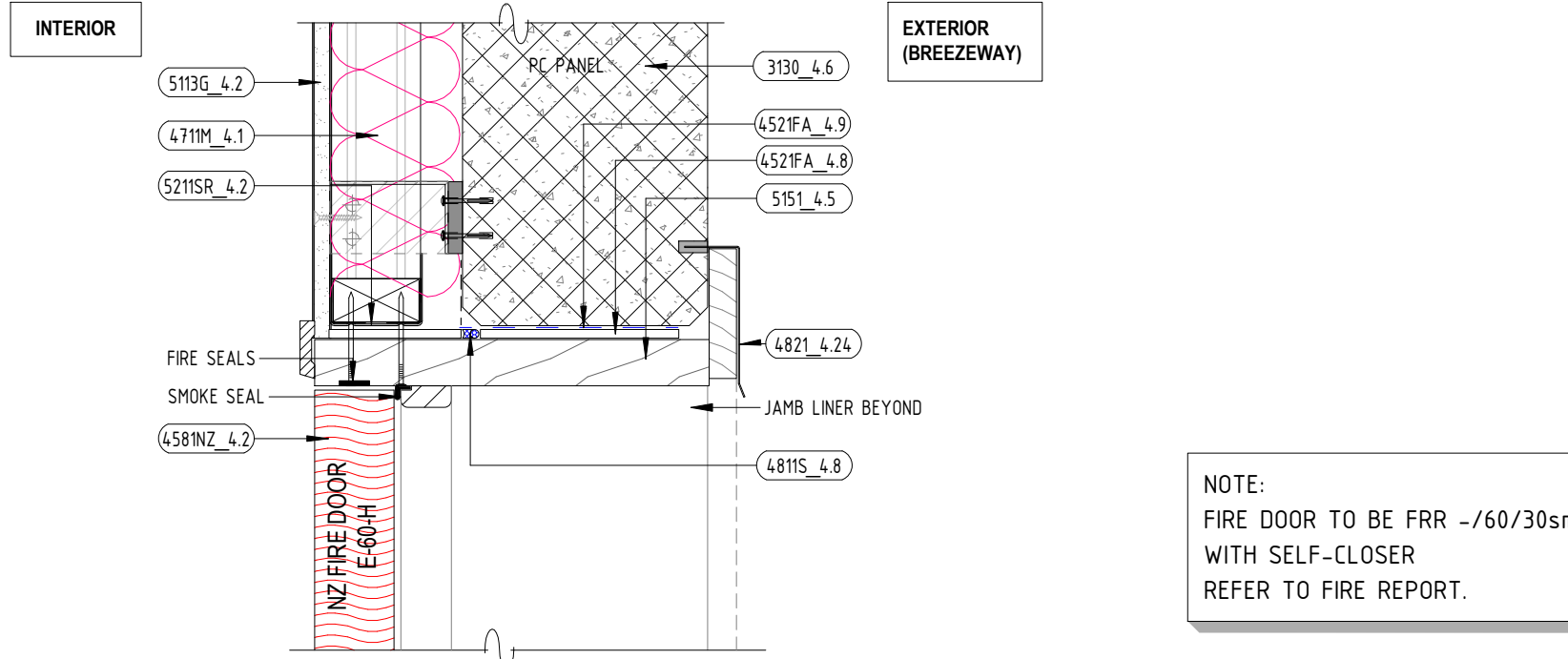
SHEET NUMBER

A5-D5635

REVISION

2

Key Value	Keynote Text
3130_4.6	CONCRETE COLOUR
4161T_4.2	THERMATHENE BLACK™ 250UM DPM
4424SG_4.3	SIKA SARNAFIL G410 L
4521FA_4.8	PLASTIC PACKER
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4581NZ_4.1	NZ FIRE DOORS DOORSET - EXTERIOR 60 MINUTE FIRE DOORS
4581NZ_4.2	NZ FIRE DOORS DOORSET - UTILITY ROOM
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4811S_4.8	SIKAHYFLEX®-250 FACADE- WEATHER AND AIR SEAL
4821_4.24	FLASHINGS: CHASED FLASHING
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5151_4.5	INTERNAL TIMBER TRIM: HEAD LINER
5211SR_4.2	SRP™ TRACK SECTIONS 64MM
6411P_4.1	TEST FOR MINIMUM SLIP RESISTANCE REQUIREMENTS
6411P_4.3	POLYFLOR VINYL ACOUSTIFOAM
6411P_4.5	TRIMS AND EDGING
7451AE_4.1	ALLPROOF PLASTIC DOMESTIC DRAINAGE CHANNEL SYSTEM

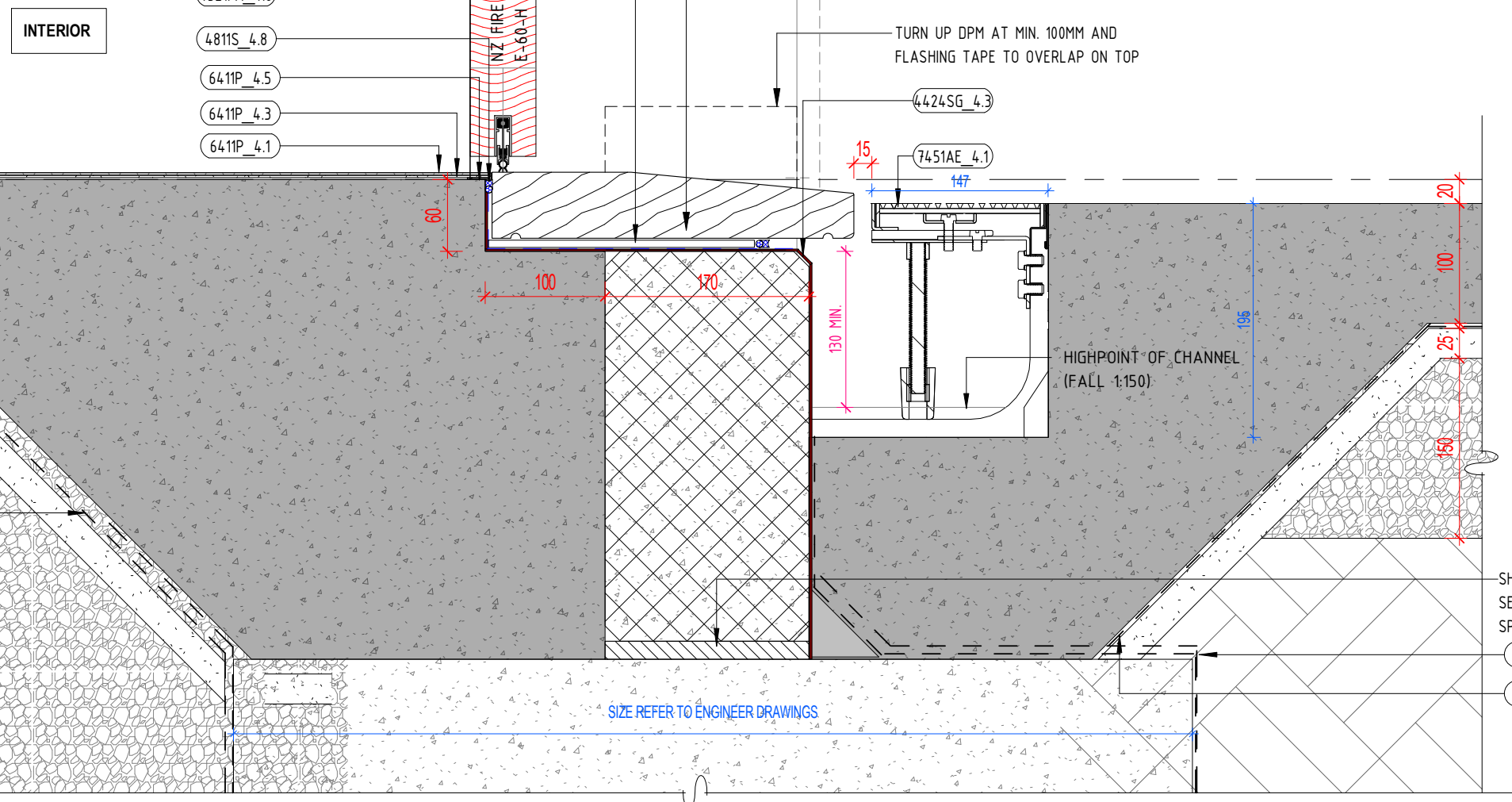
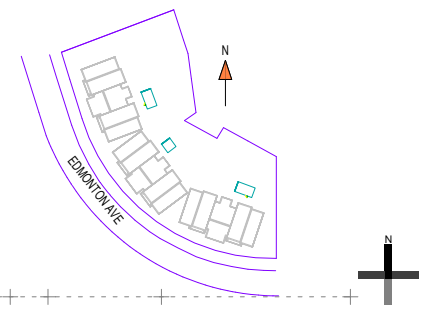


SCALE: 1:5 ENTRY DOOR HEAD DETAIL (GF) 02

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT
DOMINION CONSTRUCTORS LTD
PROJECT NAME
8-18 EDMONTON AVENUE
PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061
PROJECT NUMBER
200003
KEY PLAN



SCALE: 1:5 THRESHOLD LEVEL (GF) 01

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
• ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
• BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
• FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
• FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
• THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
• THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
• DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

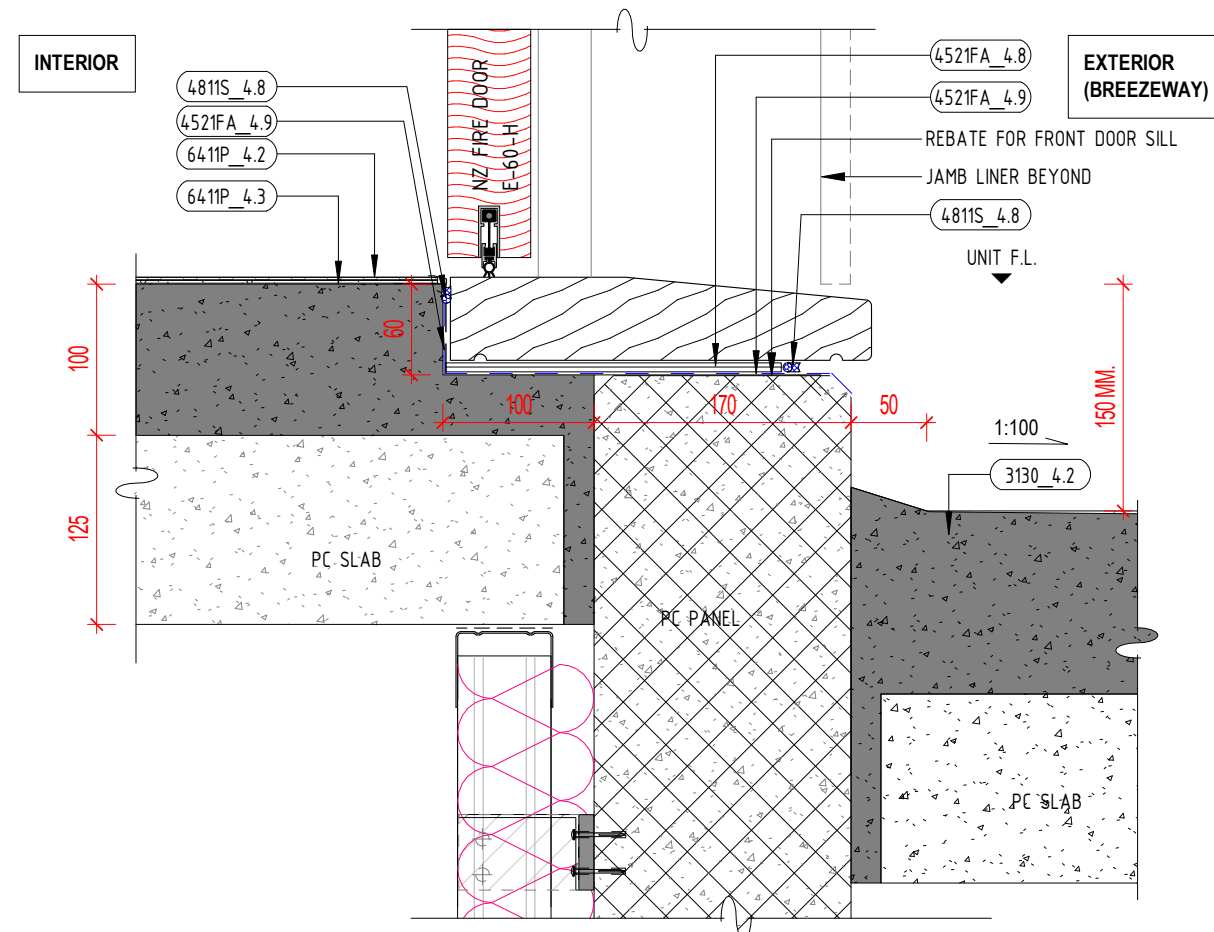
SHEET NAME
DETAILS - FIRE DOOR

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE: **1:5** SHEET SIZE: **A3=100%** PRINT IN COLOUR

SHEET NUMBER: **A5-D5636** REVISION: **1**

Key Value	Keynote Text
3130_4.2	STRUCTURAL PANELS 125MM - REFER TO STRUCTURAL ENGINEERS DRAWINGS
3821_4.1	INTERIOR FRAMING - NOG H1.2
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4239JH_4.1	HARDIFLEX™ EAVES LINING - 6MM
4383_4.1	EXTERIOR DECKING - 100 X 40 RAD PREMIUM GRIP TREAD H 3.2
4383_4.2	50 X 50 RADIATA PREMIUM GRADE H 3.2 M GAUGED 1.2 M
4383_4.3	ADJUSTABLE UPVC PEDESTALS - NURAJACK OR EQUIVALENT
4424SG_4.2	SIKA ADHESIVE SARNACOL
4424SG_4.3	SIKA SARNAFIL G410 L
4521FA_4.8	PLASTIC PACKER
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4711M_4.5	MAMMOTH CARPARK PANEL - R1.7 - 70MM THICK
4811_4.1	AIR SEAL AND JOINT FILLER
4811S_4.8	SIKAHYFLEX®-250 FACADE- WEATHER AND AIR SEAL
6411P_4.2	POLYFLOR VINYL FLOORING - XL PUR/FOREST FX PUR
6411P_4.3	POLYFLOR VINYL ACOUSTIFOAM



SCALE: 1:5 SECOND FLOOR FIRE ENTRY DOOR SILL DETAIL 03

Young+Richards+

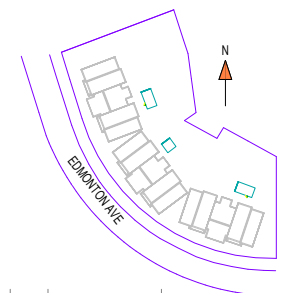
Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT
DOMINION CONSTRUCTORS LTD
PROJECT NAME
8-18 EDMONTON AVENUE
PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER
200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
• ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
• BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
• FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
• FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
• THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
• THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
• DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

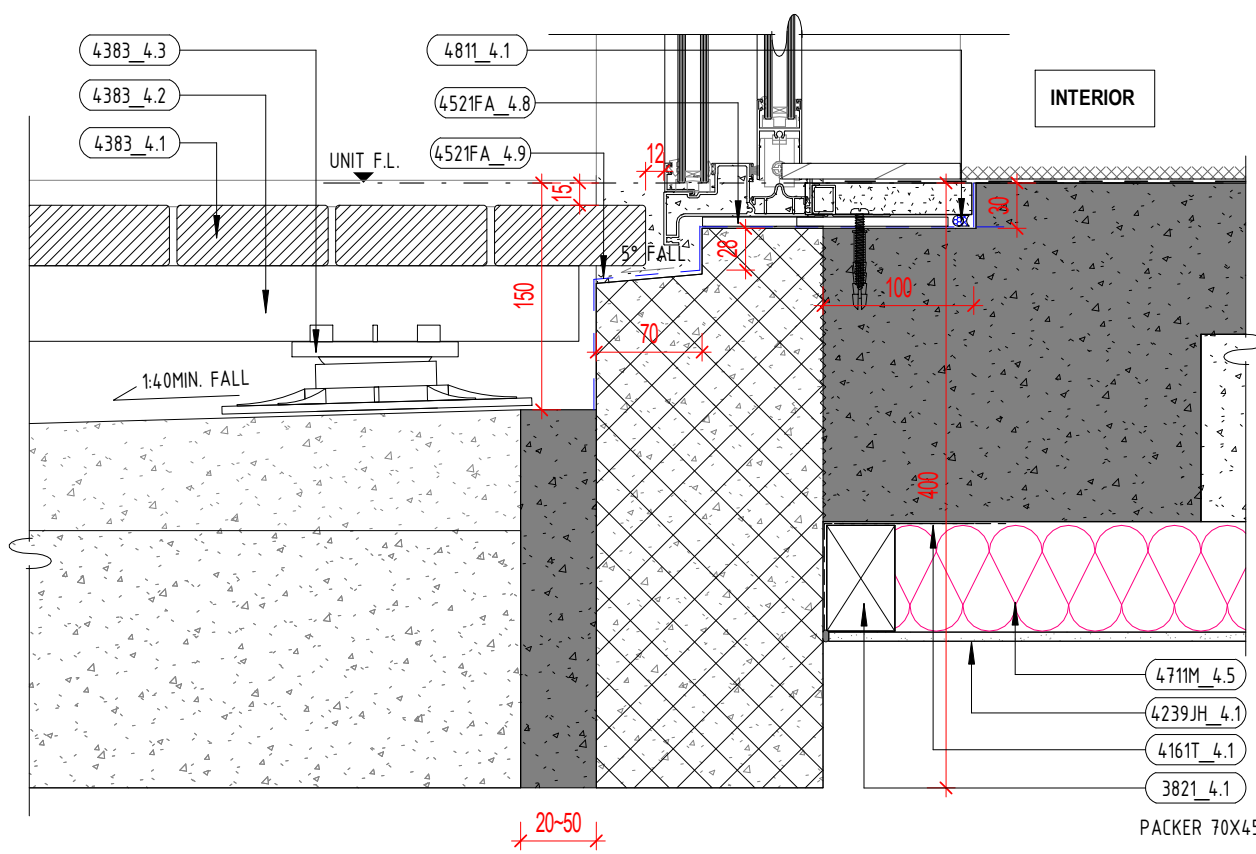
SHEET NAME
DETAILS - FIRE DOOR

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

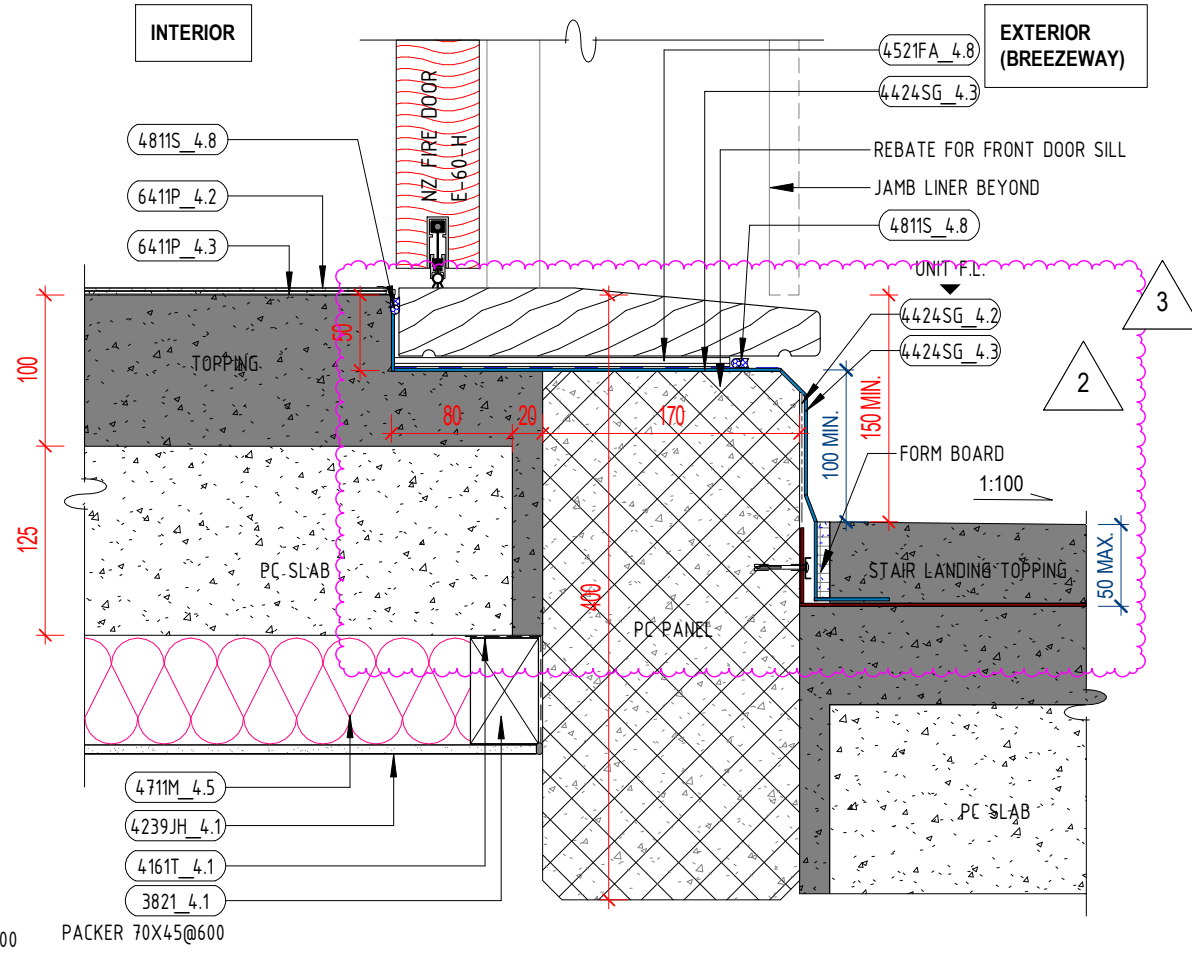
SHEET SCALE: **1:5** SHEET SIZE: **A3=100%** PRINT IN COLOUR

SHEET NUMBER: **A5-D5637** REVISION: **3**

File: B:\360\200003-8_18 Edmonton Ave\200003-8_18 Edmonton Ave.rvt Plot: 17/12/2020 3:43:32 pm

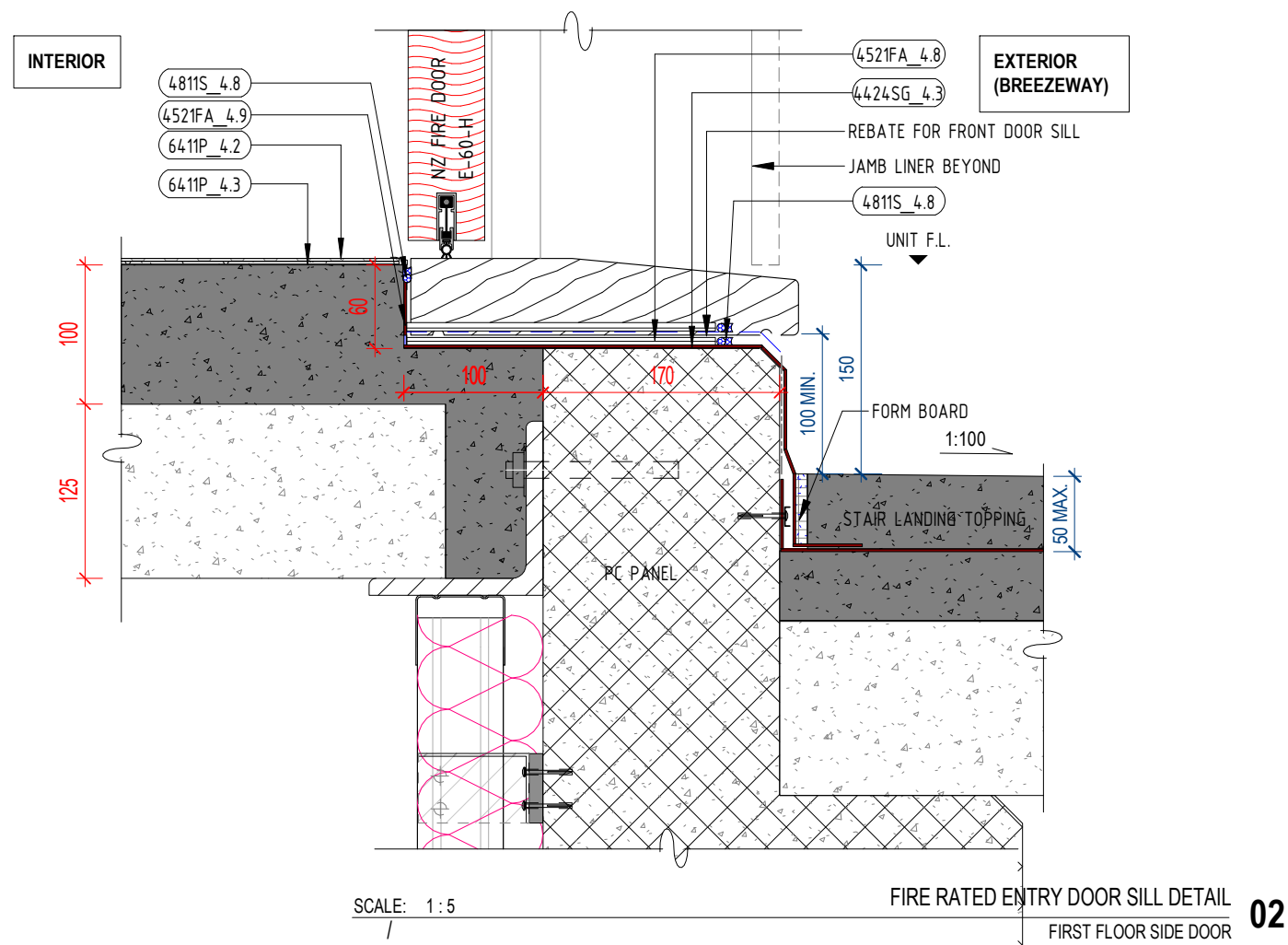


SCALE: 1:5 TYP. BALCONY - FIRST FLOOR 02

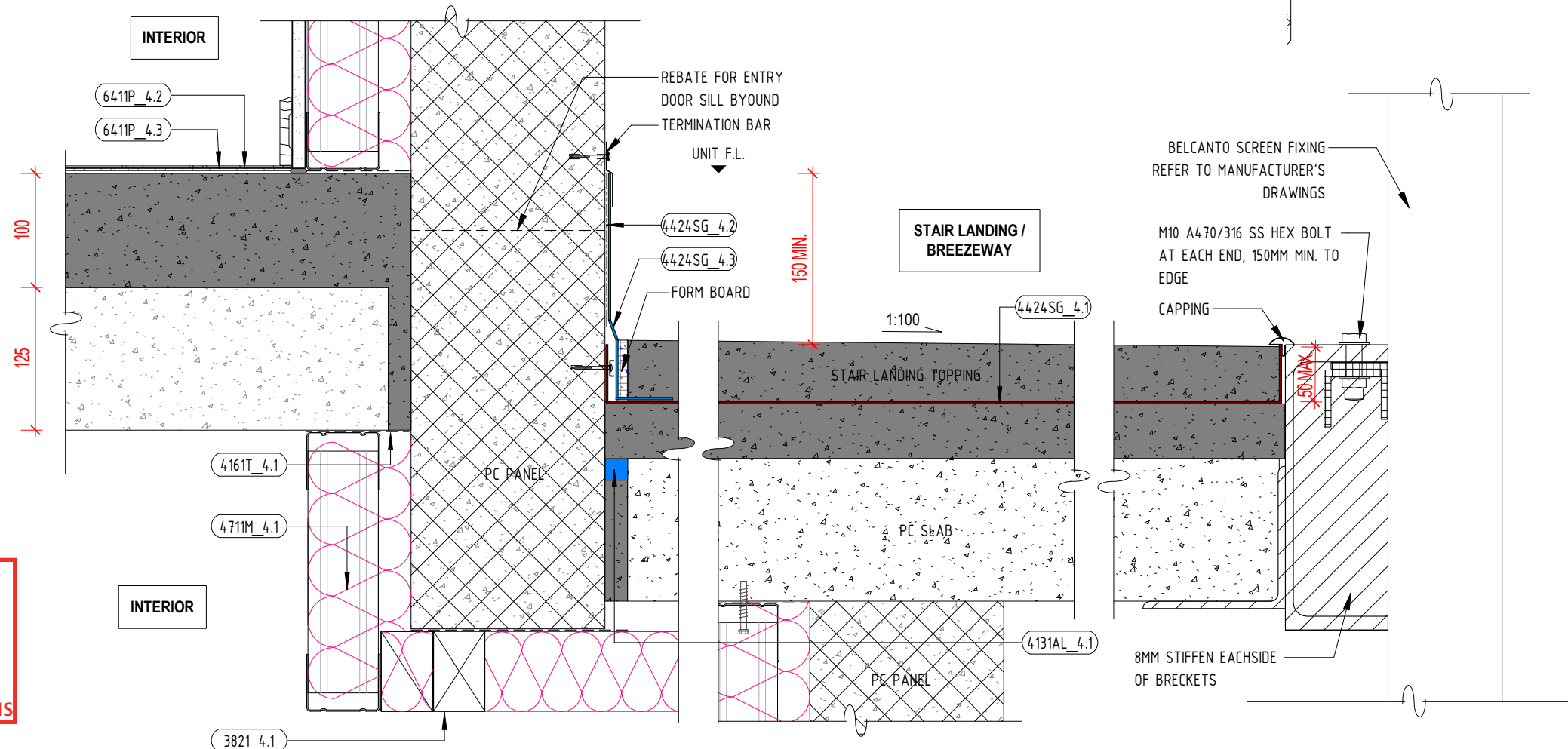


SCALE: 1:5 FIRST FLOOR FIRE ENTRY DOOR STILL DETAIL 01

Key Value	Keynote Text
3821_4.1	INTERIOR FRAMING - NOG H1.2
4131AL_4.1	ALLCO VOLCLAY WATERSTOP RX
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4424SG_4.1	SIKA SARNAFIL® G 476-20 LOOSE-LAID MEMBRANE
4424SG_4.2	SIKA ADHESIVE SARNACOL
4424SG_4.3	SIKA SARNAFIL G410 L
4521FA_4.8	PLASTIC PACKER
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4811S_4.8	SIKAHYFLEX®-250 FACADE- WEATHER AND AIR SEAL
6411P_4.2	POLYFLOR VINYL FLOORING - XL PUR/FOREST FX PUR
6411P_4.3	POLYFLOR VINYL ACOUSTIFOAM



FIRE RATED ENTRY DOOR SILL DETAIL 02
FIRST FLOOR SIDE DOOR



FIRST FLOOR STAIR LANDING SECTION 01

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

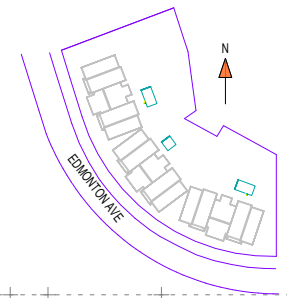
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	11/12/20	BC3 CONSENTIUM RFI	YR	YR
2	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT
• ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
• BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
• FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
• FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
• THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
• THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
• DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - BREEZEWAY

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:5

SHEET SIZE

A3=100%

PRINT IN COLOUR



REVISION

2

SHEET NUMBER

A5-D5638

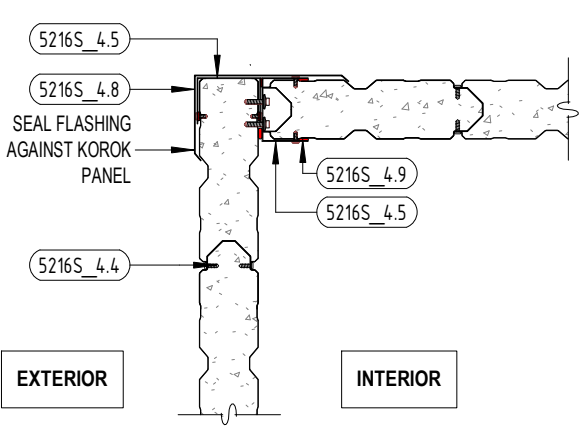
2



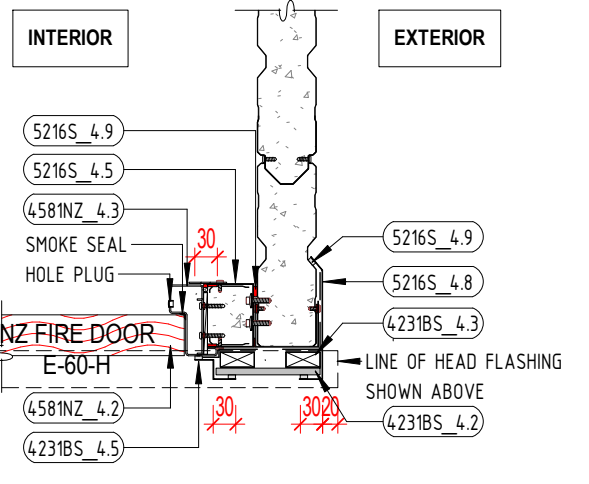
Key Value	Keynote Text
3102_4.4	NORMAL CONCRETE
3130_4.2	STRUCTURAL PANELS 125MM - REFER TO STRUCTURAL ENGINEERS DRAWINGS
3821_4.3	EXTERIOR FRAMING - BLOCKING H3.2
3821_4.6	EXTERIOR FRAMING PACKERS/FILLETS - H3.1
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4224_4.1	TIMBER TRIM, H3.1 SG8
4231BS_4.2	BGC DURASHEET™ 4.5MM
4231BS_4.3	TIMBER BATTENS 20 X 45MM, H3.1
4231BS_4.4	CAVITY VENT STRIP
4231BS_4.5	EXTERNAL CUSTOM FLASHING
4383_4.1	EXTERIOR DECKING - 100 X 40 RAD PREMIUM GRIP TREAD H 3.2
4581NZ_4.2	NZ FIRE DOORS DOORSET - UTILITY ROOM
4581NZ_4.3	NZ FIRE DOORS DOORSET - SPEEDWALL JAMB
4821_4.22	FLASHING TAPE - SIKAPROOF@ TAPE-150 A
5216S_4.2	KOROK PANELS
5216S_4.3	KOROK PANELS FIXING -14G X 115 STEELTITE SCREW
5216S_4.4	KOROK PANELS FIXING -10G X 16 SCREW
5216S_4.5	KOROK@ C TRACK
5216S_4.6	EXTERNAL STEEL BASE ANGLE
5216S_4.7	KOROK@ EX1 BASE COVER FLASHING
5216S_4.8	KOROK@ EXTERNAL FLASHING
5216S_4.9	SIKAFLEX - 400 FIRE RATED SEALANT



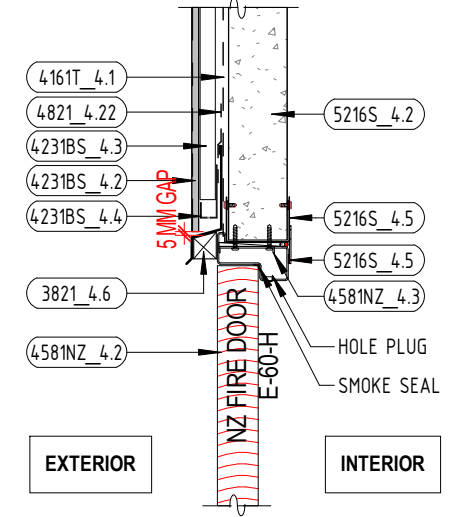
STEEL & CONCRETE STRUCTURE - REFER TO STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATIONS
KOROK PANELS REFER TO SUPPLIER DRAWINGS AND SPECIFICATIONS



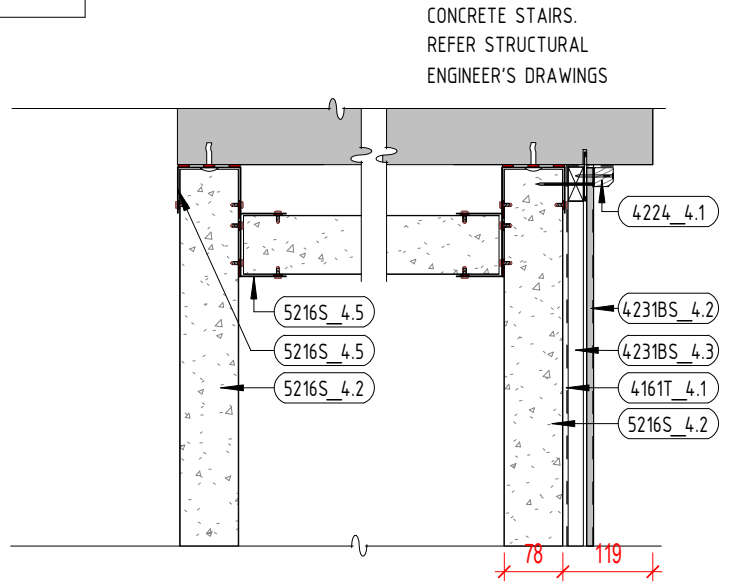
SCALE: 1:10
04 / A5-A5050
EXTERNAL CORNER DETAIL 09



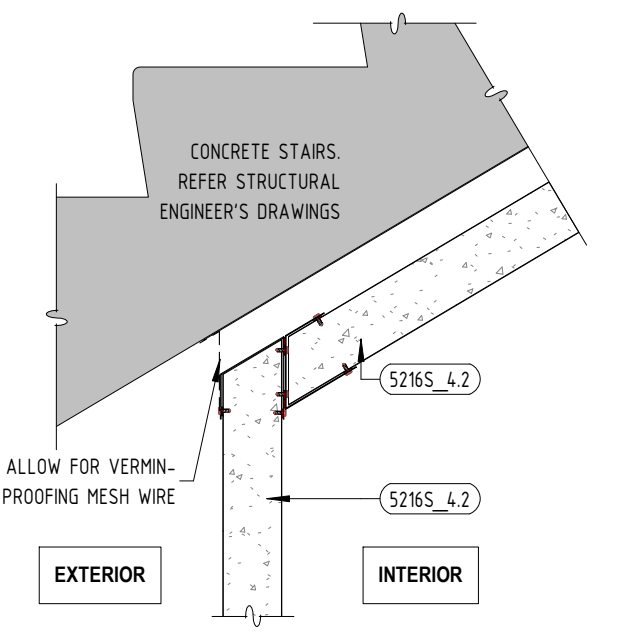
SCALE: 1:10
04 / A5-A5050
FIRE DOOR JAMB DETAIL 06



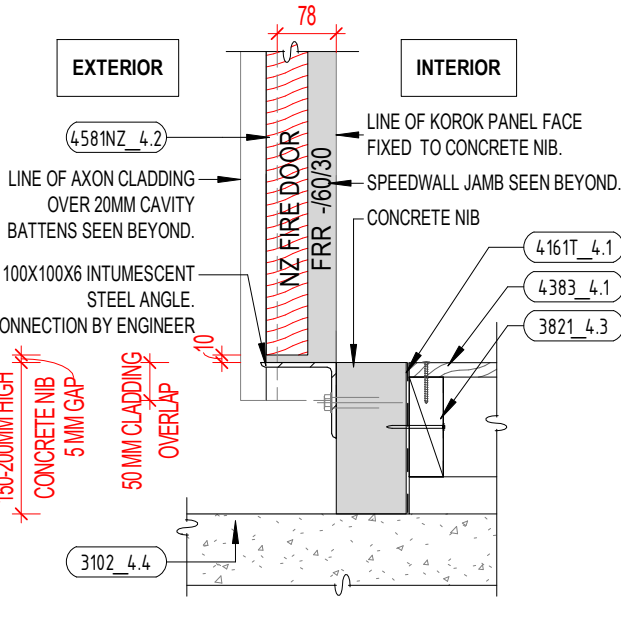
SCALE: 1:10
03 / A5-A5050
FIRE DOOR HEAD DETAIL 03



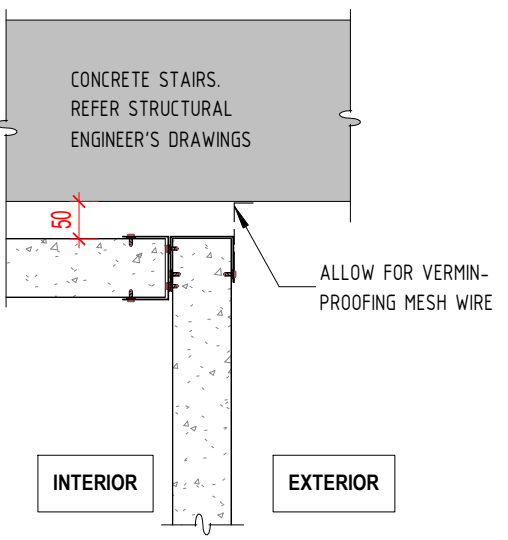
SCALE: 1:10
02 / A5-A5050
TOP OF SLAB DETAIL 08



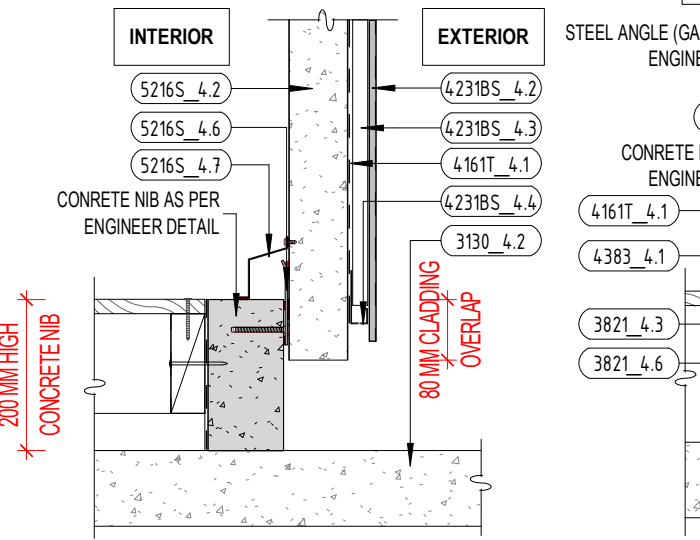
SCALE: 1:10
03 / A5-A5050
TOP OF SLAB DETAIL 05



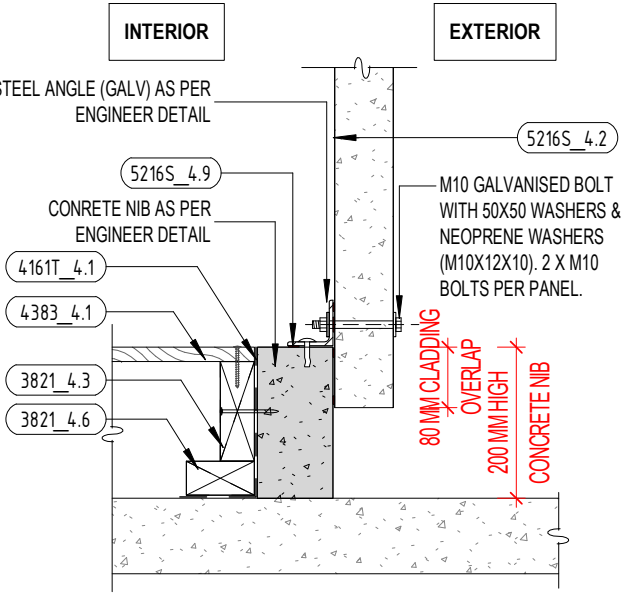
SCALE: 1:10
03 / A5-A5050
FIRE DOOR SILL DETAIL 02



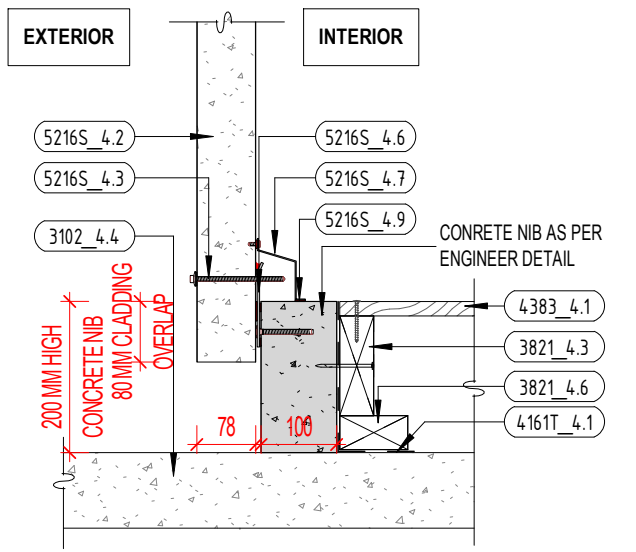
SCALE: 1:10
TOP OF SLAB DETAIL 10



SCALE: 1:10
KOROK & AXON BASE DETAIL 07



SCALE: 1:10
KOROK-CUSTOM BASE DETAIL 04



SCALE: 1:10
03 / A5-A5050
KOROK-PROPRIETARY BASE DETAIL 01

Young+Richards+

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444

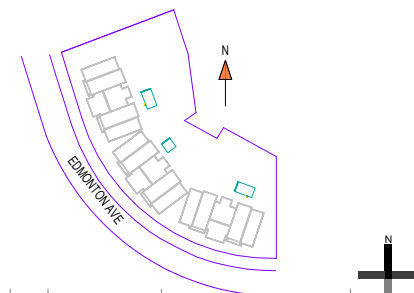


CLIENT
DOMINION CONSTRUCTORS LTD

PROJECT NAME
8-18 EDMONTON AVENUE

PROJECT ADDRESS
8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER
200003



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
• ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
• BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
• FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
• FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
• THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
• THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
• DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
DETAILS - SERVICE ROOM

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1:10

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-D5640

REVISION
1

File: BIM_360//200003-8_18 Edmonton Ave/200003-8_18 Edmonton Ave.rvt
Printed: 17/12/2020 3:43:38 pm



CLIENT

DOMINION
 CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

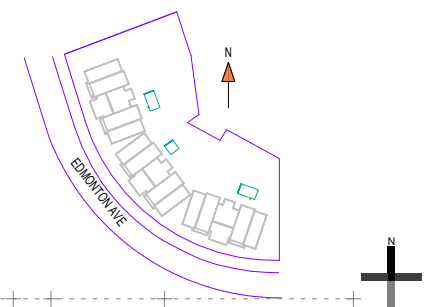
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

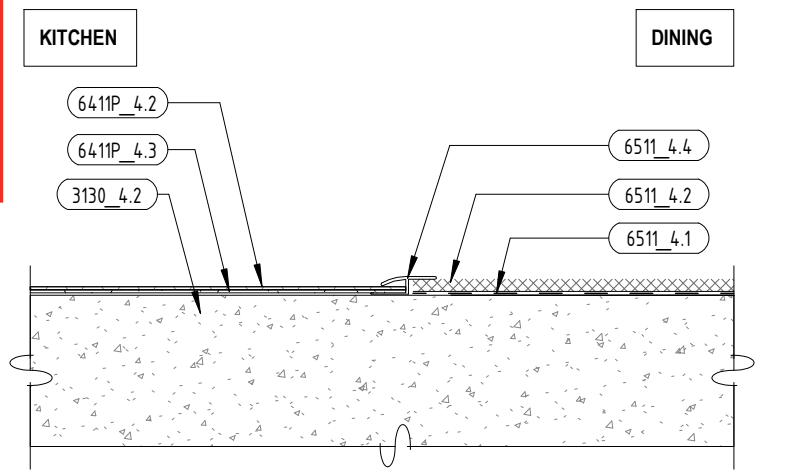
200003

KEY PLAN



STAMP

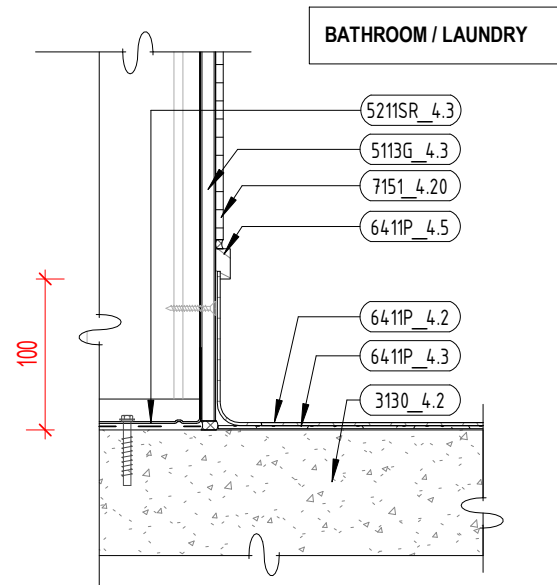
Key Value	Keynote Text
3130_4.2	STRUCTURAL PANELS 125MM - REFER TO STRUCTURAL ENGINEERS DRAWINGS
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
5113G_4.1	GIB® STANDARD SYSTEMS WALLS
5113G_4.3	GIB® WATER RESISTANT SYSTEMS WALLS
5151_4.2	INTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM
5211SR_4.3	SRP™ TRACK SECTIONS 92MM
6411P_4.2	POLYFLOR VINYL FLOORING - XL PUR/FOREST FX PUR
6411P_4.3	POLYFLOR VINYL ACOUSTIFOAM
6411P_4.5	TRIMS AND EDGING
6511_4.1	UNDERLAY: DUNLOP - 8MM
6511_4.2	CARPET : GODFREY HIRST - 3MM
6511_4.4	DIVIDER STRIPS - ALUMINIUM
7151_4.20	ACRYLIC SHOWER LINER



SCALE: 1:5

TYP. FLOORING TRANSITION

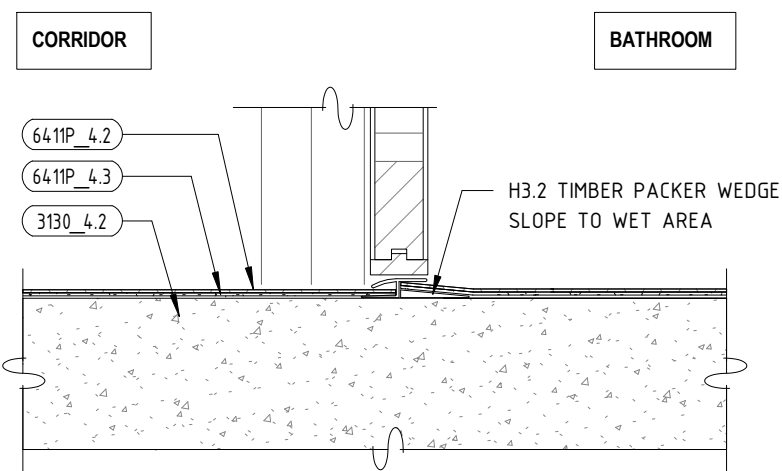
04



SCALE: 1:5

TYP. SKIRTING DETAIL_OVER CONCRETE FLOOR

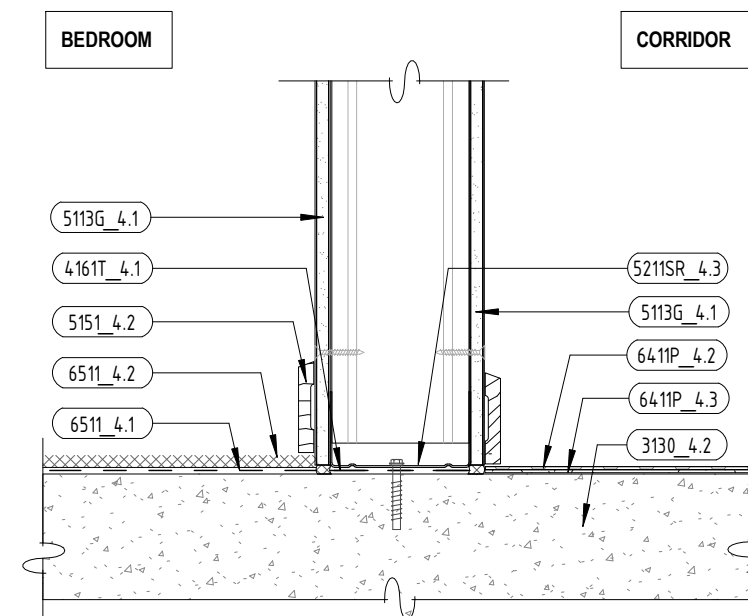
02



SCALE: 1:5

TYP. FLOORING TRANSITION

03



SCALE: 1:5

TYP. SKIRTING DETAIL_OVER CONCRETE FLOOR

01

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - FINISH/ TRANSITION

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:5

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-D6510

REVISION

1

Key Value	Keynote Text
7123_4.7	PIPEWORK INSULATION

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

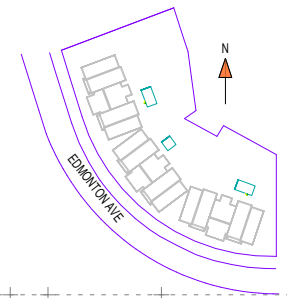
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
• ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
• BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
• FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
• FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
• THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
• THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
• DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - HWC

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 5

SHEET SIZE

A3=100%

PRINT IN COLOUR

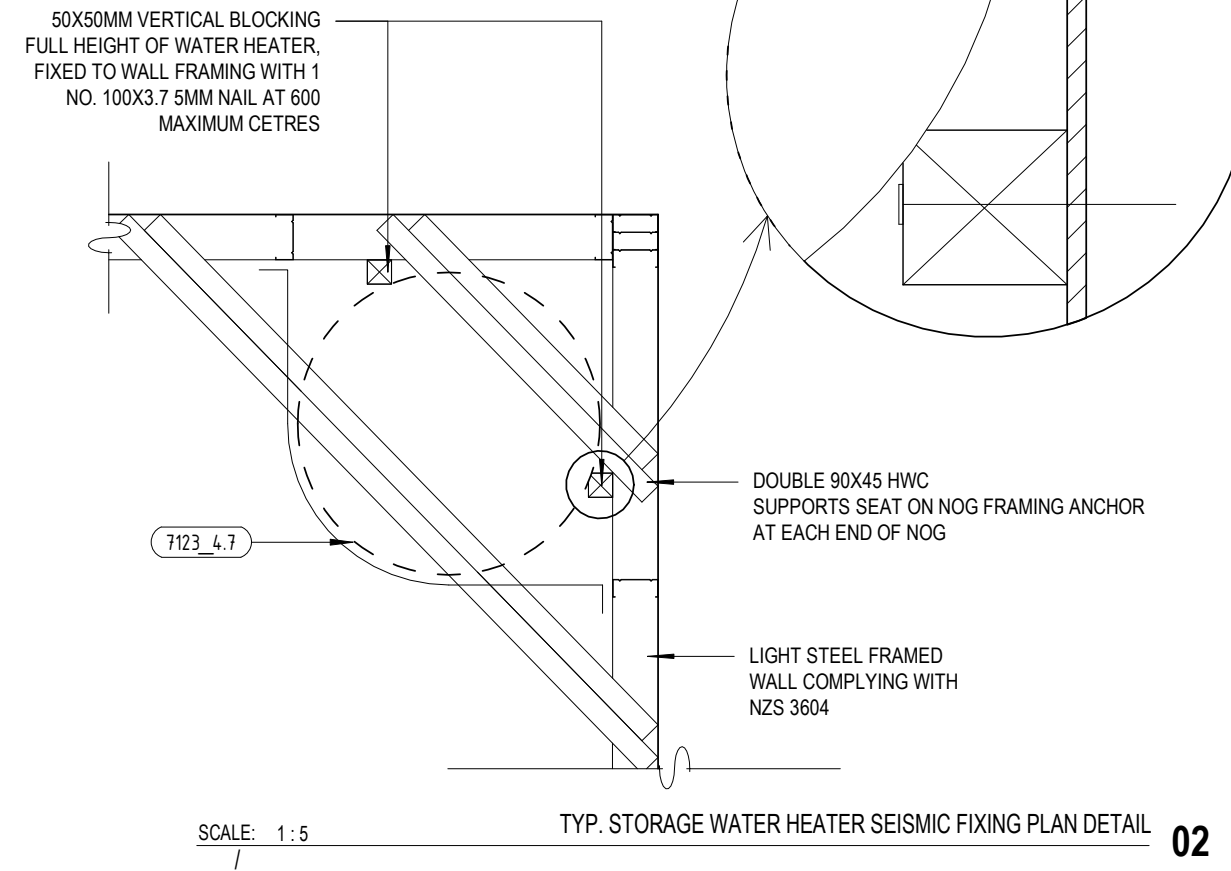


SHEET NUMBER

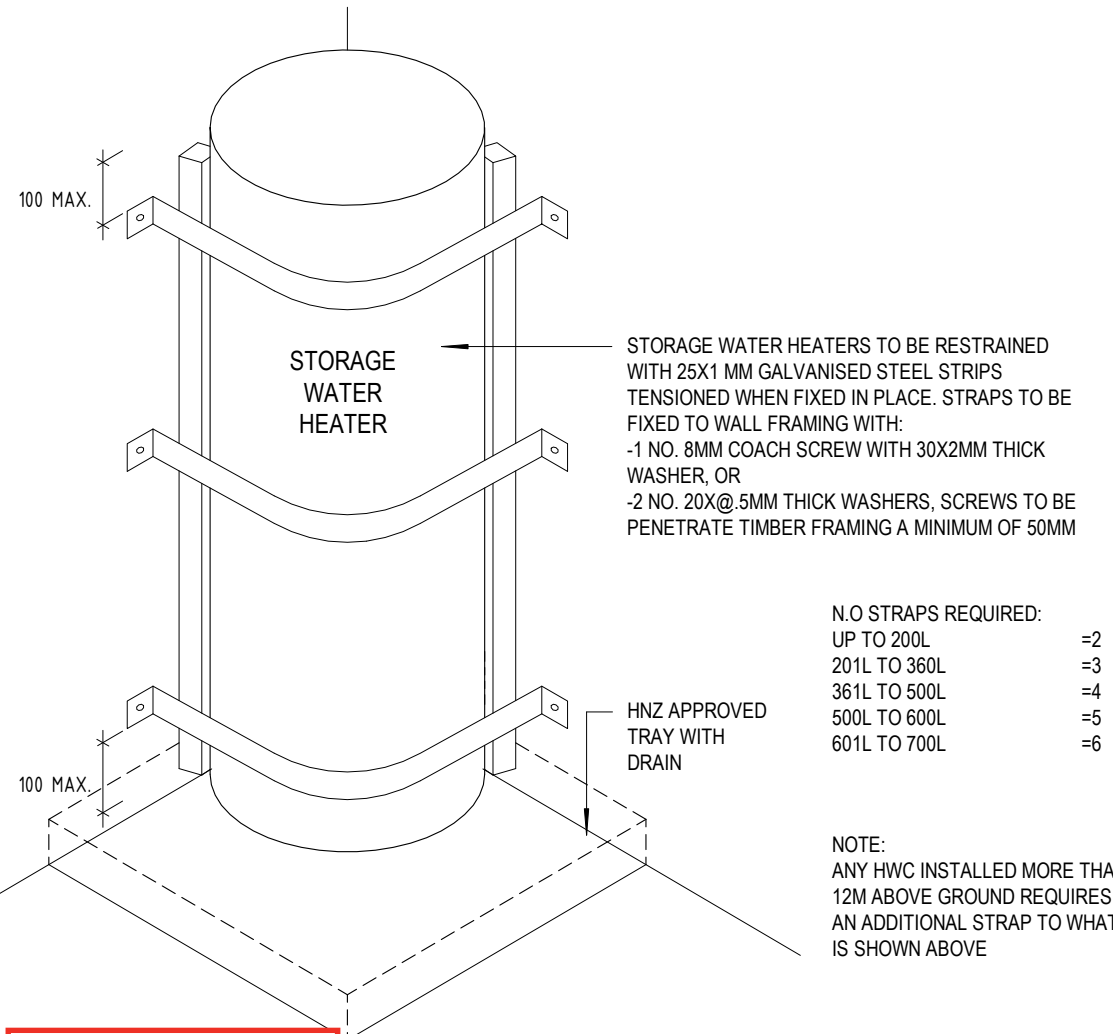
A5-D7130

REVISION

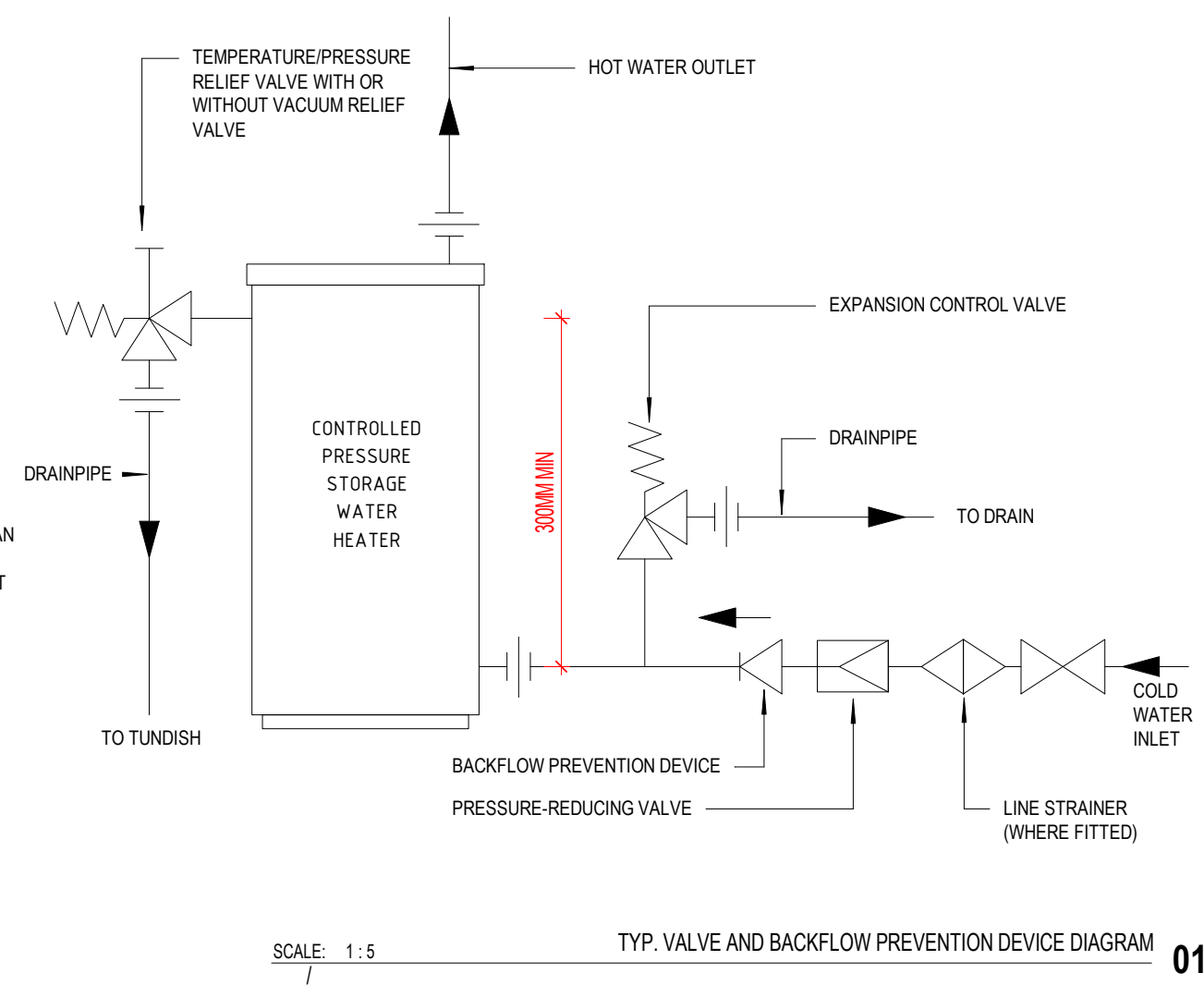
1



SCALE: 1:5 TYP. STORAGE WATER HEATER SEISMIC FIXING PLAN DETAIL 02



SCALE: 1:5 TYP. STORAGE WATER HEATER SEISMIC FIXING PERSPECTIVE 03



SCALE: 1:5 TYP. VALVE AND BACKFLOW PREVENTION DEVICE DIAGRAM 01

File: B:\M\3607\200003-8_18 Edmonton Ave\200003-8_18 Edmonton Ave.rvt
 17/12/2020 3:43:42 pm
 Print:



Key Value	Keynote Text
2242_4.1	EARTH FILL – NOT REQUIRED TO SUPPORT BUILDINGS OR SURFACES
2242_4.2	GRANULAR FILL MATERIAL – SPECIFIC DESIGN - 150MM
2242_4.3	BLINDING LAYER – SPECIFIC DESIGN - 25MM
2242_4.6	SITE CONCRETE
3102_4.4	NORMAL CONCRETE
3102_4.6	SURFACE FINISHES PAVEMENTS AND DRIVEWAYS
3130_4.2	STRUCTURAL PANELS 125MM - REFER TO STRUCTURAL ENGINEERS DRAWINGS
3130_4.5	STRUCTURAL PANELS - THICKNESS REFER TO STRUCTURAL ENGINEERS DRAWINGS
3130_4.6	CONCRETE COLOUR
3130_4.10	WATERPROOFING FOR EXTERNAL OPENINGS
3410	STRUCTURAL STEEL
3410_4.2	STEELWORK BEING GALVANIZED
3411D_4.1	DIMOND DHS PURLINS
3821_4.1	INTERIOR FRAMING - NOG H1.2
3821_4.3	EXTERIOR FRAMING - BLOCKING H3.2
3821_4.4	SOFFIT FRAMING - H3.1
3821_4.6	EXTERIOR FRAMING PACKERS/FILLETS - H3.1
3821_4.7	TIMBER SILL - H3.1
3821_4.8	INTERIOR FRAMING PACKERS - H1.2
3821_4.9	INTERIOR ROOF PURLINS - 45X 70MM @900 MAX.
3821_4.10	RAFTERS - 45X140MM @600 MAX.
3821_4.13	17MM H3.2 PLYWOOD BEHIND LINING FOR FIXTURE FIXING
3821_4.14	NAILS
4131AL_4.1	ALLCO VOLCLAY WATERSTOP RX
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4161T_4.2	THERMATHENE BLACK™ 250UM DPM
4161T_4.3	COVERTEK 407 ROOFING UNDERLAY
4224_4.1	TIMBER TRIM, H3.1 SG8
4239JH_4.1	HARDIFLEX™ EAVES LINING - 6MM
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4311RI_4.3	MULTIFIT EXTERNAL AND CONCEALED FASCIA
4311RI_4.4	ROOFING INDUSTRIES - GUTTER
4311RI_4.7	DEKITE PIPE FLASHING
4311RI_4.8	SELLWOOD ROOF ACCESS HATCH - SRH800800
4383_4.1	EXTERIOR DECKING - 100 X 40 RAD PREMIUM GRIP TREAD H 3.2
4383_4.2	50 X 50 RADIATA PREMIUM GRADE H 3.2 M GAUGED 1.2 M
4383_4.3	ADJUSTABLE UPVC PEDESTALS - NURAJACK OR EQUIVALENT
4424SG_4.1	SIKA SARNAFIL® G 476-20 LOOSE-LAID MEMBRANE
4424SG_4.2	SIKA ADHESIVE SARNAFOL
4424SG_4.3	SIKA SARNAFIL G410 L
4432_4.1	1.5MM GRIPSET 2P - WATERPROOFING MEMBRANE
4521FA_4.6	FAIRVIEW ARCHITECTURAL CUBIC AC35 SERIES WINDOW
4521FA_4.7	FAIRVIEW ARCHITECTURAL CUBIC AC35 SERIES - EXTERNAL STACKING DOOR, 35MM PLATFORM
4521FA_4.8	PLASTIC PACKER
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4521FA_4.11	ALUMINIUM ANGLE 30 X 30MM
4581NZ_4.1	NZ FIRE DOORS DOORSET - EXTERIOR 60 MINUTE FIRE DOORS
4581NZ_4.2	NZ FIRE DOORS DOORSET - UTILITY ROOM
4581NZ_4.3	NZ FIRE DOORS DOORSET - SPEEDWALL JAMB
4582_4.1	PACIFIC PFW60 FIRE WINDOW, FRR -60/30
4711_4.1	ROCKWOOL PROROX SL 950SA, DENSITY 80KG/M³
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4711M_4.3	MAMMOTH CEILING BLANKET - R3.6 - 225MM THICK
4711M_4.4	MAMMOTH CEILING BLANKET - R2.9 - 115MM THICK
4711M_4.5	MAMMOTH CARPARK PANEL - R1.7 - 70MM THICK
4811_4.1	AIR SEAL AND JOINT FILLER
4811_4.2	JOINTING SEALANT, INTERNAL
4811_4.6	BEAD OF SEALANT, FIX ALL 220LM MS POLYMER
4811_4.7	SANITARY FIXTURES SEALANT
4811S_4.4	SIKAFLEX® CONSTRUCTION AP - WEATHER AND AIR SEAL

Key Value	Keynote Text
4811S_4.5	SIKAFLEX® - 400 FIRE - WEATHER AND AIR SEAL
4811S_4.8	SIKAHYFLEX®-250 FACADE- WEATHER AND AIR SEAL
4811S_4.9	SIKAFLEX® AT-FACADE
4821_4.3	FLASHINGS: WINDOW / DOOR JAMB
4821_4.12	FLASHINGS: EAVES FLASHING
4821_4.13	FLASHINGS: SOFFIT BACKFLASHING
4821_4.14	FLASHINGS: BARGE
4821_4.15	FLASHINGS: APRON
4821_4.16	FLASHINGS: APEX
4821_4.22	FLASHING TAPE - SIKAPROOF® TAPE-150 A
4821_4.23	FLASHINGS: CAPPING
4821_4.24	FLASHINGS: CHASED FLASHING
5113G_4.1	GIB® STANDARD SYSTEMS WALLS
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5113G_4.3	GIB® WATER RESISTANT SYSTEMS WALLS
5113G_4.4	GIB® WATER RESISTANT SYSTEMS WALLS
5113G_4.5	GIB® STANDARD SYSTEMS CEILINGS
5113G_4.7	GIB® SOUND RATED SYSTEMS
5113G_4.10	GIB® RONDO® CEILING BATTENS
5113G_4.11	GIB® TAPE ON EDGE OR CORNER TRIMS
5113G_4.12	GIB® EDGE PROFILES
5151_4.1	INTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM
5151_4.2	INTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM
5151_4.5	INTERNAL TIMBER TRIM: HEAD LINER
5151_4.6	INTERNAL TIMBER TRIM: SILL LINER
5151_4.7	INTERNAL TIMBER TRIM: JAMB LINER
5211SR_4.2	SRP™ TRACK SECTIONS 64MM
5211SR_4.3	SRP™ TRACK SECTIONS 92MM
5211SR_4.5	SRP™ STUD SECTIONS 64MM, CRS 600MM MAX.
5211SR_4.6	SRP™ STUD SECTIONS 92MM, CRS 600MM MAX.
5211SR_4.7	SRP EXTENDED STRAPPING BRACKET
5211SR_4.9	THERMAL BREAKER 10MM, THERMAX B
5211SR_4.10	SRP ADJ CLIP/WALL BRACKET WITH 16MM FURRING CHANNEL
5211SR_4.11	INSULATION-KNAUF RIGID POLYSTYRENE BOARD
5211SR_4.12	25MM XPS STRIP FOAM-KNAUF CLIMAFOAM POLYSTYRENE INSULATION
5216S_4.2	KOROK PANELS
5216S_4.3	KOROK PANELS FIXING -14G X 115 STEELTITE SCREW
5216S_4.4	KOROK PANELS FIXING -10G X 16 SCREW
5216S_4.5	KOROK® C TRACK
5216S_4.6	EXTERNAL STEEL BASE ANGLE
5216S_4.7	KOROK® EX1 BASE COVER FLASHING
5216S_4.8	KOROK® EXTERNAL FLASHING
5216S_4.9	SIKAFLEX - 400 FIRE RATED SEALANT
5231_4.4	STANDARD DOORS
5231_4.5	STANDARD DOORSETS, SIDE HUNG DOOR
5313SR_4.1	CEILING BATTEN SYSTEM - SUSPENSION - TOP CROSS RAIL SYSTEM
5313SR_4.2	SRP™ CEILING BATTEN 35MM
6411P_4.1	TEST FOR MINIMUM SLIP RESISTANCE REQUIREMENTS
6411P_4.2	POLYFLOR VINYL FLOORING - XL PUR/FOREST FX PUR
6411P_4.3	POLYFLOR VINYL ACOUSTIFOAM
6411P_4.5	TRIMS AND EDGING
6511_4.1	UNDERLAY: DUNLOP - 8MM
6511_4.2	CARPET : GODFREY HIRST - 3MM
6511_4.4	DIVIDER STRIPS - ALUMINIUM
6614GE_4.1	GILT EDGE - GILTGRIP ECOGLO EGRP1 ALUMINIUM STAIR NOSING - SINGLE INSERT
7123_4.3	PVC-U PIPE
7123_4.7	PIPEWORK INSULATION
7151_4.1	TOILET
7151_4.3	WC BASINS
7151_4.4	SHOWER TRAY & ENCLOSURE
7151_4.5	SHOWER MIXER
7151_4.6	KITCHEN SINK

Key Value	Keynote Text
7151_4.7	KITCHEN SINK MIXER
7151_4.8	LAUNDRY TUB
7151_4.11	MEDICINE CABINET/MIRROR
7151_4.13	ACCESSORIES: ROLL HOLDER
7151_4.15	ACCESSORIES: TOWEL RAIL
7151_4.17	ACCESSIBLE TOILET
7151_4.20	ACRYLIC SHOWER LINER
7382RF_4.3	FIRE THERM INTUCOLLAR FIRE COLLAR
7421_4.1	SANITARY SYSTEMS - PVC-U WASTE PIPES AND TRAPS
7421_4.2	SANITARY SYSTEMS - PVC-U VENT PIPE
7451AE	ALLPROOF EXTERIOR SURFACE DRAINAGE SOLUTIONS
7451AE_4.1	ALLPROOF PLASTIC DOMESTIC DRAINAGE CHANNEL SYSTEM
7451AE_4.2	ALLPROOF PLASTIC DRAINAGE PIT
7451AE_4.4	ALLPROOF SUREFLOW80 OVERFLOW
7451AE_4.5	ALLPROOF ALLTHROUGH
7612HE_4.3	HOMETECH™ CEILING MOUNTED FAN, DUCTED THROUGH EXTERIOR WALL
7612HE_4.4	HOMETECH™ WALL MOUNTED FAN, DUCTED THROUGH EXTERIOR WALL
7701_4.10	OVEN
7701_4.11	RANGE HOOD
7701_4.12	HEATPUMP INDOOR & OUTDOOR UNITS
7701_4.13	REFRIGERATOR



Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

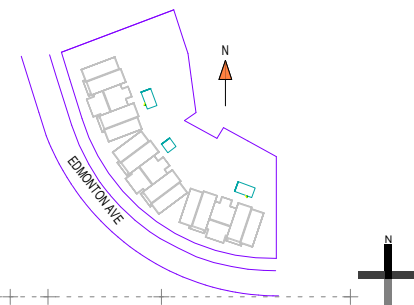
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

SPECIFICATION KEY NOTES

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

None

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-D9000

REVISION

1

Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
 CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

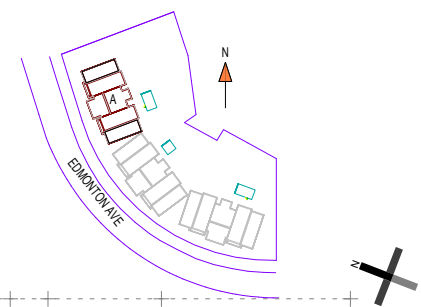
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
COLOUR SCHEME BLOCK A

PROJECT STATUS
BC-CONSTRUCTION-STAGE3







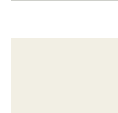





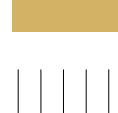
SHEET SCALE
1 : 1

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-X0010

REVISION
1

-  **ROOFING**
 PRODUCT: XX
 COLOUR: THUNDER GREY
-  **GUTTERS**
 COLOUR: THUNDER GREY
-  **PRECAST PANEL**
 COLOUR: RESENE STACK
-  **PRECAST PANEL**
 COLOUR: RESENE QUILL GREY
-  **PRECAST PANEL**
 COLOUR: DULUX FRANZ JOSEF
-  **PRECAST PANEL**
 COLOUR: RESENE QUILL GREY
-  **FASCIAS AND SOFFITS**
 COLOUR: RESENE DOUBLE SEA FOG
-  **JOINERY**
 COLOUR: IRONSAND
-  **ALUMINIUM FENCING**
 COLOUR: GREY FRIARS
-  **BALUSTRADES AND HANDRAILS**
 COLOUR: MATT DESERT SAND
-  **STAIRWELL LOUVRES**
 COLOUR: MATT IRONSAND
-  **WINDOWS / DOOR PANELS**
 COLOUR: WAX WAY
-  **TIMBER FENCING**
 COLOUR: LEAVE AS PLAIN



ColourChoice A

Colour Name: All ceilings are white.

WALL Half Spanish White	CUPBOARDS - Painted Quarter Wheatfield	CARPET Jade 970	NON-SLIP VINYL FLOOR Autumn Beige 4140
TRIM Quarter Wheatfield	TRIM Quarter Wheatfield	VINYL FLOOR OPTION A Dark Olive	VINYL FLOOR OPTION B Porcelain 3880
SKIRTING Quarter Wheatfield or the chosen wall colour	SKIRTING Quarter Wheatfield or the chosen wall colour		

ColourChoice B

Colour Name: All ceilings are white.

WALL Half Spanish White	CUPBOARDS - Painted Quarter Wheatfield	CARPET Jade 970	NON-SLIP VINYL FLOOR Autumn Beige 4140
TRIM Half Fossil	TRIM Quarter Wheatfield	VINYL FLOOR OPTION A Dark Olive	VINYL FLOOR OPTION B Porcelain 3880
SKIRTING Quarter Wheatfield or the chosen wall colour	SKIRTING Quarter Wheatfield or the chosen wall colour		

Young+ Richards+

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



CLIENT

DOMINION
CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

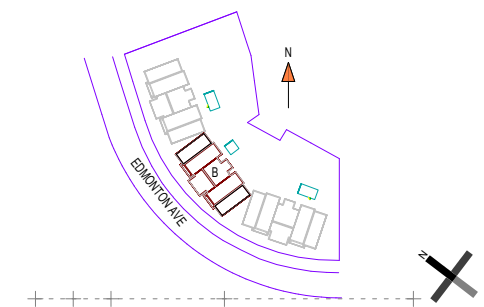
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

COLOUR SCHEME BLOCK B

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1:1

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-X0011

REVISION

1

- ROOFING**
PRODUCT: XX
COLOUR: THUNDER GREY
- GUTTERS**
COLOUR: THUNDER GREY
- PRECAST PANEL**
COLOUR: RESENE STACK
- PRECAST PANEL**
COLOUR: RESENE QUILL GREY
- PRECAST PANEL**
COLOUR: RESENE DOUBLE CANTERBURY CLAY
- PRECAST PANEL**
COLOUR: RESENE QUILL GREY
- FASCIAS AND SOFFITS**
COLOUR: RESENE DOUBLE SEA FOG
- JOINERY**
COLOUR: IRONSAND
- ALUMINIUM FENCING**
COLOUR: GREY FRIARS
- BALUSTRADES AND HANDRAILS**
COLOUR: MATT DESERT SAND
- STAIRWELL LOUVRES**
COLOUR: MATT IRONSAND
- WINDOWS / DOORS PANELS**
COLOUR: RESENE PEWTER
- TIMBER FENCING**
COLOUR: LEAVE AS PLAIN



ColourChoice A

Colour Name [Patterned Wall] All ceilings are white.

WALL Half Spanish White	CUPBOARDS - Painted Quarter Wheatfield	CARPET Cuda 752	NON-SLIP VINYL FLOOR Autumn Beige 4140
TRIM Quarter Wheatfield	SKIRTING Quarter Wheatfield or the chosen wall colour	VINYL FLOOR OPTION A Fibre 3020	VINYL FLOOR OPTION B Sage 1000

ColourChoice B

Colour Name [Plain Wall] All ceilings are white.

WALL OPTION A Half Spanish White	CUPBOARDS - Painted Quarter Wheatfield	CARPET Jade 970	NON-SLIP VINYL FLOOR Autumn Beige 4140
WALL OPTION B Half Fossil	TRIM Quarter Wheatfield	VINYL FLOOR PORCELAIN 3880	

Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ
 P.O. Box 8171, Symonds Street, Auckland 1150 NZ
 info@youngrichards.com www.youngrichards.com
 +64 9 520 6444



Auckland Council

18/12/2020
BCO10313722-3

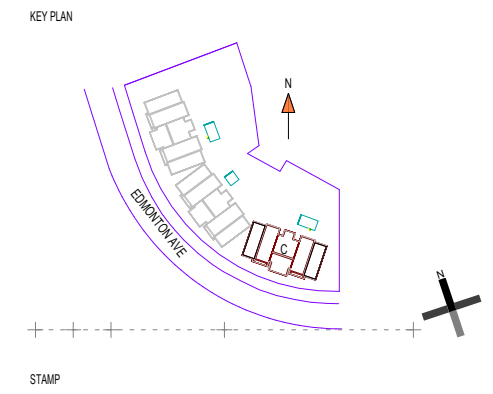
APPROVED
BUILDING CONSENT PLANS

CLIENT
DOMINION CONSTRUCTORS LTD

PROJECT NAME
8-18 EDMONTON AVENUE

PROJECT ADDRESS
**8-18 EDMONTON AVENUE,
 ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER
200003



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
- BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
- FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
- FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
- THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME
COLOUR SCHEME BLOCK C

PROJECT STATUS
BC-CONSTRUCTION-STAGE3

SHEET SCALE
1 : 1

SHEET SIZE
A3=100%

PRINT IN COLOUR

SHEET NUMBER
A5-X0012

REVISION
1

- ROOFING**
PRODUCT: XX
COLOUR: THUNDER GREY
- GUTTERS**
COLOUR: THUNDER GREY
- PRECAST PANEL**
COLOUR: RESENE STACK
- PRECAST PANEL**
COLOUR: RESENE QUILL GREY
- PRECAST PANEL**
COLOUR: RESENE JUDGE GREY
- PRECAST PANEL**
COLOUR: RESENE QUILL GREY
- FASCIAS AND SOFFITS**
COLOUR: RESENE DOUBLE SEA FOG
- JOINERY**
COLOUR: IRONSAND
- ALUMINIUM FENCING**
COLOUR: GREY FRIARS
- BALUSTRADES AND HANDRAILS**
COLOUR: MATT DESERT SAND
- STAIRWELL LOUVRES**
COLOUR: MATT IRONSAND
- WINDOWS / DOORS PANELS**
COLOUR: RESENE BLUE BAYOUX
- TIMBER FENCING**
COLOUR: LEAVE AS PLAIN

Kāinga Ora
Homes and Communities

Interior colour choices

Resene
JULY 2020

ColourChoice A

Colour Name

WALL: Half Spanish White, Half Fossil

SKIRTING: Quarter Wheatfield or the chosen wall colour

CUPBOARDS - Painted: Quarter Wheatfield

TRIM: Quarter Wheatfield

SKIRTING: Quarter Wheatfield or the chosen wall colour

CARPET: Jade 970

NON-SLIP VINYL FLOOR: Autumn Beige 4140

VINYL FLOOR: ORT1034

All ceilings are white.

ColourChoice B

Colour Name

WALL: Half Spanish White, Half Fossil

SKIRTING: Quarter Wheatfield or the chosen wall colour

CUPBOARDS - Painted: Quarter Wheatfield

TRIM: Quarter Wheatfield

SKIRTING: Quarter Wheatfield or the chosen wall colour

CARPET: Jade 970

NON-SLIP VINYL FLOOR: Autumn Beige 4140

VINYL FLOOR: Porcelain 3880

All ceilings are white.

DOOR, FRAME SCHEDULE

DOOR ASSEMBLY TYPE

Young+ Richards+

Ad Edwin Street, Mount Eden, Auckland 1024 NZ
P.O. Box 8171, Symonds Street, Auckland 1150 NZ
info@youngrichards.com www.youngrichards.com
+64 9 520 6444



CLIENT

DOMINION CONSTRUCTORS LTD

PROJECT NAME

8-18 EDMONTON AVENUE

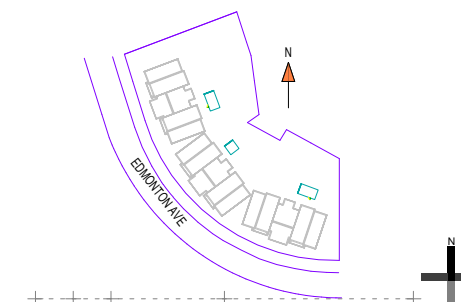
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

- THE FINE PRINT**
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 - BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 - FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 - FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 - THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DOOR SCHEDULES, ASSEMBLY TYPES, HARDWARE GROUPS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 50

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

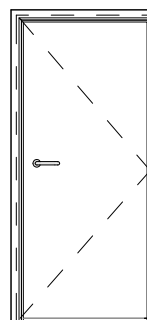
A5-X4501

REVISION

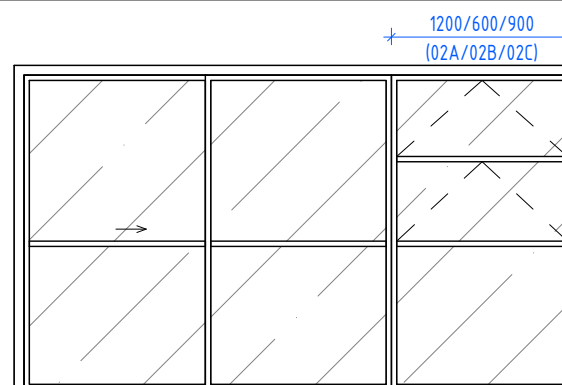
2

NUM	TYPE	DOOR			MATERIAL	FINISH	TRIM		FRAME MATERIAL	FRAME FINISH	REMARKS
		WIDTH	HEIGHT	THK			WIDTH	HEIGHT			
D-01-01	D-01A	910	1980	54	TIMBER	PAINT	1000	2030	TIMBER	PAINT	FRR-/60/30SM
D-01-02	D-02C	2980	2190	35	ALUMINIUM	POWDER COATING	3000	2200	ALUMINIUM	POWDER COATING	
D-01-03	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-01-03A	D-05	1420	1980	38	POLYSTYRENE CORE	PAINT	1480	2030	TIMBER	PAINT	
D-01-04	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-01-04A	D-05	1420	1980	38	POLYSTYRENE CORE	PAINT	1480	2030	TIMBER	PAINT	
D-01-05	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-01-06	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-01-06A	D-05	1420	1980	38	POLYSTYRENE CORE	PAINT	1480	2030	TIMBER	PAINT	
D-01-07	D-03B	760	1980	38	POLYSTYRENE CORE	PAINT	810	2030	TIMBER	PAINT	
D-01-08	D-04A	1420	1980	38	POLYSTYRENE CORE	PAINT	1470	2030	TIMBER	PAINT	
D-01-08A	D-03C	610	1980	38	POLYSTYRENE CORE	PAINT	660	2030	TIMBER	PAINT	
D-02-01	D-01A	910	1980	54	TIMBER	PAINT	1000	2030	TIMBER	PAINT	FRR-/60/30SM
D-02-02	D-02C	2980	2190	35	ALUMINIUM	POWDER COATING	3000	2200	ALUMINIUM	POWDER COATING	
D-02-03	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-02-03A	D-05	1420	1980	38	POLYSTYRENE CORE	PAINT	1480	2030	TIMBER	PAINT	
D-02-04	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-02-04A	D-05	1420	1980	38	POLYSTYRENE CORE	PAINT	1480	2030	TIMBER	PAINT	
D-02-05	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-02-06	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-02-06A	D-05	1420	1980	38	POLYSTYRENE CORE	PAINT	1480	2030	TIMBER	PAINT	
D-02-07	D-03B	760	1980	38	POLYSTYRENE CORE	PAINT	810	2030	TIMBER	PAINT	
D-02-08	D-04A	1420	1980	38	POLYSTYRENE CORE	PAINT	1470	2030	TIMBER	PAINT	
D-02-08A	D-03C	610	1980	38	POLYSTYRENE CORE	PAINT	660	2030	TIMBER	PAINT	
D-03-01	D-01A	910	1980	54	TIMBER	PAINT	1000	2030	TIMBER	PAINT	FRR-/60/30SM
D-03-01A	D-03E	460	1980	38	POLYSTYRENE CORE	PAINT	510	2030	TIMBER	PAINT	
D-03-02	D-02A	3780	2190	35	ALUMINIUM	POWDER COATING	3800	2200	ALUMINIUM	POWDER COATING	
D-03-03	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-03-03A	D-04C	920	1980	38	POLYSTYRENE CORE	PAINT	970	2030	TIMBER	PAINT	
D-03-04	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-03-04A	D-04B	1120	1980	38	POLYSTYRENE CORE	PAINT	1170	2030	TIMBER	PAINT	
D-03-05	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-03-06	D-04B	1120	1980	38	POLYSTYRENE CORE	PAINT	1170	2030	TIMBER	PAINT	
D-03-07	D-03D	510	1980	38	POLYSTYRENE CORE	PAINT	560	2030	TIMBER	PAINT	
D-04-01	D-01A	910	1980	54	TIMBER	PAINT	1000	2030	TIMBER	PAINT	FRR-/60/30SM
D-04-01A	D-03C	610	1980	38	POLYSTYRENE CORE	PAINT	660	2030	TIMBER	PAINT	
D-04-02	D-02B	2580	2190	35	ALUMINIUM	POWDER COATING	2600	2200	ALUMINIUM	POWDER COATING	
D-04-02A	D-04C	920	1980	38	POLYSTYRENE CORE	PAINT	970	2030	TIMBER	PAINT	
D-04-03	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-04-03A	D-04C	920	1980	38	POLYSTYRENE CORE	PAINT	970	2030	TIMBER	PAINT	
D-04-04	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-04-05	D-03D	510	1980	38	POLYSTYRENE CORE	PAINT	560	2030	TIMBER	PAINT	
D-05-01	D-01A	910	1980	54	TIMBER	PAINT	1000	2030	TIMBER	PAINT	FRR-/60/30SM
D-05-01A	D-03E	460	1980	38	POLYSTYRENE CORE	PAINT	510	2030	TIMBER	PAINT	
D-05-02	D-02A	3780	2190	35	ALUMINIUM	POWDER COATING	3800	2200	ALUMINIUM	POWDER COATING	
D-05-03	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-05-03A	D-04C	920	1980	38	POLYSTYRENE CORE	PAINT	970	2030	TIMBER	PAINT	
D-05-04	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-05-04A	D-04B	1120	1980	38	POLYSTYRENE CORE	PAINT	1170	2030	TIMBER	PAINT	
D-05-05	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-05-06	D-04B	1120	1980	38	POLYSTYRENE CORE	PAINT	1170	2030	TIMBER	PAINT	
D-05-07	D-03D	510	1980	38	POLYSTYRENE CORE	PAINT	560	2030	TIMBER	PAINT	
D-06-01	D-01A	910	1980	54	TIMBER	PAINT	1000	2030	TIMBER	PAINT	FRR-/60/30SM
D-06-01A	D-03E	460	1980	38	POLYSTYRENE CORE	PAINT	510	2030	TIMBER	PAINT	
D-06-02	D-02A	3780	2190	35	ALUMINIUM	POWDER COATING	3800	2200	ALUMINIUM	POWDER COATING	
D-06-03	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-06-03A	D-04C	920	1980	38	POLYSTYRENE CORE	PAINT	970	2030	TIMBER	PAINT	
D-06-04	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-06-04A	D-04B	1120	1980	38	POLYSTYRENE CORE	PAINT	1170	2030	TIMBER	PAINT	
D-06-05	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-06-06	D-04B	1120	1980	38	POLYSTYRENE CORE	PAINT	1170	2030	TIMBER	PAINT	
D-06-07	D-03D	510	1980	38	POLYSTYRENE CORE	PAINT	560	2030	TIMBER	PAINT	
D-07-01	D-01A	910	1980	54	TIMBER	PAINT	1000	2030	TIMBER	PAINT	FRR-/60/30SM
D-07-01A	D-03C	610	1980	38	POLYSTYRENE CORE	PAINT	660	2030	TIMBER	PAINT	
D-07-02	D-02B	2580	2190	35	ALUMINIUM	POWDER COATING	2600	2200	ALUMINIUM	POWDER COATING	
D-07-02A	D-04C	920	1980	38	POLYSTYRENE CORE	PAINT	970	2030	TIMBER	PAINT	
D-07-02B	D-03D	510	1980	38	POLYSTYRENE CORE	PAINT	560	2030	TIMBER	PAINT	
D-07-02C	D-03D	510	1980	38	POLYSTYRENE CORE	PAINT	560	2030	TIMBER	PAINT	
D-07-03	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-07-03A	D-04C	920	1980	38	POLYSTYRENE CORE	PAINT	970	2030	TIMBER	PAINT	
D-07-04	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-07-05	D-03D	510	1980	38	POLYSTYRENE CORE	PAINT	560	2030	TIMBER	PAINT	
D-08-01	D-01A	910	1980	54	TIMBER	PAINT	1000	2030	TIMBER	PAINT	FRR-/60/30SM
D-08-02	D-02A	3780	2190	35	ALUMINIUM	POWDER COATING	3800	2200	ALUMINIUM	POWDER COATING	
D-08-08	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-08-09	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-08-10	D-03A	860	1980	38	POLYSTYRENE CORE	PAINT	910	2030	TIMBER	PAINT	
D-08-11	D-04C	920	1980	38	POLYSTYRENE CORE	PAINT	970	2030	TIMBER	PAINT	
D-08-12	D-04B	1120	1980	38	POLYSTYRENE CORE	PAINT	1170	2030	TIMBER	PAINT	
D-08-13	D-04B	1120	1980	38	POLYSTYRENE CORE	PAINT	1170	2030	TIMBER	PAINT	
D-08-14	D-03E	460	1980	38	POLYSTYRENE CORE	PAINT	510	2030	TIMBER	PAINT	
D-08-15	D-03D	510	1980	38	POLYSTYRENE CORE	PAINT	560	2030	TIMBER	PAINT	
D-BS	D-06	1320	1980	38	TIMBER	PAINT	1410	2025	ALUMINIUM	POWDER COATING	FRR-/30/-SM
D-SR	D-01B	810	1680	54	TIMBER	PAINT	900	1730	TIMBER	PAINT	FRR-/60/30SM

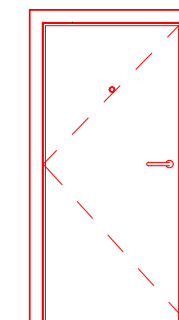
Grand total: 84



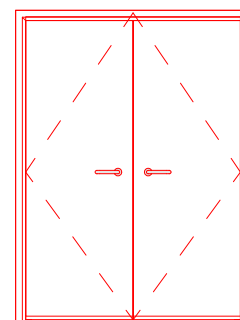
D-03
INT. HINGED DOOR
QTY:D-03A(860x1980): 24
D-03B(760x1980): 2
D-03C(610x1980): 4
D-03D(510x1980): 8
D-03E(460x1980): 4
TOTAL: 42



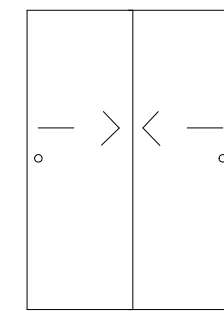
D-02
ALU. SLIDING DOOR
QTY:D-02A(3700x2150): 4
D-02B(2500x2150): 2
D-02C(2900x2150): 2
TOTAL: 8



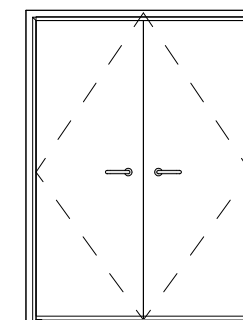
D-01
FRR HINGED DOOR
QTY:D-01A(910x1980): 8
D-01B(810x1680): 1
TOTAL: 9



D-06
EXT. DOUBLE HINGED DOOR
QTY:D-BS(1320x1980): 1
SITE TOTAL: 2



D-05
INT. DOUBLE SLIDING DOOR
(1120x1980)
QTY: 6



D-04
INT. DOUBLE HINGED DOOR
QTY:D-04A(1420x1980): 2
D-04B(1120x1980): 8
D-04C(910x1980): 8
TOTAL: 18



NOTE:
WINDOW AND DOOR MANUFACTURER IS RESPONSIBLE FOR THE PERFORMANCE, COMPLIANCE, CERTIFICATION, WARRANTIES AND ANY NECESSARY SHOP DRAWINGS OF PROPRIETARY UNITS - REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION





CLIENT



PROJECT NAME

8-18 EDMONTON AVENUE

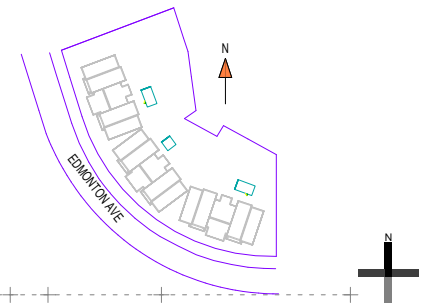
PROJECT ADDRESS

**8-18 EDMONTON AVENUE,
ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



NUM	Type Mark	WINDOW		SILL HEIGHT	TRIM		FRAME		REMARKS
		WIDTH	HEIGHT		WIDTH	HEIGHT	MATERIAL	FRAME FINISH	
W-01-01	W-10	2800	1000	1210	2820	1020	ALUMINIUM	POWDER COATING	CORNER WINDOW, DEEP 750mm
W-01-03	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-01-03A	W-03	600	1400	800	620	1420	ALUMINIUM	POWDER COATING	
W-01-04	W-05	800	1400	800	820	1420	ALUMINIUM	POWDER COATING	
W-01-04A	W-02	2400	1500	710	2420	1520	ALUMINIUM	POWDER COATING	
W-01-05	W-04	850	600	1610	870	620	ALUMINIUM	POWDER COATING	
W-01-06	W-09	1500	1300	910	1520	1320	ALUMINIUM	POWDER COATING	
W-01-07	W-07	1200	300	2110	1220	320	ALUMINIUM	POWDER COATING	-/60/-sm FRR
W-02-01	W-10	2800	1000	1210	2820	1020	ALUMINIUM	POWDER COATING	CORNER WINDOW, DEEP 750mm
W-02-03	W-03	600	1400	800	620	1420	ALUMINIUM	POWDER COATING	
W-02-03A	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-02-04	W-05	800	1400	800	820	1420	ALUMINIUM	POWDER COATING	
W-02-04A	W-02	2400	1500	710	2420	1520	ALUMINIUM	POWDER COATING	
W-02-05	W-04	850	600	1610	870	620	ALUMINIUM	POWDER COATING	
W-02-06	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-02-07	W-07	1200	300	2110	1220	320	ALUMINIUM	POWDER COATING	-/60/-sm FRR
W-03-01	W-01	2000	1000	1210	2020	1020	ALUMINIUM	POWDER COATING	
W-03-03	W-03	600	1400	810	620	1420	ALUMINIUM	POWDER COATING	
W-03-03A	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-03-04	W-05	800	1400	810	820	1420	ALUMINIUM	POWDER COATING	
W-03-04A	W-02	2400	1500	710	2420	1520	ALUMINIUM	POWDER COATING	
W-03-05	W-04	850	600	1610	870	620	ALUMINIUM	POWDER COATING	
W-03-06	W-05	800	1400	800	820	1420	ALUMINIUM	POWDER COATING	
W-04-01	W-08	1500	300	2110	1520	320	ALUMINIUM	POWDER COATING	-/60/-sm FRR
W-04-03	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-04-04	W-08	1500	300	2110	1520	320	ALUMINIUM	POWDER COATING	-/60/-sm FRR
W-05-01	W-01	2000	1000	1210	2020	1020	ALUMINIUM	POWDER COATING	
W-05-03	W-03	600	1400	810	620	1420	ALUMINIUM	POWDER COATING	

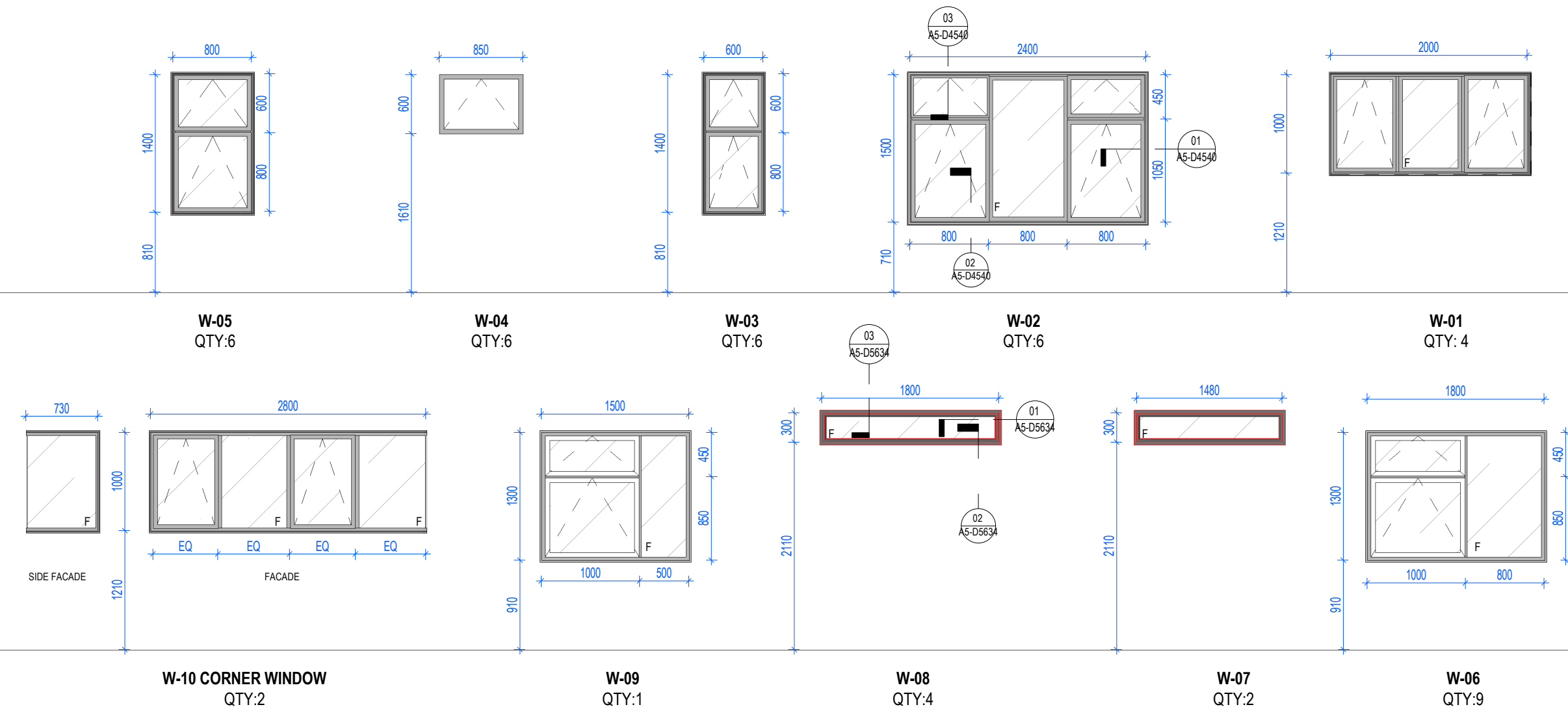
NUM	Type Mark	WINDOW		SILL HEIGHT	TRIM		FRAME		REMARKS
		WIDTH	HEIGHT		WIDTH	HEIGHT	MATERIAL	FRAME FINISH	
W-05-03A	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-05-04A	W-02	2400	1500	710	2420	1520	ALUMINIUM	POWDER COATING	
W-05-05	W-04	850	600	1610	870	620	ALUMINIUM	POWDER COATING	
W-06-01	W-01	2000	1000	1210	2020	1020	ALUMINIUM	POWDER COATING	
W-06-03	W-03	600	1400	810	620	1420	ALUMINIUM	POWDER COATING	
W-06-03A	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-06-04	W-05	800	1400	810	820	1420	ALUMINIUM	POWDER COATING	
W-06-04A	W-02	2400	1500	710	2420	1520	ALUMINIUM	POWDER COATING	
W-06-05	W-04	850	600	1610	870	620	ALUMINIUM	POWDER COATING	
W-07-01	W-08	1500	300	2110	1520	320	ALUMINIUM	POWDER COATING	-/60/-sm FRR
W-07-03	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-07-04	W-08	1500	300	2110	1520	320	ALUMINIUM	POWDER COATING	-/60/-sm FRR
W-08-01	W-01	2000	1000	1210	2020	1020	ALUMINIUM	POWDER COATING	
W-08-03	W-03	600	1400	810	620	1420	ALUMINIUM	POWDER COATING	
W-08-03A	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-08-04	W-05	800	1400	810	820	1420	ALUMINIUM	POWDER COATING	
W-08-04A	W-02	2400	1500	710	2420	1520	ALUMINIUM	POWDER COATING	
W-08-05	W-04	850	600	1610	870	620	ALUMINIUM	POWDER COATING	

Grand total: 46

NOTE:
1. RESTRICTORS TO ALL OPERABLE SASHES ON GROUND FLOOR AND ANY SASH WITH SILL UNDER 1.5M ABOVE FFL.
2. DOUBLE TONGUE LATCHES REQUIRED FOR ALL OPENING SASHES.

NOTE:
WINDOW AND DOOR MANUFACTURER IS RESPONSIBLE FOR THE PERFORMANCE, COMPLIANCE, CERTIFICATION, WARRANTIES AND ANY NECESSARY SHOP DRAWINGS OF PROPRIETARY UNITS - REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION

WINDOW ASSEMBLY TYPE



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR



THE FINE PRINT
 • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 • BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 • FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 • FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 • THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS' DOCUMENTATION.
 • THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 • DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

**WINDOW SCHEDULES, ASSEMBLY TYPES,
HARDWARE GROUPS**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE

1 : 50

SHEET SIZE

A3=100%

PRINT IN COLOUR



SHEET NUMBER

A5-X4502

REVISION

1