DOMINION CONSTRUCTORS LTD



8-18 EDMONTON AVENUE

BC-CONSTRUCTION-STAGE3

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**



STAGE 3 OF 3 - BULK OF WORKS, ENCLOSURE, FIT OUT AND SERVICE

BXG

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B&A

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Greenwood Associates

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FireForce Limited

Fire Engineer PO Box 6341, Upper Riccarton Christchurch Will@fireforce.co.nz +64 3 343 4225 Contact: Will Tsai

Piritahi

Surveyor Level 8, 139 Quay Street, Auckland 1010 rebecca.coe@piritahi.co.nz 027 311 8350 Contact: Rebecca Coe

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Kirk Roberts Consulting Ltd

Traffic Planning Consultants Ltd

Traffic Engineer

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Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444

Kainga Ora

Senior Development Manager PO Box 74598 Greenlane Auckland 1546 021 195 0331 Contact: Gideon Van Tonder

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BUILDING CONSENT STAG BC3 CONSENTIUM RFI

11/12/20

20/11/20

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8-18 EDMONTON AVENUE



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A5-A2033	PROPOSED OVERALL SITE PLAN - ROOF	1
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A5-A2360	PROPOSED BLOCK C GROUND FLOOR SLAB SETOUT PLANS	1
A5-A2361	PROPOSED BLOCK C FIRST FLOOR SLAB SETOUT PLANS	2
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A5-A3040	PROPOSED BLOCK A GROUND FLOOR CONSTRUCTION PLAN	2
A5-A3041	PROPOSED BLOCK A FIRST FLOOR CONSTRUCTION PLAN	2
A5-A3042	PROPOSED BLOCK A SECOND FLOOR CONSTRUCTION PLAN	2
A5-A3043	PROPOSED BLOCK A ROOF CONSTRUCTION PLAN	1
A5-A3050	PROPOSED BLOCK B GROUND FLOOR CONSTRUCTION PLAN	2
A5-A3051	PROPOSED BLOCK B FIRST FLOOR CONSTRUCTION PLAN	2
A5-A3052	PROPOSED BLOCK B SECOND FLOOR CONSTRUCTION PLAN	2
A5-A3053	PROPOSED BLOCK B ROOF CONSTRUCTION PLAN	1
A5-A3060	PROPOSED BLOCK C GROUND FLOOR CONSTRUCTION PLAN	2
A5-A3061	PROPOSED BLOCK C FIRST FLOOR CONSTRUCTION PLAN	2
A5-A3062	PROPOSED BLOCK C SECOND FLOOR CONSTRUCTION PLAN	2
A5-A3063	PROPOSED BLOCK C ROOF CONSTRUCTION PLAN	1
A5-A3840	PROPOSED BLOCK A GROUND FLOOR FRAMING PLAN	1
A5-A3841	PROPOSED BLOCK A FIRST FLOOR FRAMING PLAN	1
A5-A3842	PROPOSED BLOCK A SECOND FLOOR FRAMING PLAN	1
A5-A3850	PROPOSED BLOCK B GROUND FLOOR FRAMING PLAN	1
A5-A3851	PROPOSED BLOCK B FIRST FLOOR FRAMING PLAN	1
A5-A3852	PROPOSED BLOCK B SECOND FLOOR FRAMING PLAN	1
A5-A3860	PROPOSED BLOCK C GROUND FLOOR FRAMING PLAN	1
A5-A3861	PROPOSED BLOCK C FIRST FLOOR FRAMING PLAN	1
A5-A3862	PROPOSED BLOCK C SECOND FLOOR FRAMING PLAN	1
A5-A4040	PROPOSED BLOCK A ELEVATIONS (NORTH & EAST)	2
A5-A4041	PROPOSED BLOCK A ELEVATIONS (SOUTH & WEST)	2
A5-A4050	PROPOSED BLOCK B ELEVATIONS (NORTH & EAST)	2
A5-A4051	PROPOSED BLOCK B ELEVATIONS (SOUTH & WEST)	2
A5-A4060	PROPOSED BLOCK C ELEVATIONS (NORTH & EAST)	2
A5-A4061	PROPOSED BLOCK C ELEVATIONS (SOUTH & WEST)	2
A5-A4070	RISK MATRIX-E2	1
A5-A4240	PROPOSED BUILDING SECTIONS	1
A5-A4270	PROPOSED WALL SECTIONS	1
A5-A4271	PROPOSED WALL SECTIONS	1
A5-A4272	PROPOSED WALL SECTIONS	1
A5-A4273	PROPOSED WALL SECTIONS	1
A5-A5040	BLOCK A&C GL STAIR SETOUT PLAN	1
A5-A5041	BLOCK A&C L1 & L2 STAIR SETOUT PLAN	1
A5-A5042	BLOCK A&C STAIR SECTIONS	1
A5-A5050	BLOCK A&C GL SERVICE ROOM PLAN	1
A5-A5080	TYPICAL BIKE AND BIN STORAGE PLAN	2
A5-A5140	BLOCK A ENTRY PLAN	1
A5-A5150	BLOCK B ENTRY PLAN	1
A5-A5160	BLOCK C ENTRY PLAN	1
A5-A5240	INTERIOR ELEVATIONS	1

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A5-A5243	INTERIOR ELEVATIONS	1	
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A5-A7441	PROPOSED BLOCK A FIRST FLOOR PLUMBING & DRAINAGE PLAN	2	
A5-A7442	PROPOSED BLOCK A SECOND FLOOR PLUMBING & DRAINAGE PLAN	2	
A5-A7450	PROPOSED BLOCK B GROUND FLOOR PLUMBING & DRAINAGE PLAN	2	
A5-A7451	PROPOSED BLOCK B FIRST FLOOR PLUMBING & DRAINAGE PLAN	2	
A5-A7452	PROPOSED BLOCK B SECOND FLOOR PLUMBING & DRAINAGE PLAN	2	
A5-A7460	PROPOSED BLOCK C GROUND FLOOR PLUMBING & DRAINAGE PLAN	2	
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A5-A7480	DRAINAGE SCHEMATICS	3	
A5-A7740	PROPOSED BLOCK A GROUND FLOOR DATA & ELECTRICAL PLAN	3	
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A5-A7750	PROPOSED BLOCK B GROUND FLOOR DATA & ELECTRICAL PLAN	3	
A5-A7751	PROPOSED BLOCK B FIRST FLOOR DATA & ELECTRICAL PLAN	3	
A5-A7752	PROPOSED BLOCK B SECOND FLOOR DATA & ELECTRICAL PLAN	3	
A5-A7760	PROPOSED BLOCK C GROUND FLOOR DATA & ELECTRICAL PLAN	3	
A5-A7761	PROPOSED BLOCK C FIRST FLOOR DATA & ELECTRICAL PLAN	3	
A5-A7762	PROPOSED BLOCK C SECOND FLOOR DATA & ELECTRICAL PLAN	3	
A5-D2300	DETAILS - FOUNDATION	1	
A5-D2301	DETAILS - FOUNDATION	1	
A5-D2302	DETAILS - FOUNDATION	1	
A5-D3100	DETAILS - EXTERIOR WALLS	1	
A5-D3101	DETAILS - EXTERIOR WALLS	1	
A5-D3102	DETAILS - EXTERIOR WALLS	1	
A5-D3103	DETAILS - EXTERIOR WALLS	1	
A5-D3110	DETAILS - INTERIOR WALLS	1	
A5-D3130	DETAILS - PRECAST BALCONY	1	
A5-D3131	DETAILS - PRECAST BALCONY	2	
A5-D4271	DETAILS - BALUSTRADE	2	
A5-D4272	DETAILS - BALUSTRADE	2	
A5-D4273	DETAILS - ENTRY BALUSTRADE	1	
A5-D4330	DETAILS - ROOF	2	
A5-D4331	DETAILS - ROOF	2	
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A5-D4333	DETAILS - ROOF	1	
A5-D4334	DETAILS - ROOF	1	
A5-D4335	DETAILS - ROOF	1	
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A5-D4340	DETAILS - ROOF	3	
A5-D4341	DETAILS - ROOF	1	
A5-D4530	DETAILS - EXTERIOR DOORS	1	
A5-D4531	DETAILS - INTERIOR DOORS	1	
A5-D4540	DETAILS - EXTERIOR WINDOWS	1	
A5-D5430	DETAILS - INTERIOR WATERPROOFING	1	
A5-D5431	DETAILS - INTERIOR WATERPROOFING	1	
A5-D5630	DETAILS - FIRE/INTERTENANCY WALLS	1	
A5-D5631	DETAILS - INTERNAL WALLS	1	
A5-D5632	DETAILS - INTERNAL WALLS	1	
A5-D5634	DETAILS - FIRE WINDOW	1	
A5-D5635	DETAILS - FIRE DOOR	2	
A5-D5636	DETAILS - FIRE DOOR	1	
A5-D5637	DETAILS - FIRE DOOR	3	
A5-D5638	DETAILS - BREEZEWAY 2	2	
A5-D5640	DETAILS - SERVICE ROOM	1	Augklose
A5-D6510	DETAILS - FINISH/ TRANSITION	1	Auckland Counci
A5-D7130	DETAILS - HWC	18/12/202	
A5-D9000	SPECIFICATION KEY NOTES		
A5-X0010	COLOUR SCHEME BLOCK A	BCO103137	
A5-X0011	COLOUR SCHEME BLOCK B	1 APP	ROVED
A5-X0012	COLOUR SCHEME BLOCK C	BUILDING (CONSENT
A5-X4501	DOOR SCHEDULES, ASSEMBLY TYPES, HARDWARE GROUPS	2	
A5-X4502	WINDOW SCHEDULES, ASSEMBLY TYPES, HARDWARE GROUPS	1	

Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444





8-18 EDMONTON AVENUE

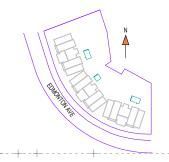
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



STAMP

AUCKLAND COUNCIL Reviewed By: Kishore Rana Date: 14/12/2020 DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RILLES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PRAT OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.

 FOR BUILDERS RESPONSBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.

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SHEET NAME

DRAWING INDEX

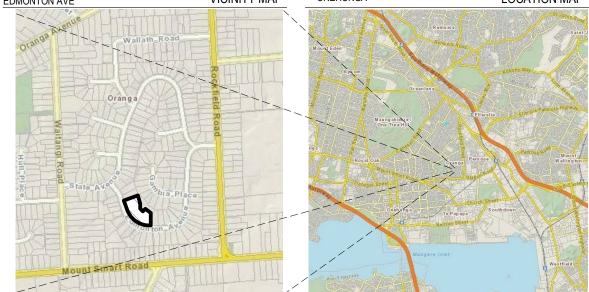
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE None

SHEET SIZE A3=100%

ONEHUNGA VICINITY MAP **LOCATION MAP EDMONTON AVE**







AV	Audio-Visual Consultant	LA	Landscape Consultant
CE	Civil Engineer	ME	Mechanical Engineer
CL	Cladding Consultant	QS	Quantity Surveyor
CN	Council	RW	Roofing & Waterproofing
CO	Contractor	SE	Structural Engineer
EL	Electrician	SS	Site Surveyor
EE	Electrical Engineer + Lighting	TN	Tenderers
FE	Fire Engineer	SRP	Client
GE	Geotechnical Engineer		

LEGAL DESCRIPTION

SITE ADDRESS 8-18 EDMONTON AVE **ONEHUNGA**

AUCKLAND 1061

TERRITORIAL AUTHORITY **AUCKLAND COUNCIL**

FORMER AUTHORITY

LOT/DEPOSIT PLAN LOT 3, 4,144, 145 & 146/ DP55308, LOT 147/DP 37889

CERTIFICATE OF TITLE CT-1597/83

SITE AREA $3167M^2$ (LOT3 = $395M^2$ +LOT 4 = $519M^2$ + LOT144 = $546M^2$

+ LOT 145 = 554M² + LOT 146 = 584 M² + LOT 147 = 569M²)

ZONE RESIDENTIAL: MIXED -HOUSING URBAN ZONE

WIND ZONE LOW WIND ZONE

EARTHQUAKE ZONE ZONE 1

EXPOSURE ZONE ZONE C (NZS 3604:2011 Fig 5.4)

STORMWATER MANAGEMENT AREA SMA4

PLANNING CONTROLS

MAX HEIGHT 11M (16.6.1.2)

HEIGHT-TO-BOUNDARY 3M+45° (STANDARD), 3.6M + 0° (1M HORIZONTAL) + 73° (1M

HORIZONTAL) + 45°

12M ROOF

BUILDING COVERAGE 45% MAX IMPERVIOUS AREA 60%

DENSITY

YARDS FRONT:2.5M REAR:1M SIDE:1M

OUTDOOR LIVING SPACE NOT LESS THAN 20 M2, NO DIMENSION LESS THAN 4M

60M2 IF ADJACENT TO LIVING ROOM

CONTAIN 6M Ø CIRCLE

GRADIENT NO GREATER THAN 20%

(16.6.2.4)

SERVICE COURT NOT LESS THAN 20M²

NO DIMENSION LESS THAN 3M

MAY BE SITUATED IMMEDIATELY ADJACENT TO OUTDOOR

LIVING SPACE

(16.6.2.5)

FIT WITHIN 130° ANGLE FROM BOUNDARY **BUILDING LENGTH**

(16.6.1.10)

VEHICLE ACCESS 3.0M ENTRY STRIP MIN

2.5M CARRIAGE WAY MIN

(16.6.1.13)

PROJECT INFORMATION Young+ Richards+

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DOMINION

8-18 EDMONTON AVENUE

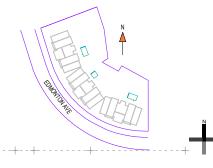
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8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

Auckland ******Council

18/12/2020

BCO10313722-3

APPROVED

BUILDING CONSENT PLANS

AUCKLAND COUNCIL Reviewed Kishore Rana Date: 14/12/2020 DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHKE
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
				-

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 FOR BUILDER'S RESPONSIBILITY ER FERE TO NZ BUILDING ACT, SECTION 14E.

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VICINITY, LOCATION, PROJECT INFORMATION

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE None





BUILDING ELEMENT

ENCLOSED SUBLFOOR FRAMING

EXPOSED SUBFLOOR FRAMING

VERANDA POSTS IN GROUND

WALL FRAMING WEATHER EXPOSED

ROOF FRAMING WEATHER EXPOSED

CLADDING OR EXTERIOR TRIMS PAINTED

EXTERNAL WALL FRAMING E2/AS1 20mm CAVITY CLADDING

DECK PILES IN GROUND

DECK JOISTS/BEARERS

SHINGLES/SHAKES

FENCE POSTS

CAVITY BATTENS

PARAPET FRAMING

INTERIOR WALL FRAMING

ROOF SARKING TIMBER

FURNITURE

PLYWOOD

FLOORING

PERMITTED.

NOTE 2: FOR NON-STRUCTURAL USE OF RADIATA PINE, DOUGLAS FIR AND OTHER SPECIES, REFER TO NZS 3602: 2003 TABLE 3.

NOTE 4: FLOORING IN WET AREAS MAY REQUIRE TIMBER OR PLYWOOD TREATED TO H3.1 REFER TO NZS 3602:2003 FOR FULL

NOTE 1: FOR STRUCTURAL USE OF OTHER SPECIES, REFER TO NZS 3602: 2003 TABLES 1 AND 2.

ZONE 1

R 2.9

R 1.9

R 1.3

R 0.26

R 0.26

NOTE 3: A HIGHER TREATMENT LEVEL ALSO SATISFIES THE LEVEL SPECIFIED IN THIS TABLE

JOINERY

ROOF FRAMING - ROOF SPACE

FENCE RAILS AND PALINGS

EXTERIOR PLYWOOD PAINTED

BALCONY BARRIER EXPOSED

BALCONY WALL FRAMING ENCLOSED

ROOF FRAMING - LOW SLOPE/SKILLION

ENCLOSED CANTILEVERED FLOOR JOISTS

ROOF SARKING PLYWOOD MEMBRANE ROOF

WINDOW REVEALS TO ALUMINIUM WINDOWS

INTERIOR TRIMS/ SKIRTINGS/ ARCHITRAVES

DOUGLAS FIR MAY BE USED UNTREATED ON LOW-RISK DESIGN

APPLICATIONS WHERE H 1.2 BORIC - TREATED RADIANA PINE IS

H 1.2 BORIC - TREATED DOUGLAS FIR MAY BE USED IN ALL FRAMING

MINIMUM R-VALUE INSULATION TABLE

H1/AS1 TABLE 1

ZQNE 3

⟨R∕₹.₹/

R 20

B 1.3

R 0.26

(R∕0.31/

BUILDINGS AS DEFINED IN AMENDMENT 7 TO B2/AS1/

ZONE 2

/R 2.9

R 1.9

R 1.3

R 0.26

R 0,26

VERANDA POSTS SUPPORTED CLEAR OF GROUND

DECK JACK STUDS SUPPORTED CLEAR OF GROUND

PILES, POLES

DECKING

AFF

ALT

ACCES

ACOUS

ANNUN

ANND

APPI

ARCH

AUTO

AVG

BLKG

ΒN

CEILING CEMENT(ITIOUS) CENTER TO CENTER **CENTERS** CFRAMIC CHECK ON SITE CLEARED GROUND LEVEL COATG COATING COILG COILING CONC CONCRETE CONCRETE MASONRY UNIT

ABOVE FINISHED FLOOR

ACCESSORY

ALUMINUM

 $\Delta N\Pi$

ALTERNATE

ANNUNCIATOR

ARCHITECT(URAL)

ANODIZED

APPLIANCE

AUTOMATIC

AVERAGE

BLOCKING

BOLLARD

BOTTOM OF

BROADI OON

BUILDING

BUILT UP

CARINET

CARPET

BOARD

ACOUSTIC(AL)

CMU CONSTR CONSTRUCTION CONT CONTINUOUS(ATION) CONTR CONTRACT(OR) rov COVER DPC DAMP-PROOF COURSE DPM DAMP-PROOF MEMBRANE DEPT DEPARTMENT

DES DESIGN(ED) DET DETAIL DIAMETER DIA DIFF DIFFUSER DIM DIMENSION DSCON DISCONNECT DISP DISPENSER DIV NUISINI

DOLLAR (NZ CURRENCY) DR DOOR DBL DOUBLE DN DOWN DWR DRAWER DF DRINKING FOUNTAIN E | ELAST ELASTOMERIC

FLFC ELECTRICAL **EMBED** EMBEDD(ED)(ING) **FNGR** ENGINEER(ED) ENTR FNTRANCE ΕQ EQUAL EQUIP **EQUIPMENT EXIST EXISTING**

FD

FE

FIN

FR

FXD

FXTR

FLR

FURN

FWC

EXP JT EXPANSION JOINT **EXPS** EXPOSE(D) EXT **EXTERIOR** FAB **FABRICATION** FLOOR DRAIN FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FHC FIRE HOSE CABINET FINISH FFL FINISHED FLOOR LEVEL FINISHED GROUND LEVEL FGL FLDG **FOLDING** FPLC FIREPLACE FIRE RAT(ING)(FD FRMG FRAMING

FIXFD

FIXTURE

FLOOR(ING)

FURNITURF

FABRIC WALL COVERING

GAUGE GLASS FIBER REINF. CONCRETE GLASS FIBER REINF. GYPSUM GLASS FIBER REINF. PLASTER **GLASS** GRAD(E)(ING) GYPSIIM HEAD HARDWOOD HARDWARE

HDWD **HDWR** НМ HOLLOW METAL HORI7 HORIZONTAL HVAC HEATING, VENTILATING, AND AIR CONDITIONING INFO INFORMATION **INSTRUM** INSTRUMENT(ATION)

G | GA

GFRC

GFRG

GFRP

GL

GR

| GYP

HD

I VR

N

N0

NTS

OPNG

OPR

0VFL

REINF

RESIL

RFG

RM

RO

0 | 00

INSUL INSULATION INTLK INTERLOCK(ING INT INTERIOR INFILTRATION INFILTR .I JAN JANITOR

K | KIT KITCHEN LAVATORY L LAV PULIND LB BRITISH POUND (CURRENCY) £ ΙT LIGHT

LVLG LEVELING LOUVER MAX MAXIMUM MANUFACTURED MFD MANUFACTURE

MFR MECH MECHANICAL MET METAL MFMR MEMBRANE MEZZ MEZZANINE MIN MINIMUM

MISC **MISCELLANEOUS** MLWK MILLWORK MOIST MOISTURE MOT MOTOR(IZED) MTD MOUNTED NIC

NOT IN CONTRACT **NUMBER** NOT TO SCALE ON CENTERS OPENING(S) OPFRABLE OVERFLOW

OVHD OVERHEAD NRNA ORNAMENTAL PTN PARTITION PEDTR **PEDESTRIAN** PBD PARTICLE BOARD PNI PANEL **POLYST** POLYSTYRENE

PORT PORTABLE **PREFIN** PREFINISHED PREFAB PREFABRICATED ΡΙ ΔΜ PLASTIC LAMINATE PLAS PLASTER **PLSTC** PLASTIC

PLYW00D PLYWD PRTECN **PROTECTION** RDR READER RECES RECESSED RECP1 RECEPTACLE REF REFER(ENCE) REFL REFLECTED REFR REFRIGERATOR REQD REQUIRED **RESIS** RESIST(ANT)(IVE)

REINFORCE(D)(ING)(MENT)

RELATIVE LEVEL

ROUGH OPENING

RESILIENT

ROOFING

MUUA

SCR SCRIRE S SECUR SECURITY SLAB LEVEL SGL SINGLE SHORG SHORING SIMII AR SIM STAINLESS STEEL SST STANDARD STD STI STFFI STRFR STOREFRONT STRUCT STRUCTURAL SURF SURFACE SUSP SUSPENDED SYS SYSTEM(S) THK THICK TLT TOIL FT ፐዴና TONGUE AND GROOVE T.0. TOP OF TRAF TRAFFIC TRANS TRANSPARENT

TRTD TREATED TYP TYPICAL UNDRLY UNDERLAYMENT UTILITY UTIL UNLESS NOTED OTHERWISE UNO v | VEH **VEHICLE** VERT **VERTICAL** VIF VFRIFY IN FIFI D

> W/ WITH WC WATER CLOSET WD WOOD WDW WINDOW W/0 WITHOUT WΤ WEIGHT WATERPROOFING WTRPRE

W

DRAWING SYMBOLS LEGEND

W-101 WINDOW TAG

(D-101) DOOR TAG

DETAIL REFERENCE TAG A14.00

BUILDING SECTION

DETAIL SECTION

01 A11.00 EXTERIOR ELEVATION

A12.00 INTERIOR ELEVATION

Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com +64 9 520 6444



DOMINION

8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER 200003

KEY PLAN

BUILDING CONSENT STAGE 3 20/11/20

ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESQUINCE MANAGEMENT ACT, NZ BULDING ACT, RELEVANT
STANDARDS, GONDWANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE
WORK. REFER TO NZ BULDING ACT, SECTION 17.
 BULDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND
VALID BULDINGS CONSENT. REFER TO NZ BULDING ACT, SECTION 40.
 FOR ALL RESTRICTED BULDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS
STAMPED BY THE RELEVANT BULDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING
CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 FOR BULDER'S RESPONSIBILITIES REFER TO NZ BULDING ACT, SECTION 14E.
 THIS DRAWING SHALL BE READ IN COMJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND
CONSULTANTS DOCUMENTATION.
 THE BULDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK.

CAS DEFINITED TO COMMENTATION. THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED

DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT. CONSULT THE DESIGNED

CONVENTIONS / LEGENDS / **ABBREVIATIONS**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE SHEET SIZE A3=100% 1:1

Auckland 👑 18/12/2020 BCO10313722-3 **APPROVED** BUILDING CONSENT PLANS

ROOF

WALL

FL00R

SKYLIGHTS

VERTICAL GLAZING

LEVEL

H 5

H 1.2

H 3.2

H 3.2

H 3.2

H 5

H 3.2

H 3.2

H 3.2

H 3.2

H 3.2

H 3.2

H 3.1

H 3.2

H 4

H 3.2

H 1.2

H 1.2

H 1.2

H 3.1

H 1.2

H 1.2

H 1.2

H 3.2

H 1.2

H 1.2

H 3.1

H 3.1

H 1.2

NOTE (1)

NOTE (2)

REQUIREMENTS

UNTREATED

UNTREATED

UNTREATED

H 3 CCA

INTERIOR TIMBERS

H 3 CCA

H 3 LOSF

FRAMING TABLES (1, 2)

H 5

EXTERNAL TIMBER USE

SPECIES

RADIATA PINE

RADIATA PINE

RADIATA PINE

RADIATA PINE

RADIATA PINE

RADIATA PINE

RADIATA PINE

RADIATA PINE

RADIATA PINE

- 1. ALL TIMBER FRAMING SHALL BE MINIMUM SG8 GRADE AS REQUIRED BY NZS3604:2011 AND TREATED AS PER NZS3640:2003 AND WHERE SPECIFIED AS PER NZS3602:2003 OUTLINED IN BRANZ FRAMING GUIDE.
- 2. ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'.
- 3. CONNECTIONS BETWEEN FRAMING MEMBERS SHALL BE PER NZS3604:2011 OR AS SPECIFIED BY THE ENGINEER.
- 4. ALL TIMBER TO BE SEPARATED FROM CONCRETE OR MASONRY BY DAMP PROOF COURSE.
- 5. PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE. UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
- 6. COORDINATE AND PROVIDE BACKING / ADDITIONAL NOGS FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- 7. REFER TO PLANS FOR BRACING REQUIRING EXTRA BOTTOM PLATE FIXINGS TO REQUIREMENTS OF GIB BRACING STANDARD.
- 8. WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.

DEMOLITION NOTES

- 1. COMPLY WITH APPLICABLE CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- 2. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOBSITE. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, ISOLATE THE AFFECTED AREA AND CONTACT THE OWNER FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING
- 3. PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- 4.ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- 5. ARRANGE AND PAY FOR DISCONNECTING, REMOVING, AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECTION AND CAPPING OF ANY SERVICE TO COMPLY WITH APPROPRIATE REGULATIONS. NOTIFY THE AFFECTED UTILITY COMPANY AND OWNER / TENANT IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THE WORK.
- 6. REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- 7. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK.
- 8. REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCT WORK.
- 9. REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES, UNLESS NOTED OTHERWISE.
- 10. REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR TO MEET MANUFACTURER'S REQUIREMENTS FOR NEW FLOOR FINISHES, UNLESS NOTED OTHERWISE.
- 11. EXCEPT WHERE OTHERWISE NOTED, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED, REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- 12. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURES. PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE, OR INJURY

- 13. CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCUTRE APPEARS TO BE ENDAGERED. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- 14. PATCH REPAIR AND CLEAN ALL AREAS OF DEMOLITION TO CREATE A SMOOTH SURFACE TO ACCEPT SPECIFIED FINISH MATERIAL.
- 15. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
- 16. REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF DEMOLITION. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND ACCEPTABLE FOR NEW CONSTRUCTION.
- 17. BURNING OF MATERIALS ON SITE IS NOT PERMITTED.

GENERAL NOTES

- 1. THE CONTRACTOR IS PRIMARILY RESPONSIBLE FOR THE HEALTH AND SAFETY PROTECTION OF THEIR EMPLOYEES, SUBCONTRACTORS AND INDIVIDUALS ON THE BUILDING SITE. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE CONDITION AND COMPLY WITH ALL SAFETY STANDARDS.
- 2. THE CONTRACTOR SHALL COMPLY WITH THE STANDARDS SET OUT IN THE APPLICABLE CODES AND GUIDELINES INCLUDING THE NEW ZEALAND BUILDING CODE, NEW ZEALAND STANDARDS, AND INDUSTRY CODES OF PRACTICE.
- 3. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDES THE DRAWINGS, SPECIFICATIONS, ADDENDA, AND ADDITIONAL MODIFICATIONS ISSUED BY THE ARCHITECT.
- 4.ALL INFORMATION RECORDED IN THE CONTRACT DOCUMENTS RELATIVE TO EXISTING CONDITIONS IS PRESENTED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT SO THAT APPROPRIATE REVISIONS CAN BE MADE TO THE CONTRACT DOCUMENTS.
- 5. THE CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS, AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN PRIOR TO THE START OF ANY WORK ON SITE.
- 6. THE CONTRACT DOCUMENTS SHOW THE EXTENT OF THE WORK BUT THERE IS NO WARRANTY, EXPRESS OR IMPLIED, THAT IT SHOWS EACH AND EVERY MINOR DETAIL. SHOULD ANY DESIGN INTENTION, MATERIAL SELECTION, STRUCTURAL MEMBER APPEAR TO BE INADEQUATELY DESCRIBED YET OBVIOUSLY NECESSARY FOR THE SAFE, STRONG, AND SATISFACTORY COMPLETION OF THE WORK THE ARCHITECT SHALL BE NOTIFIED.
- 7.DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- 8. THE CONTRACTOR SHALL REPORT ANY CONFLICTS BETWEEN THE ARCHITECT'S AND CONSULTANTS' DOCUMENTS TO THE ARCHITECT PRIOR TO PERFORMING ANY WORK IN QUESTION.
- 9. THE CONTRACTOR SHALL REPORT ANY OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- 10. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- 11. THE CONTRACTOR SHALL SUBMIT REQMZUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW. APPROVAL MUST BE OBTAINED PRIOR TO PURCHASE, FABRICATION, OR INSTALLATION.
- 12. THE CONTRACTOR SHALL COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, SITE/BUILDING ACCESS, AND USE OF SITE/BUILDING SERVICES AND FACILITIES. MINIMIZE DISTURBANCE OF SITE/BUILDING FUNCTIONS AND OCCUPANTS.

- 13. THE OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. THE CONTRACTOR SHALL INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION
- PROGRESS SCHEDULE, COORDINATE DELIVERY OF, AND OVERSEE THE INSTALLATION OF ITEMS SUPPLIED BY OTHERS TO ASSURE AN ORDERLY SEQUENCE OF INSTALLATION.
- 14. THE CONTRACTOR SHALL PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- 15. THE CONTRACTOR SHALL MAINTAIN SECURE AND LOCKABLE WORK AREAS DURING CONSTRUCTION. CONTRACTOR TO COORDINATE WITH TENANT AND / OR OWNER TO ENSURE SECURITY.
- 16. WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED IN THE CONTRACT DOCUMENTS, WHETHER IN CONTRACT OR NOT IN CONTRACT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOSS AND / OR DAMAGE TO THESE ITEMS.
- 17 THE CONTRACTOR SHALL ENSURE THAT ALL TRADES KEEP THE SITE ERFE FROM THE ACCUMUL ATION OF RUBRISH CAUSED BY THEIR WORK AT ALL TIMES. AT THE COMPLETION OF THE WORK ALL TOOLS, SURPLUS MATERIAL, AND RUBBISH IS TO BE REMOVED AND THE SITE LEFT IN A BROOM CLEAN AND TIDY CONDITION. ALL INTERNAL WORKS TO BE LEFT IN A VACUUM CLEAN CONDITION SUITABLE FOR OCCUPATION BY THE OWNER.

PLUMBING NOTES

- 1. BUILDING LOCATION & MEASUREMENTS INDICATIVE ONLY. LOCATIONS & MEASUREMENTS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK.
- 2. ALL DRAINAGE TO COMPLY WITH THE NEW ZEALAND BUILDING CODE G13 / AS1 AND AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.
- 3. DRAINLAYER CONTRACTOR IS TO CONFIRM ALL LOCATIONS OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE.

FENCING NOTES

- 1. FENCING SHOULD BE COMPLETE AND SECURE. AND OF A DESIGN WHICH DISCOURAGES CLIMBING BY CHILDREN UNDER 5 YEARS.
- 2. ACCEPTABLE SOLUTION 1.200MM MINIMUM HIGH (PREFERRED). CONTINUOUS AND COMPLETE FENCING DESIGNED TO ELIMINATE ENTRAPMENT (100 MAX SPACE BETWEEN VERTICAL ELEMENTS). AND PREVENTS CLIMBING TOEHOLDS (50MM MAX DIAMETER FOR MESH OPENINGS).
- 3. GATES TO BE SELF CLOSING.
- 4. ACCEPTABLE SOLUTION ANY GATE SHALL HAVE A SELF CLOSING HINGE, SPRING OR MECHANISM THAT AUTOMATICALLY SWINGS SHUT AND LATCHES ITSELF. LATCH TO BE OVER 1.20MM HIGH AND NOT EASY FOR CHILDREN TO ACCESS OR OPEN.

SITE VISIT (HNZC)

- 1. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR MAY VIEW THE SITE(S) FROM THE STREET ONLY. IF A CONTRACTOR WISHES TO ACCESS THE SITE. THE CONTRACTOR MUST MAKE AN APPOINTMENT WITH THE HOUSING NEW ZEALAND TENANT LIAISON OFFICER TO DO S0.
- 2. A CONTRACTOR HAVING MADE AN APPOINTMENT WITH HOUSING NEW ZEALAND TO VISIT THE
- · MAY ONLY ACCESS THE SITE(S) WHEN ACCOMPANIED BY AN APPROVED REPRESENTATIVE OF HOUSING NEW 7FALAND.
- AGREES TO RESPECT THE PRIVACY AND RIGHTS OF ANY TENANTS OF THE SITE(S):
- MUST BEHAVE IN A RESPECTFUL AND PROFESSIONAL MANNER:
- · MUST BE PREPARED TO PRESENT SUITABLE IDENTIFICATION (SUCH AS A CORPORATE BUSINESS CARD) ON REQUEST IF APPROACHED BY A HOUSING NEW ZEALAND TENANT.
- 3. SHOULD ANY CONTRACTOR REQUIRE ACCESS TO A DWELLING ON THE SITE, THE CONTRACTOR MUST REQUEST SUCH ACCESS THROUGH THE TENANT LIAISON OFFICER WHO WILL ENDEAVOUR TO ARRANGE AN APPOINTMENT TIME.

Young+ Richards+

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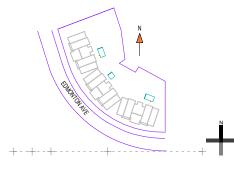
DOMINION

8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

200003



- 20/11/20 BUILDING CONSENT STAGE 3 Auckland 👑 Council 18/12/2020 BCO10313722-3 APPROVED BUILDING CONSENT PLANS
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE

- STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NO BUILDINGS CTS, SECTION 17.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NO BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BULDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENT. CONSENTED CONSULTATION THAT SPECEPOINCE.

 FIRS DRAWING SHALLE BERBAIN CONDUINCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSEINLTANTS DOCUMENTATION.
- CONSIDERANTS DECIMENTATION.

 THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK
 CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER

STD ABBREVIATIONS. GEN NOTES. SYMBOLS

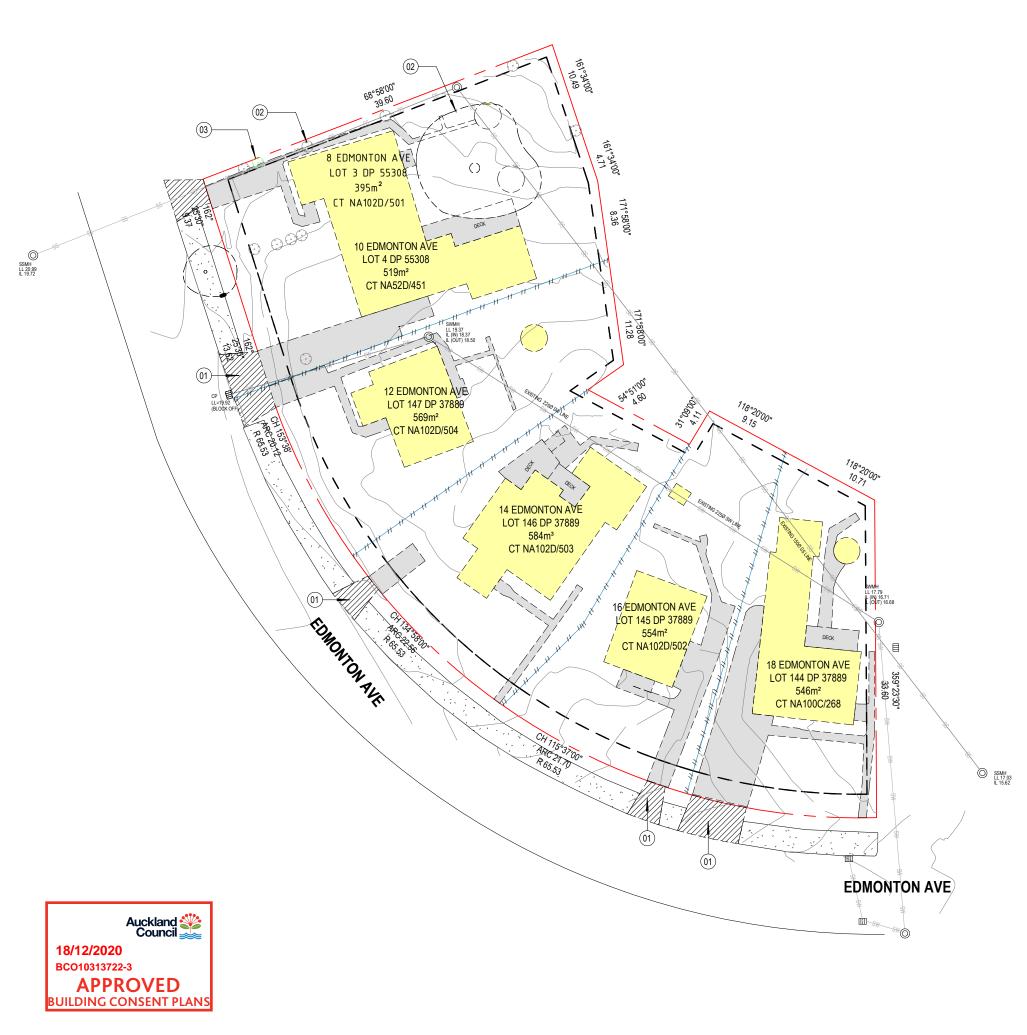
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:1

SHEET SIZE A3=100%





KEYNOTE

- EXISTING VEHICLE CROSSING REMOVED
- (02) EXISTING TREE REMOVED
- (03) EXISTING TREE RETAINED

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8-18 EDMONTON AVENUE

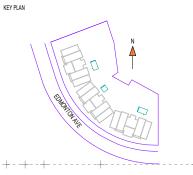
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

SHEET NOTES

- 1. SITE SURVEY INFORMATION AS PROVIDED BY PIRITAHI ON 20/03/2019
- 2. ALL PIPED SERVICES INFORMATION OBTAINED FROM CCTV SURVERY BY PIRITAHI. CONTRACTOR TO VERIFY LOCATIONS, DEPTHS AND CONDITINS OF PIPED SERVICES PRIOR TO ANY WORK ON

200003



AUCKLAND COUNCIL Reviewed /: Kishore Rana Date: 14/12/2020 DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

LEGEND

- SITE BOUNDARY

— YARD SETBACK

OUTLINES OF DEMOLISHED BUILDINGS

EXISTING ROAD BERM, FOOTPATHS AND KERB TO BE REINSTATED



EXISTING DRIVEWAY, PATHWAYS, DECKS REMOVED



EXISTING PUBLIC SANITARY SEWER LINE

STORMWATER LINE



EXISTING FENCE REMOVED



EXISTING TREES REMOVED



EXISTING KAURI TREE TO BE RETAINED

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, CRDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOUSHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING SONSENT. REFER TO NZ BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK, (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT CONSENT. CONSENTED DOCUMENTATION THATES RECEDENCE.

 FOR BUILDERS RESPONSBUITES REFER TO NZ BUILDING ACT, SECTION 14E.

 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS DOCUMENTATION.

 THE BUILDERS RESPONSBUITES DEPENDENCE OF THE MEDICAL PROPROSED TO THE WORK CAN BE CONSINCTED AS A PROPRIED, REPORT OF THE MEDICAL PROPROSED THE MEDICAL PROPROSED TO THE DESIGNER PROPRIED TO PERFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

EXISTING SITE PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:400

BLOCK A

A2040

BLOCK B

A2050

Auckland 👑

Council 3

18/12/2020 BCO10313722-3

APPROVED

BUILDING CONSENT PLANS

BLOCK C

A2060

UNIT OVERVIEW				
	3 BEDROOM (GL)	2 BEDROOM	1 BEDROOM	
BLOCK A	2	4	2	
BLOCK B	2	4	2	
BLOCK C	2	4	2	
TOTAL	6	12	6	

KEYNOTE

- 01) PROPOSED CLOTHESLINE
- PROPOSED BIN STORAGE
- 03) LETTERBOXES
- 04) BIKE HOOPS
- 05) HOSE TAPS

SHEET NOTES

- 06) KERB
- (07) PEDESTRIANS ACCESS
- 08) **EXISTING BOUNDARIES**
 - LITHG POLE WITH CAMERA & TWO CABLES FOR FUTURE 2ND CCTV FACING BUILDING

SITE SURVEY INFORMATION AS PROVIDED BY PIRITAHI CONSULTING ON 20/03/2019.

REFER TO CIVIL INFRASTRUCTURE REPORT

JOAL LIGHTING REFER TO J.A. RUSSELL LTD

(ASAP) CONTRACTOR TO DEVELOP A SITE ENVIRONMENTAL MANAGEMENT PLAN AND A SITE WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE REBRI GUIDELINES AS PART OF THEIR CONTRACT. EITHER 60%

LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES.

FOR PROPOSED SERVICES.

Young+ Richards+

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DOMINION

8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

200003

STAMP

AUCKLAND COUNCIL Reviewed

Kishore Rana Date: 14/12/2020 DEVELOPMENT ENGINEERING

DATE	DESCRIPTION	BY	CHKD
20/11/20	BUILDING CONSENT STAGE 3	YR	YR
11/12/20	BC3 CONSENTIUM RFI	YR	YR
E PRINT			
	20/11/20	20/11/20 BUILDING CONSENT STAGE 3 11/12/20 BC3 CONSENTIUM RFI	20/11/20 BUILDING CONSENT STAGE 3 YR 11/12/20 BC3 CONSENTIUM RFI YR

PROPOSED DRIVEWAY/ FOOTPATH STANDARD · ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.

BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOUSHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDINGS CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.

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DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

PROPOSED OVERALL SITE PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:400



CONSTRUCTION WASTE TO BE RECYCLED OR LESS THAN 15KG OF CONSTRUCTION WASTE IS SENT TO LANDFILL PER M² OF NET FLOOR AREA FOR THE WHOLE CONSTRUCTION PROJECT.

CONSTRUCTION:

HOMESTAR NOTE: HOME USER GUIDE WILL BE DEVELOPED USING THE NZGBC TEMPLATE OR APPROVED EQUIVALENT.

LEGEND SITE BOUNDARY

EXISTING SITE BOUNDARY YARD SETBACK

DIMENSIONS FROM BOUNDARY TO CLADDING

PROPOSED SITE LANDSCAPING

CONCRETE BRUSH FINISH PROPOSED DRIVEWAY / PEDESTRIANS ACCESS EXPOSED AGGREGATE CONCRETE

PROPOSED DRIVEWAY SETT PAVERS PROPOSED RETAINING WALL

PROPOSED NIB WALL

PROPOSED LED LIGHT POLE

0 PROPOSED BOLLARD LIGHT

EXISTING POWERPOLE

DAMP PROOF MEMBRANE AND PROTECTIVE COVER TO CONCRETE BLOCK RATAINING WALLS TO

FOLLOW NZ CONCRETE MASONRY MANUAL. REFER TO ARCHITECTURAL SPECIFICATION FOR PRODUCT

SHEET NOTES

SITE SURVEY INFORMATION AS PROVIDED BY PIRITAHI CONSULTING ON 20/03/2019 LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES. REFER TO CIVIL INFRASTRUCTURE REPORT

FOR PROPOSED SERVICES.

CONSTRUCTION: (ASAP) CONTRACTOR TO DEVELOP A SITE ENVIRONMENTAL MANAGEMENT PLAN AND A SITE

WHOLE CONSTRUCTION PROJECT.

--- SITE BOUNDARY

YARD SETBACK

CLADDING

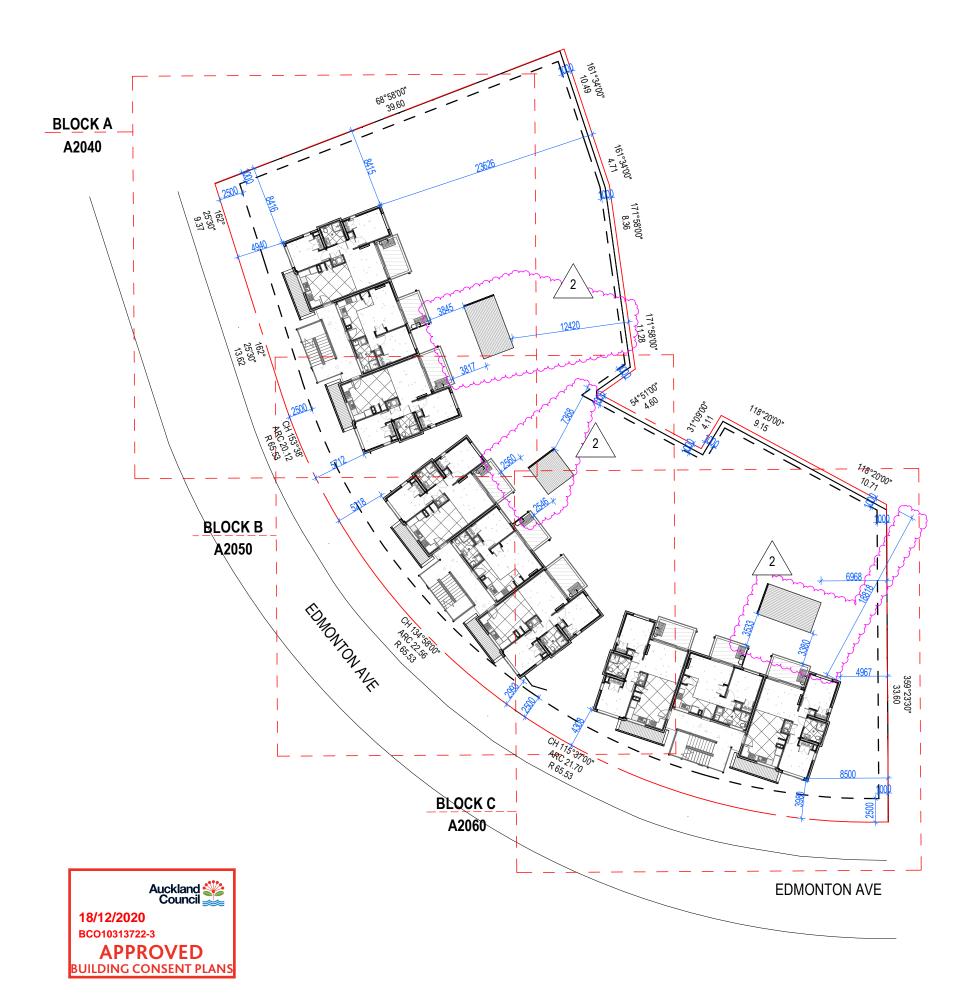
LEGEND

REBRI GUIDELINES AS PART OF THEIR CONTRACT.

OR LESS THAN 15KG OF CONSTRUCTION WASTE IS SENT TO LANDFILL PER M² OF NET FLOOR AREA FOR THE

HOMESTAR NOTE:
HOME USER GUIDE WILL BE DEVELOPED USING THE
NZGBC TEMPLATE OR APPROVED EQUIVALENT.

DIMENSIONS FROM BOUNDARY TO



Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444



DOMINION CONSTRUCTORS LTD

8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN

WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE EITHER 60% CONSTRUCTION WASTE TO BE RECYCLED

STAMP

AUCKLAND COUNCIL Reviewed Kishore Rana Date: 14/12/2020

DEVELOPMENT ENGINEERING

	REV	DATE	DESCRIPTION	BY	CHKD
_	1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
_	2	16/12/20	BC3 RFI	YR	YR
	THE EINE	DDNIT			

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
 STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE
 WORK. REFER TO AZ BUILDING ACT, SECTION 17.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND
 VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 FOR ALL RESTRICTED BUILDING WORK, (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS
 STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING
 CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.

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PROPOSED OVERALL SITE PLAN - FIRST **FLOOR**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:400



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DOMINION CONSTRUCTORS LTD

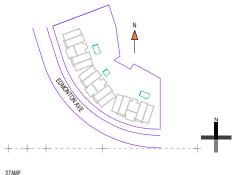
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN



SHEET NOTES

CONSTRUCTION: (ASAP) CONTRACTOR TO DEVELOP A SITE ENVIRONMENTAL MANAGEMENT PLAN AND A SITE WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE REBRI GUIDELINES AS PART OF THEIR CONTRACT. EITHER 60% CONSTRUCTION WASTE TO BE RECYCLED OR LESS THAN 15KG OF CONSTRUCTION WASTE IS SENT TO LANDFILL PER M² OF NET FLOOR AREA FOR THE WHOLE CONSTRUCTION PROJECT.

SITE SURVEY INFORMATION AS PROVIDED BY PIRITAHI CONSULTING ON 20/03/2019. LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES. REFER TO CIVIL INFRASTRUCTURE REPORT

FOR PROPOSED SERVICES.

HOMESTAR NOTE:
HOME USER GUIDE WILL BE DEVELOPED USING THE
NZGBC TEMPLATE OR APPROVED EQUIVALENT.

LEGEND

--- SITE BOUNDARY

CLADDING

YARD SETBACK

DIMENSIONS FROM BOUNDARY TO

ILL	DITTE	DECOMI HON	- 01	OFFICE
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETECT TO NZ BUILDING ACT, SECTION 40.

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 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 148.

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PROPOSED OVERALL SITE PLAN -SECOND FLOOR

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

A5-A2032

Auckland ******Council 18/12/2020 BCO10313722-3 **APPROVED**

BLOCK B

A2050

BLOCK A A2040

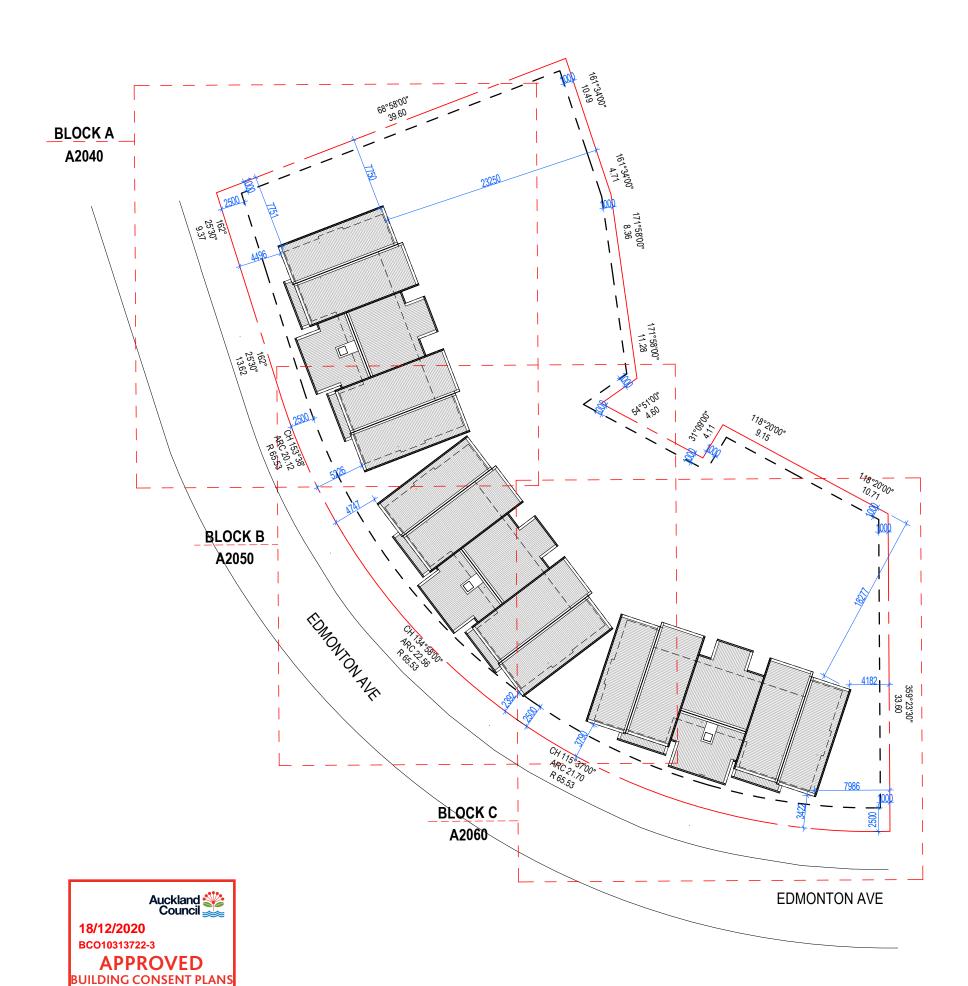
> BLQCK C A2060

COMON ON PLAN

EDMONTON AVE

SHEET SCALE 1:400

SHEET NOTES



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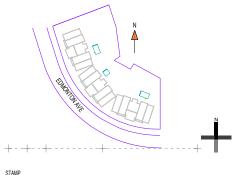
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

200003

KEY PLAN



CONSTRUCTION:
(ASAP) CONTRACTOR TO DEVELOP A SITE
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REFER TO CIVIL INFRASTRUCTURE REPORT

FOR PROPOSED SERVICES.

HOMESTAR NOTE: HOME USER GUIDE WILL BE DEVELOPED USING THE NZGBC TEMPLATE OR APPROVED EQUIVALENT.

LEGEND	
	SITE BOUNDARY
	YARD SETBACK
★ DIM ★	DIMENSIONS TO BOUNDARY
	ROOFING INDUSTRIES TRIM RIB COLORSTEEL ENDURA ROOF
	GUTTER

- 1	KEV	DATE	DESCRIPTION	DI	CUVD
_	1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
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- THE FINE PRINT

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PROPOSED OVERALL SITE PLAN - ROOF

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:400







Auckland *****Council 18/12/2020 BCO10313722-3 **APPROVED** BUILDING CONSENT PLANS

KEYNOTE

- (01) PROPOSED CLOTHESLINE
- (02) PROPOSED BIN STORAGE
- (03) LETTERBOXES
- 04) BIKE HOOPS
- 05) HOSE TAPS
- 06) KERB
- (07) PEDESTRIANS ACCESS
- (08) EXISTING BOUNDARIES

SHEET NOTES

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8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



CONSTRUCTION: (ASAP) CONTRACTOR TO DEVELOP A SITE ENVIRONMENTAL MANAGEMENT PLAN AND A SITE WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE REBRI GUIDELINES AS PART OF THEIR CONTRACT. EITHER 60% CONSTRUCTION WASTE TO BE RECYCLED OR LESS THAN 15KG OF CONSTRUCTION WASTE IS SENT TO LANDFILL PER M² OF NET FLOOR AREA FOR THE WHOLE CONSTRUCTION PROJECT.

HOMESTAR NOTE: HOME USER GUIDE WILL BE DEVELOPED USING THE NZGBC TEMPLATE OR APPROVED EQUIVALENT.

LEGEND

SITE BOUNDARY

EXISTING SITE BOUNDARY

YARD SETBACK DIMENSIONS FROM BOUNDARY TO

DIMENSIONS FROM BOUNDARY TO CLADDING

**ALL WORK'SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RILLES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 40.

PROPOSED SITE LANDSCAPING

PROPOSED DRIVEWAY/ FOOTPATH STANDARD CONCERTE BRUSH FINISH

PROPOSED DRIVEWAY/ PEDESTRIANS ACCESS EXPOSED AGGREGATE CONCRETE

PROPOSED DRIVEWAY / PEDESTRIANS ACCESS EXPOSED AGGREGATE CONCRETE

PROPOSED DRIVEWAY / PEDESTRIANS ACCESS EXPOSED AGGREGATE CONCRETE

**INITIAL WORK ISHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, SECTION 40.

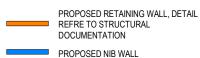
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PROPOSED DRIVEWAY SETT PAVERS



EXISTING POWERPOLE

ACCESSIBLE ROUTE \bigcirc

PROPOSED LED LIGHT POLE PROPOSED BOLLARD LIGHT

Reviewed /: Kishore Rana Date: 14/12/2020 DEVELOPMENT ENGINEERING

AUCKLAND COUNCIL

	REV	DATE	DESCRIPTION	BY	CHKD
_	1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
	2	16/12/20	BC3 RFI	YR	YR
_					
	THE CINE	DDINT			

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

PROPOSED BLOCK A SITE PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:200



KEYNOTE

- (01) PROPOSED CLOTHESLINE
- (02) PROPOSED BIN STORAGE
- (03) LETTERBOXES
- 04) BIKE HOOPS
- 05) HOSE TAPS
- 06) KERB
- (07) PEDESTRIANS ACCESS
- (08) EXISTING BOUNDARIES

SHEET NOTES

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- JOAL LIGHTING REFER TO J.A. RUSSELL LTD

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8-18 EDMONTON AVENUE

PROJECT ADDRESS

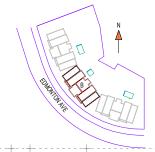
8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN

DATE



CONSTRUCTION: (ASAP) CONTRACTOR TO DEVELOP A SITE ENVIRONMENTAL MANAGEMENT PLAN AND A SITE WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE REBRI GUIDELINES AS PART OF THEIR CONTRACT. EITHER 60% CONSTRUCTION WASTE TO BE RECYCLED OR LESS THAN 15KG OF CONSTRUCTION WASTE IS SENT TO LANDFILL PER M² OF NET FLOOR AREA FOR THE WHOLE CONSTRUCTION PROJECT.

HOMESTAR NOTE: HOME USER GUIDE WILL BE DEVELOPED USING THE NZGBC TEMPLATE OR APPROVED EQUIVALENT.

LEGEND

SITE BOUNDARY

EXISTING SITE BOUNDARY

YARD SETBACK DIMENSIONS FROM BOUNDARY TO

DIMENSIONS FROM BOUNDARY TO CLADDING

**ALL WORK'SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RILLES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 40.

PROPOSED SITE LANDSCAPING

PROPOSED DRIVEWAY/ FOOTPATH STANDARD CONCERTE BRUSH FINISH

PROPOSED DRIVEWAY/ PEDESTRIANS ACCESS EXPOSED AGGREGATE CONCRETE

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PROPOSED DRIVEWAY SETT PAVERS PROPOSED RETAINING WALL, DETAIL REFRE TO STRUCTURAL DOCUMENTATION

PROPOSED NIB WALL

EXISTING POWERPOLE ACCESSIBLE ROUTE

 \bigcirc PROPOSED LED LIGHT POLE

PROPOSED BOLLARD LIGHT

Reviewed Kishore Rana Date: 14/12/2020 **EVELOPMENT ENGINEERING**

AUCKLAND COUNCIL

1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR
-				

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

PROPOSED BLOCK B SITE PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:200







KEYNOTE

- (01) PROPOSED CLOTHESLINE
- (02) PROPOSED BIN STORAGE
- (03) LETTERBOXES
- 04) BIKE HOOPS
- 05) HOSE TAPS
- 06) KERB
- 07) PEDESTRIANS ACCESS
- (08) EXISTING BOUNDARIES

SHEET NOTES

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8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



CONSTRUCTION: (ASAP) CONTRACTOR TO DEVELOP A SITE ENVIRONMENTAL MANAGEMENT PLAN AND A SITE WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE REBRI GUIDELINES AS PART OF THEIR CONTRACT. EITHER 60% CONSTRUCTION WASTE TO BE RECYCLED OR LESS THAN 15KG OF CONSTRUCTION WASTE IS SENT TO LANDFILL PER M² OF NET FLOOR AREA FOR THE WHOLE CONSTRUCTION PROJECT.

HOMESTAR NOTE:
HOME USER GUIDE WILL BE DEVELOPED USING THE
AZCOC TEMOLATE OD ADDDOVED EOLIVALENT

LEGEND

SITE BOUNDARY

EXISTING SITE BOUNDARY

YARD SETBACK

PROPOSED DRIVEWAY SETT PAVERS



PROPOSED NIB WALL

ACCESSIBLE ROUTE

 \bigcirc PROPOSED LED LIGHT POLE

EXISTING POWERPOLE

PROPOSED BOLLARD LIGHT

AUCKLAND COUNCIL Reviewed Kishore Rana Date: 14/12/2020 DEVELOPMENT ENGINEERING

	REV	DATE	DESCRIPTION	DI	CUVD
_	1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
	2	16/12/20	BC3 RFI	YR	YR
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 PROPOSED DRIVEWAY/ FOOTPATH STANDARD
 FOR BUILDER'S RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 10.
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 PROPOSED DRIVEWAY / PEDESTRIANS
 ACCESS EXPOSED AGGREGATE CONCRETE

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PROPOSED BLOCK C SITE PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:200







OVERALL SITE EAST ELEVATION SCALE: 1:200



OVERALL SITE SOUTH ELEVATION SCALE: 1:200



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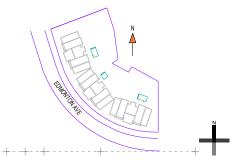
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN



AUCKLAND COUNCIL Reviewed By: Kishore Rana Date: 14/12/2020 DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHKD
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SHEET NAME

PROPOSED SITE ELEVATIONS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:200

SHEET SIZE A3=100%

SHEET NOTES

REFER TO STRUCTURAL ENGINEER'S

DRAWINGS FOR FOUNDATION DESIGN.

REFER TO PLUMBING NOTES, SHEET A5-A0091

REFER TO FINISHES NOTES, SHEET A5-X0010

DRAINLAYER OF EXISTING MANHOLES / SEWER

AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING WORK. PROVIDE COUNCIL WITH

AN AS LAID DRAINAGE PLAN WHEN COMPLETE.

ALL DRAINAGE TO COMPLY WITH AS / NZS

3500.2, PLUS LOCAL COUNCIL AUTHORITY.

BUILDING CONSENT PLANS

- Ø150mm uPVC @1:200 SOAKPIT 1 LL=20.24m IL=18.90m LL=20.26m IL1=18.92m IL2=19.02m LL=20.06m IL=19.23m II 3=19 02m PROPOSED ØWWMH1 LL=20.13m IL1(OUT)=18.48m IL2(IN)=19.08m EX. PUB SWMH (ASSET ID -ACC_1322442_NN2931) EX. LL=19.37m ADJUSTED LL=20.35 PROPOSED PRIVATE SWMH =19.10m IL(IN)=18.37m IL(OUT)=18.50m LL=20.08m IL=19.33m 50PVC @1:27 PROPOSED SOAKPIT 2 PRIVATE WASTEWATER 50mm WM & LL=18.63m IL=17.50m CONNECTION II =19.00m FOR BLOCK A LL=18.49m IL1=17.33m IL2=17.43m LL=18.71m IL=17.48m LL=18.67m IL3=17.90m II 1=17 49m PUBLIC WASTEWATER EXISTING 225 LL=18.38m IL1(OUT)=16.97m RCRRJ PUBLIC IL2(IN)=17.31m IL3(IN)=17.01m SOAKPIT 5 LL=18.18m IL=17.29m PROPOSED PRIVATE SWMH 4 LL=18.60m IL=17.30m EX. PUB SWMH (ASSET ID -ACC_1330896_NN2938) PROPOSED 50mm WM & LL=17.79m CONNECTION FOR BLOCK B IL(OÚT)=16.68m SUMP 3 LL=17.72n LL=17.65n SF IL1=16.49m IL2=16.49m SP OVER 1.0 M BLOCK RETAINING WALL (SHOWN RED) PROPOSED CONNECTION (SAP ID 2000610984) LL=17.90m Auckland ******Council IL=17.04m 18/12/2020 (SAP ID 2000946832) LL=17.78m IL=16.63m BCO10313722-3 TO BE COMFIRMED **APPROVED**

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8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER 200003



STAMP

AUCKLAND COUNCIL Reviewed Kishore Rana Date: 14/12/2020 **DEVELOPMENT ENGINEERING**

LEGEND	
	SITE BOUNDARY
	YARD SETBACK
<mark>∤ DIM</mark> ∤	DIMENSIONS FROM BOUNDARY TO CLADDING
sw sw sw	STORMWATER LINE
ss ss ss	WASTEWATER LINE

WATERLINE SUBSOIL DRAINAGE

EXISTING PUBLIC STORMWATER LINE EXISTING PUBLIC SANITARY SEWER LINE EXISTING WATER LINE

> PUBLIC LINE 1.0M BOUNDARY PUBLIC LINE INFLUENCE LINE

> > EXISTING SUMP

SUMP - TYPE 1 RETAINING WALL SUMP SF_{\bigcirc} STORMFILTER

SP() SOAKPIT

STORMWATER MANHOLE \bigcirc WASTEWATER MANHOLE

wm WATER METER

CHKD BUILDING CONSENT STAGE 3 20/11/20 11/12/20 BC3 CONSENTIUM RFI YR YR 16/12/20 BC3 RFI YR YR • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, CRDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.

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 FOR ALL RESTRICTED BUILDING WORK, (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT BOUGHTAIN TON TAKES RECEDENCE.

 FOR BUILDERS RESPONSBUITES REFER TO NZ BUILDING ACT, SECTION 14E.

 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS DOCUMENTATION.

 THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSISTED AS PROVINCED, BREFORD THE MEDICAL PROPROTED TO THE DESIGNER PROR TO PERFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

PROPOSED SITE DRAINAGE PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:400



SHEET NOTES

FENCING PLAN AS PER APPROVED RESOURCE CONSENT DRAWINGS AS PROVIDED BY GREENWOOD ASSOCIATES LANDSCAPE ARCHITECTURE DATED 30/04/2020.

ALL FENCING LAYOUT AND CONSTRUCTION TO

COMPLY WITH CONDITIONS AS PER ARBORISTS

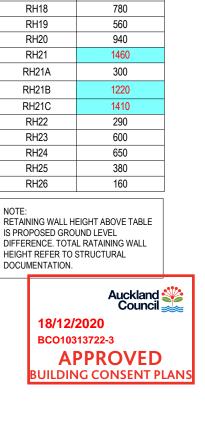
RETAINING WALL HEIGHT PROVIDED BY KIRK ROBERTS CONSULTING ENGINEERS AS PER

THIS DRAWING TO BE READ IN CONJUNCTION

WITH STRUCTURAL DOCUMENTATION FROM KIRK ROBERTS CONSULTING ENGINEERS.

REPORT DATED 30/04/2020

CIVIL DRAWINGS C1 0-C1 1



RETAINED WALL

850

770

370

460 370

560

610

150

600

370

110

20

520

150

WALL

RH4

RH5

RH6

RH7

RH8

RH9

RH10

RH11

RH12

RH13

RH14

RH15 RH16

RH17

RH18

RH19

RH20

RH21

RH21A

RH21B

RH21C

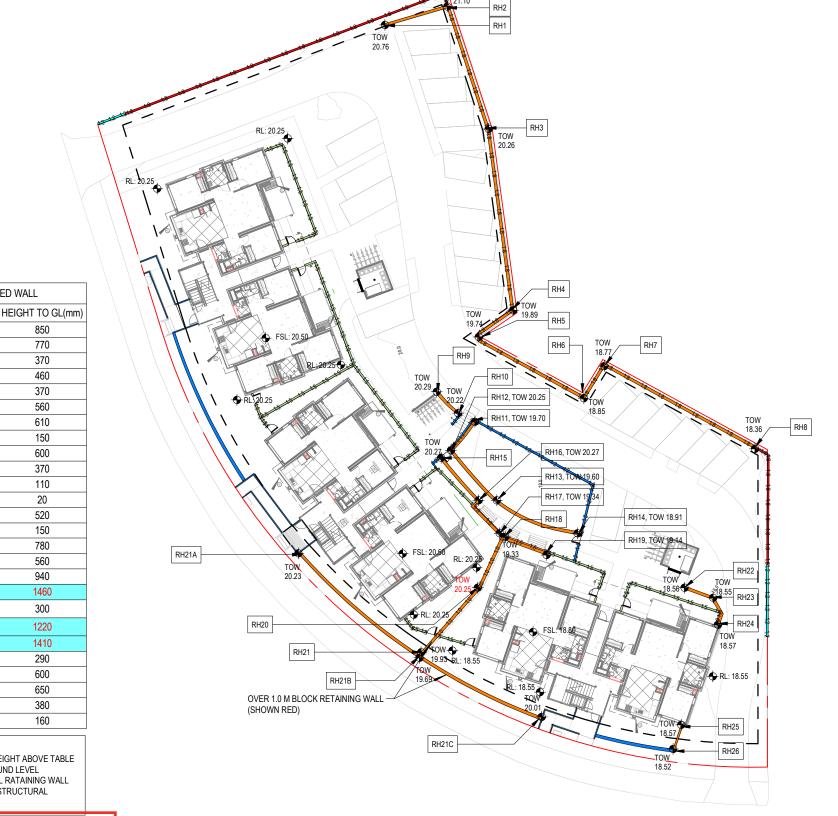
RH22

RH23

RH24

RH25

RH26



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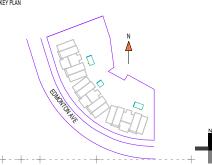
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

200003

KEY PLAN



LEGEND SITE BOUNDARY YARD SETBACK DIMENSIONS FROM BOUNDARY TO CLADDING 1.8m TIMBER PALING FENCE 1.2m TIMBER PALING FENCE

1.0m TIMBER PALING FENCE ON RETAINING WALL 1.5m VARIED TIMBER PALING FENCE

1.2m ALUMINIUM FENCE PROPOSED RETAINING WALL

PROPOSED NIB WALL

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
 STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE
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 CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.

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 DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

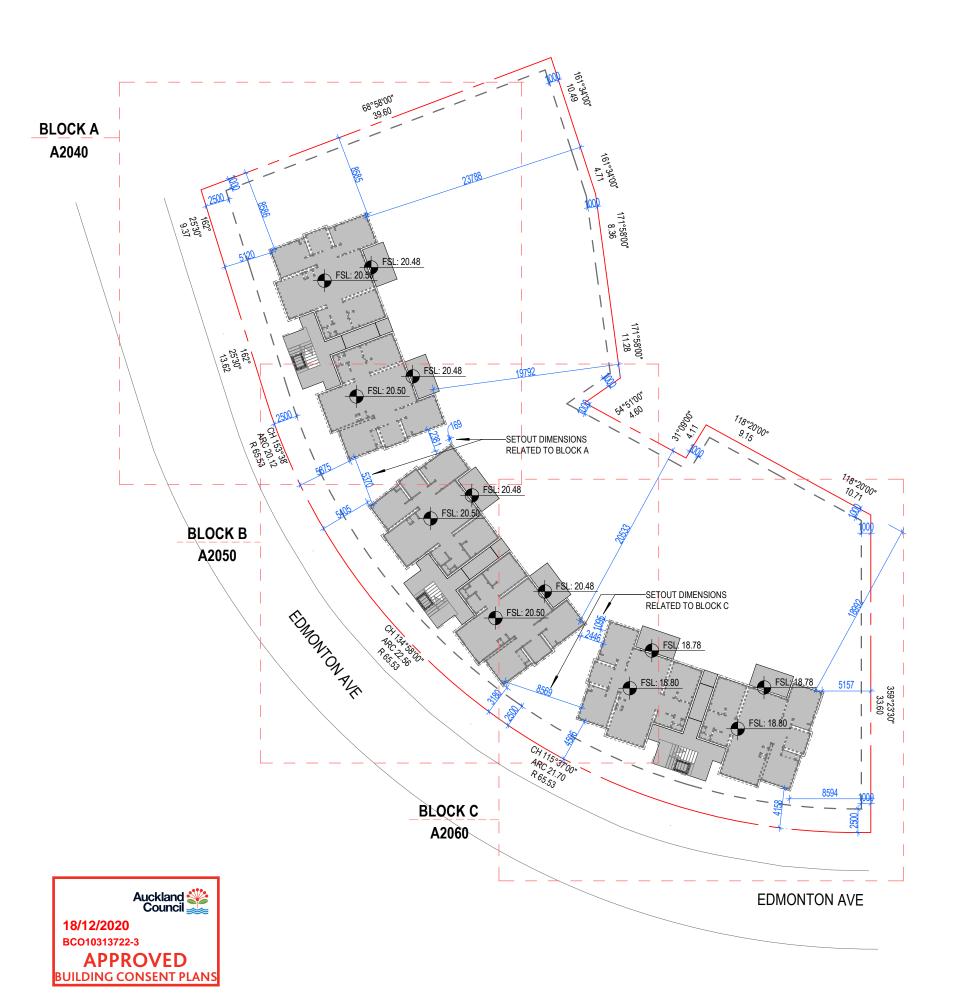
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

PROPOSED FENCING PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:400



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DOMINION CONSTRUCTORS LTD

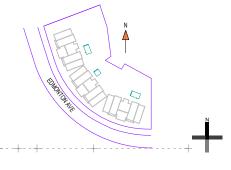
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

200003

KEY PLAN



(ASAP) CONTRACTOR TO DEVELOP A SITE
ENVIRONMENTAL MANAGEMENT PLAN AND A SITE
WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE REBRI GUIDELINES AS PART OF THEIR CONTRACT. EITHER 60% CONSTRUCTION WASTE TO BE RECYCLED OR LESS THAN 15KG OF CONSTRUCTION WASTE IS SENT TO LANDFILL PER M2 OF NET FLOOR AREA FOR THE WHOLE CONSTRUCTION PROJECT.

SITE SURVEY INFORMATION AS PROVIDED BY PIRITAHI CONSULTING ON 20/03/2019. LANDSCAPE PLAN AS PROVIDED BY GREENWOOD ASSOCIATES.

REFER TO CIVIL INFRASTRUCTURE REPORT FOR PROPOSED SERVICES.

HOMESTAR NOTE:

CONSTRUCTION:

SHEET NOTES

HOME USER GUIDE WILL BE DEVELOPED USING THE NZGBC TEMPLATE OR APPROVED EQUIVALENT.

LEGEND	
	SITE BOUNDARY
	YARD SETBACK
→ DIM	SLAB SETOUT DIMENSIONS FROM BOUNDARY

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
			_	

- THE FINE PRINT

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OVERALL GROUND FLOOR SLAB SETOUT PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:400





KEY NOTES & LEGEND

- STACK FROM LEVEL ABOVE
- (02) TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- (04) REBATE FOR USER FRIENDLY SHOWER 1200X1200X30 DEEP
- (05) 30mm DEPTH REBATE
- 60mm DEPTH REBATE

SHEET NOTES

- READ IN CONJUNCTION WITH KIRK ROBERTS STRUCTURAL
- ENGINEERING DRAWINGS.
 REFER TO SHEETS A7440 A7480 FOR PLUMBING SCHEMATICS.
 REFER TO PLUMBING NOTES, SHEET A0091
- REFER TO FINISHES NOTES, SHEET A0091
 - ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL

PROPOSED WALLS CONCRETE SLAB SERVICE RISER ZONE CONCRETE FOOTING BELOW DIMS PLUMBING AND DRAINAGE PENETRATIONS ★ SLAB SETOUT DIMENSIONS DIMS STRUCTURAL SETOUT DIMENSIONS

LEGEND

HOT WATER CYLINDER, WITH SAFE TRAY UNDER

DOWNPIPE OVERFLOW RELIF GULLY

SEWER STACK FLOOR WASTE GULLY

TOILET PANS BASIN

ORG

SS

FWG

WM

SHOWER WASHING MACHINE

KITCHEN SINK STACK 100Ø

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8-18 EDMONTON AVENUE

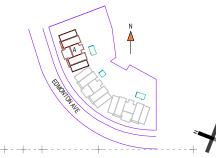
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



AUCKLAND COUNCIL Reviewed Kishore Rana Date: 14/12/2020

DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHI
1	20/11/20	BUILDING CONSENT STAGE 3	YR	Y

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETECT TO NZ BUILDING ACT, SECTION 40.

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 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 148.

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PROPOSED BLOCK A GROUND FLOOR **SLAB SETOUT PLANS**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%







(A5)

KEY NOTES & LEGEND

- STACK FROM LEVEL ABOVE
- (02) TUNDISH DISCHARGE TO EXTERIOR

(A1)

- (03) DRAINAGE CHANNEL
- (04) REBATE FOR USER FRIENDLY SHOWER 1200X1200X30 DEEP
- 30mm DEPTH REBATE
- 60mm DEPTH REBATE

SHEET NOTES

- READ IN CONJUNCTION WITH KIRK ROBERTS STRUCTURAL
- ENGINEERING DRAWINGS.
 REFER TO SHEETS A7440 A7480 FOR PLUMBING SCHEMATICS.
 REFER TO PLUMBING NOTES, SHEET A0091
- REFER TO FINISHES NOTES, SHEET A0091
- ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL

CONCRETE SLAB SERVICE RISER ZONE CONCRETE FOOTING BELOW DIMS PLUMBING AND DRAINAGE PENETRATIONS ★ SLAB SETOUT DIMENSIONS DIMS STRUCTURAL SETOUT DIMENSIONS

PROPOSED WALLS

(A7)

HOT WATER CYLINDER, WITH SAFE TRAY UNDER

DOWNPIPE

DP

WM

ORG OVERFLOW RELIF GULLY SS

SEWER STACK FWG FLOOR WASTE GULLY

TOILET PANS BASIN SHOWER

> WASHING MACHINE KITCHEN SINK STACK 100Ø

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DOMINION

8-18 EDMONTON AVENUE

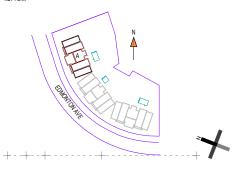
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



BUILDING CONSENT STAGE 3 YR 20/11/20 16/12/20 BC3 RFI YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO AZ BUILDING ACT, SECTION 17.

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PROPOSED BLOCK A FIRST FLOOR SLAB **SETOUT PLANS**

PROJECT STATUS

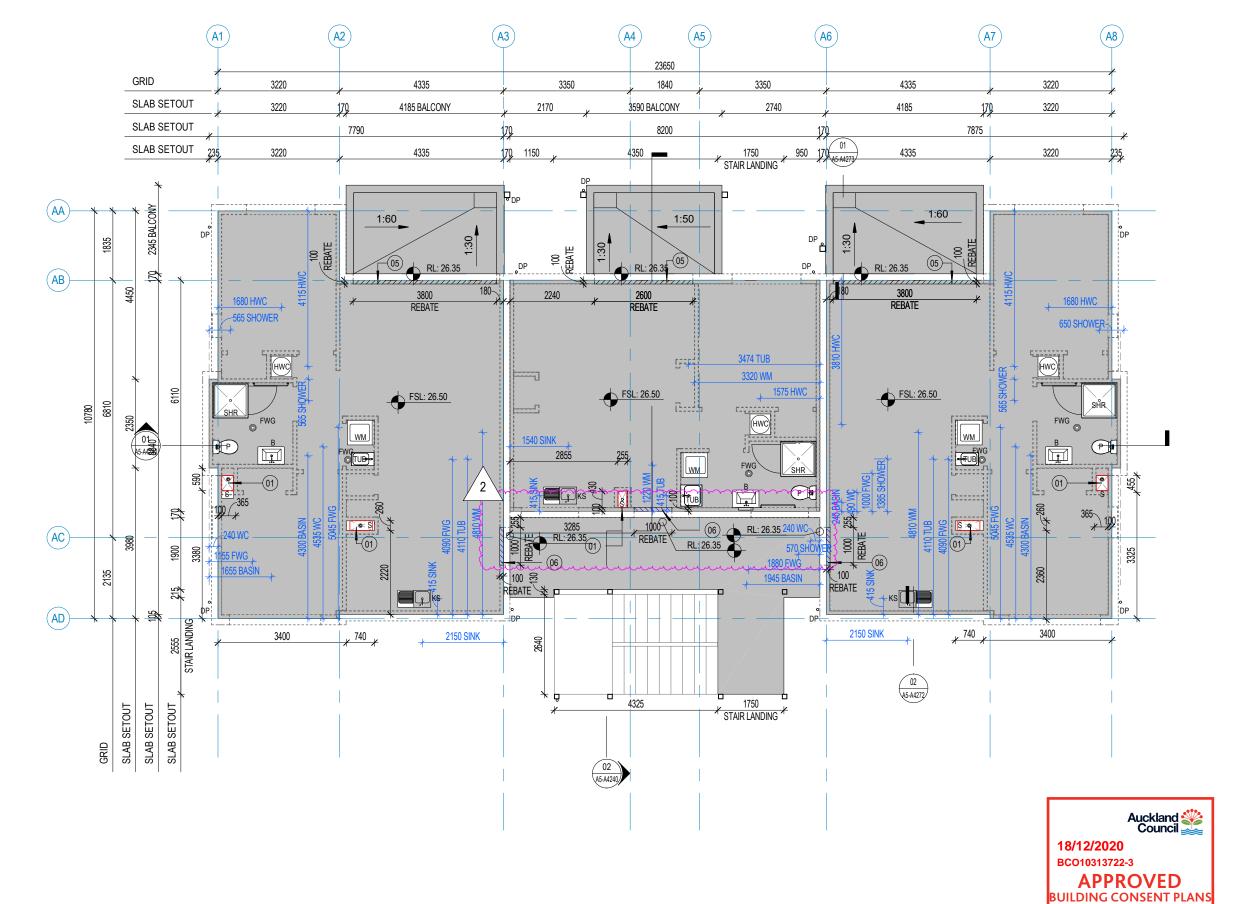
BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%







KEY NOTES & LEGEND

- STACK FROM LEVEL ABOVE
- (02) TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- (04) REBATE FOR USER FRIENDLY SHOWER 1200X1200X30 DEEP
- 30mm DEPTH REBATE
- 60mm DEPTH REBATE

SHEET NOTES

- READ IN CONJUNCTION WITH KIRK ROBERTS STRUCTURAL
- ENGINEERING DRAWINGS.
 REFER TO SHEETS A7440 A7480 FOR PLUMBING SCHEMATICS.
 REFER TO PLUMBING NOTES, SHEET A0091
- REFER TO FINISHES NOTES, SHEET A0091
- ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL

LEGEND

PROPOSED WALLS



SERVICE RISER ZONE

CONCRETE FOOTING BELOW

DIMS PLUMBING AND DRAINAGE PENETRATIONS ★ SLAB SETOUT DIMENSIONS DIMS STRUCTURAL SETOUT DIMENSIONS

FWG BASIN SHOWER WM

HOT WATER CYLINDER, WITH SAFE TRAY UNDER

DOWNPIPE ORG OVERFLOW RELIF GULLY SEWER STACK SS

FLOOR WASTE GULLY **TOILET PANS**

WASHING MACHINE KITCHEN SINK STACK 100Ø

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DOMINION

PROJECT ADDRESS

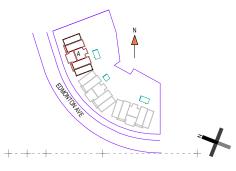
8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

8-18 EDMONTON AVENUE

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CH
1	20/11/20	BUILDING CONSENT STAGE 3	YR	Y
2	16/12/20	BC3 RFI	YR	Y

- THE FINE PRINT

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PROPOSED BLOCK A SECOND FLOOR **SLAB SETOUT PLANS**

PROJECT STATUS

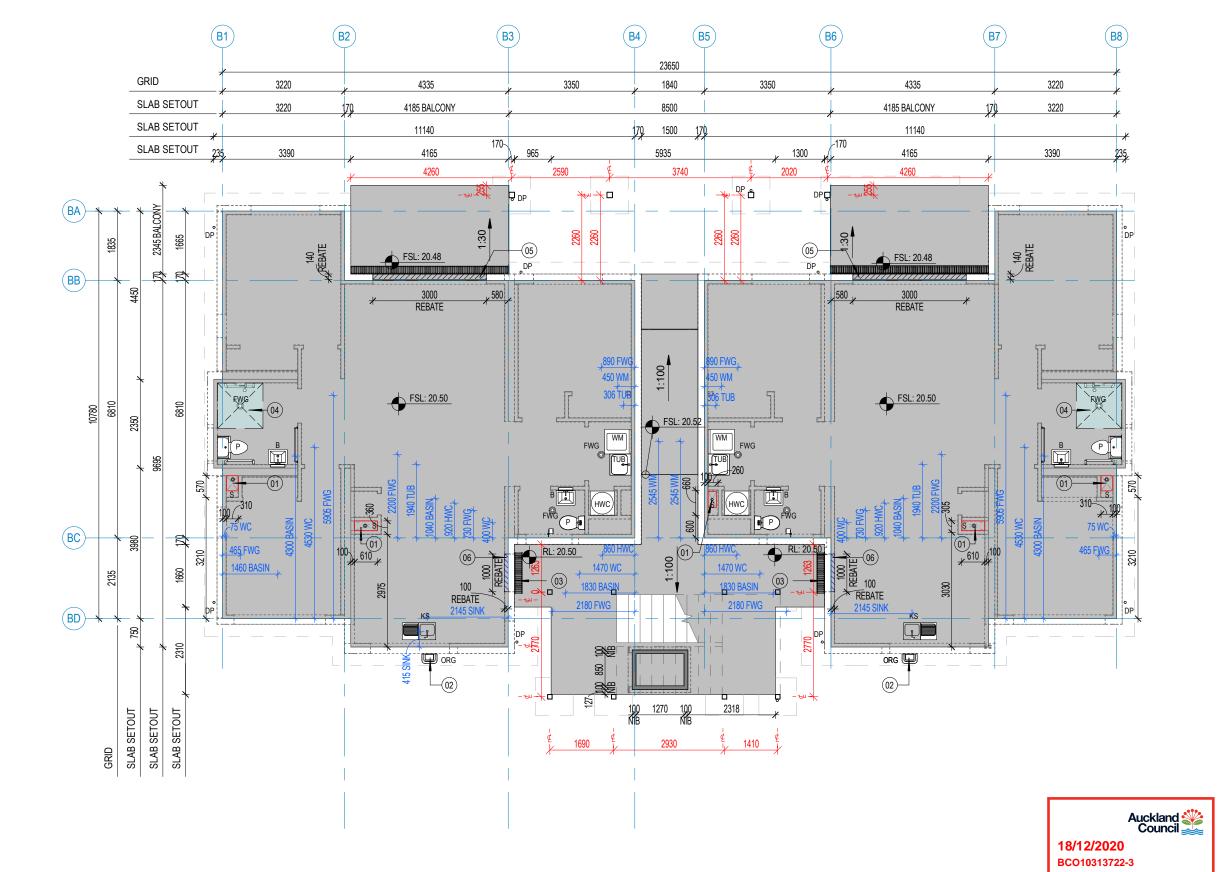
BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%







KEY NOTES & LEGEND

- STACK FROM LEVEL ABOVE
- (02) TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- (04) REBATE FOR USER FRIENDLY SHOWER 1200X1200X30 DEEP
- 30mm DEPTH REBATE
- 60mm DEPTH REBATE

SHEET NOTES

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- REFER TO FINISHES NOTES, SHEET A0091
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LEGEND

PROPOSED WALLS

CONCRETE SLAB

SERVICE RISER ZONE

CONCRETE FOOTING BELOW

DIMS PLUMBING AND DRAINAGE PENETRATIONS ✓ SLAB SETOUT DIMENSIONS

DIMS STRUCTURAL SETOUT DIMENSIONS

WASHING MACHINE KITCHEN SINK STACK 100Ø

SHOWER

BASIN

UNDER

DOWNPIPE

SEWER STACK

TOILET PANS

HWC

DP

ORG

FWG

WM

SS

APPROVED BUILDING CONSENT PLANS

OVERFLOW RELIF GULLY

FLOOR WASTE GULLY

HOT WATER CYLINDER, WITH SAFE TRAY

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DOMINION

8-18 EDMONTON AVENUE

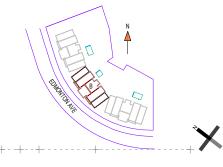
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



BUILDING CONSENT STAGE 3

- THE FINE PRINT

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PROPOSED BLOCK B GROUND FLOOR **SLAB SETOUT PLANS**

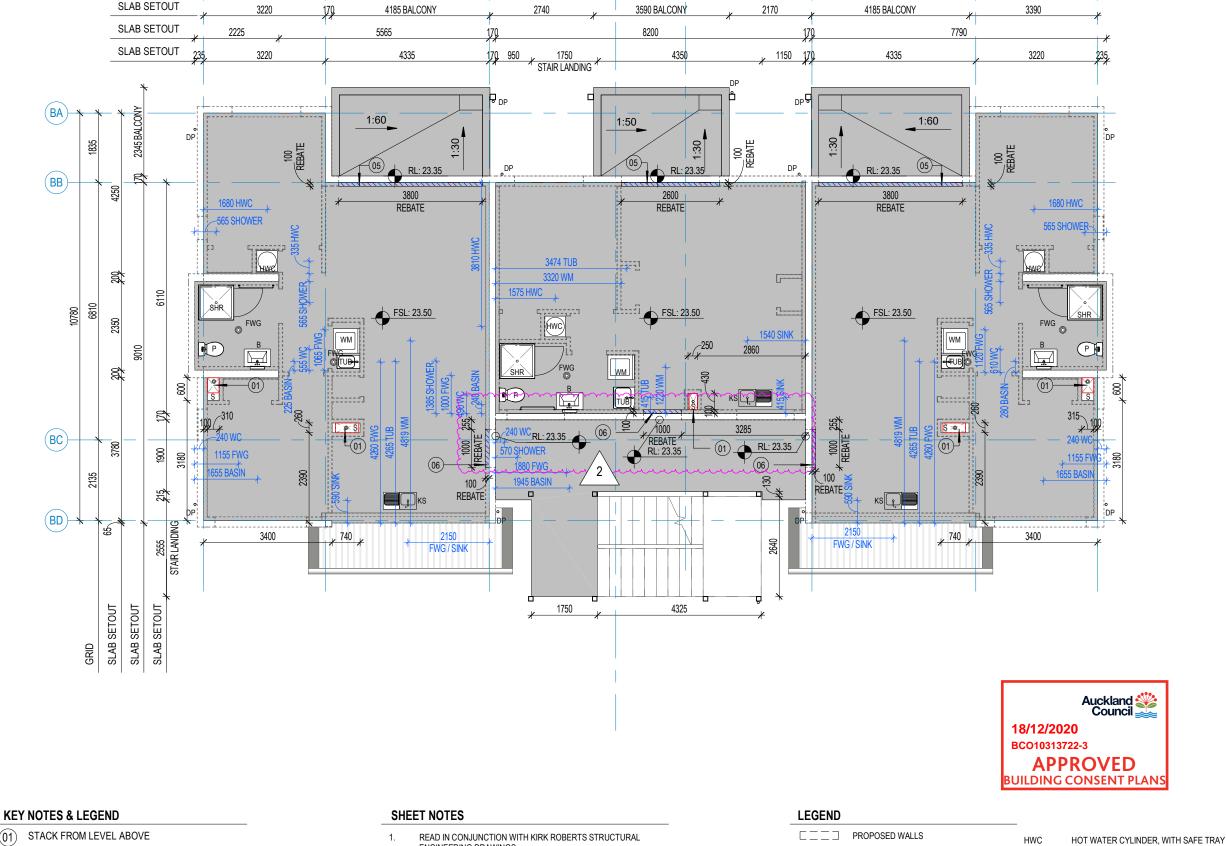
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100 SHEET SIZE







23650

1840

3350

3350

- (02) TUNDISH DISCHARGE TO EXTERIOR

GRID

3220

4335

- (03) DRAINAGE CHANNEL
- (04) REBATE FOR USER FRIENDLY SHOWER 1200X1200X30 DEEP
- 30mm DEPTH REBATE
- 60mm DEPTH REBATE

- ENGINEERING DRAWINGS.
 REFER TO SHEETS A7440 A7480 FOR PLUMBING SCHEMATICS.
 REFER TO PLUMBING NOTES, SHEET A0091
- REFER TO FINISHES NOTES, SHEET A0091
- ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL

CONCRETE SLAB SERVICE RISER ZONE CONCRETE FOOTING BELOW

DIMS PLUMBING AND DRAINAGE PENETRATIONS

★ SLAB SETOUT DIMENSIONS DIMS STRUCTURAL SETOUT DIMENSIONS

(B7)

3220

4335

DP DOWNPIPE ORG OVERFLOW RELIF GULLY SEWER STACK SS FWG FLOOR WASTE GULLY **TOILET PANS** BASIN SHOWER WM WASHING MACHINE KITCHEN SINK STACK 100Ø

UNDER

Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444



DOMINION

8-18 EDMONTON AVENUE

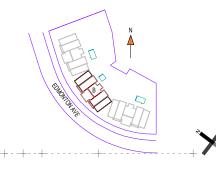
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

- HIE FINE PRINT
 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 14.

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PROPOSED BLOCK B FIRST FLOOR SLAB **SETOUT PLANS**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%







KEY NOTES & LEGEND

- STACK FROM LEVEL ABOVE
- (02) TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- (04) REBATE FOR USER FRIENDLY SHOWER 1200X1200X30 DEEP
- 30mm DEPTH REBATE
- 60mm DEPTH REBATE

SHEET NOTES

- READ IN CONJUNCTION WITH KIRK ROBERTS STRUCTURAL
- ENGINEERING DRAWINGS.
 REFER TO SHEETS A7440 A7480 FOR PLUMBING SCHEMATICS.
 REFER TO PLUMBING NOTES, SHEET A0091
- REFER TO FINISHES NOTES, SHEET A0091
- ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL

CONCRETE SLAB SERVICE RISER ZONE CONCRETE FOOTING BELOW DIMS PLUMBING AND DRAINAGE PENETRATIONS ★ SLAB SETOUT DIMENSIONS

DIMS STRUCTURAL SETOUT DIMENSIONS

PROPOSED WALLS

LEGEND

HOT WATER CYLINDER, WITH SAFE TRAY UNDER

DP DOWNPIPE ORG OVERFLOW RELIF GULLY SS

SEWER STACK FWG FLOOR WASTE GULLY

TOILET PANS BASIN SHOWER

HWC

WM WASHING MACHINE KITCHEN SINK STACK 100Ø

Young+ Richards+

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DOMINION

8-18 EDMONTON AVENUE

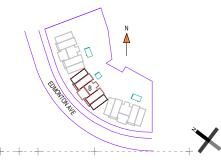
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

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PROPOSED BLOCK B SECOND FLOOR **SLAB SETOUT PLANS**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%







(02)

(03)

04)

KEY NOTES & LEGEND

DRAINAGE CHANNEL

1200X1200X30 DEEP

STACK FROM LEVEL ABOVE

TUNDISH DISCHARGE TO EXTERIOR

REBATE FOR USER FRIENDLY SHOWER



SHEET NOTES

- READ IN CONJUNCTION WITH KIRK ROBERTS STRUCTURAL
- ENGINEERING DRAWINGS.
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 REFER TO PLUMBING NOTES, SHEET A0091
- REFER TO FINISHES NOTES, SHEET A0091
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PROPOSED WALLS CONCRETE SLAB SERVICE RISER ZONE FWG CONCRETE FOOTING BELOW DIMS PLUMBING AND DRAINAGE PENETRATIONS WM ★ SLAB SETOUT DIMENSIONS DIMS STRUCTURAL SETOUT DIMENSIONS

LEGEND

HOT WATER CYLINDER, WITH SAFE TRAY UNDER

DP DOWNPIPE ORG OVERFLOW RELIF GULLY SEWER STACK SS

FLOOR WASTE GULLY **TOILET PANS**

BASIN SHOWER

WASHING MACHINE KITCHEN SINK STACK 100Ø

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DOMINION

8-18 EDMONTON AVENUE

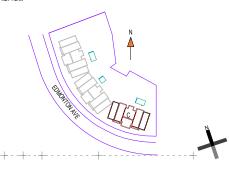
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



BUILDING CONSENT STAGE 3

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO AZ BUILDING ACT, SECTION 17.

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PROPOSED BLOCK C GROUND FLOOR **SLAB SETOUT PLANS**

PROJECT STATUS

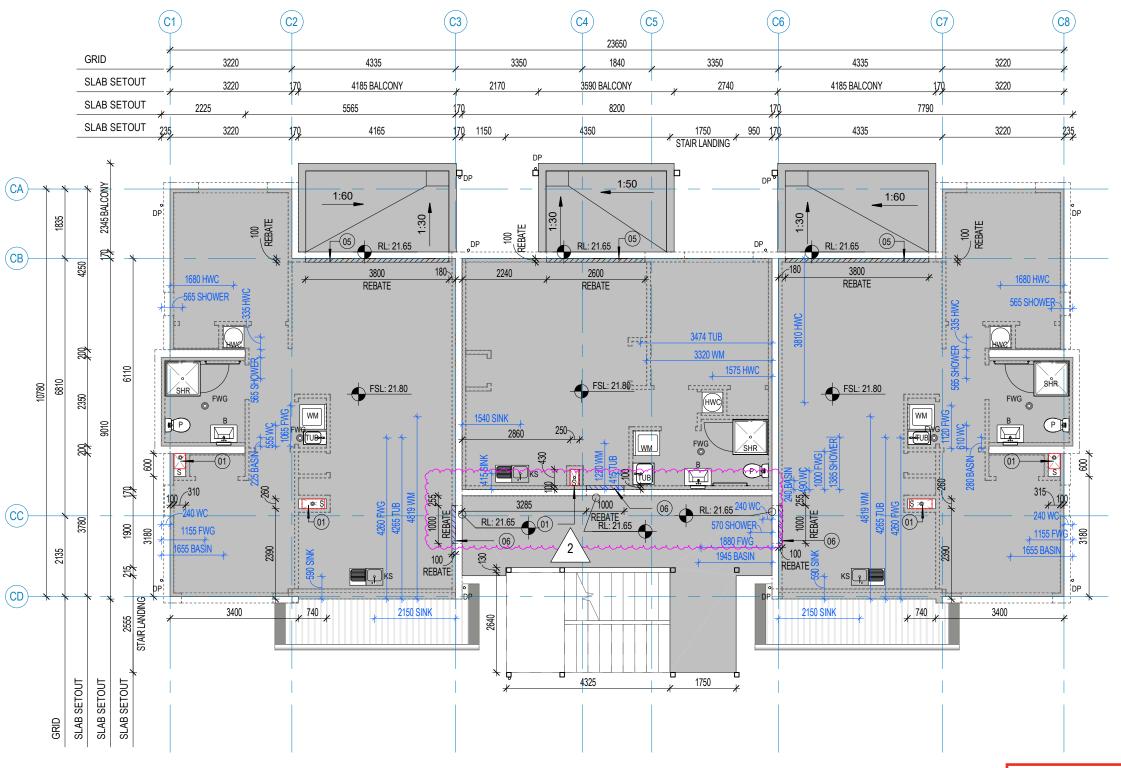
BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%







Auckland Council 18/12/2020 BCO10313722-3 **APPROVED** BUILDING CONSENT PLANS

KEY NOTES & LEGEND

- STACK FROM LEVEL ABOVE
- (02) TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- (04) REBATE FOR USER FRIENDLY SHOWER 1200X1200X30 DEEP
- 30mm DEPTH REBATE
- 60mm DEPTH REBATE

SHEET NOTES

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LEGEND

HOT WATER CYLINDER, WITH SAFE TRAY UNDER

DOWNPIPE

ORG OVERFLOW RELIF GULLY SS

SEWER STACK FLOOR WASTE GULLY

TOILET PANS BASIN SHOWER

> WASHING MACHINE KITCHEN SINK STACK 100Ø

Young+ Richards+

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DOMINION

8-18 EDMONTON AVENUE

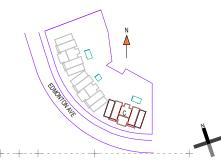
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETECT TO NZ BUILDING ACT, SECTION 40.

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PROPOSED BLOCK C FIRST FLOOR SLAB SETOUT PLANS

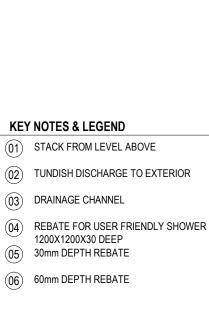
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%





SLAB SETOUT SLAB SETOUT

GRID

SLAB SETOUT

SLAB SETOUT

SLAB SETOUT

2345 BALCOIN

23

2555 LANDII

SLAB

835

8810

(CB)

(CC)

(CD)

3220

3220

3220

-565 SHOWER

FWG

4335

4185 BALCONY

4335

3800

REBATE

FSL: 24.80

3800 180

1:60

740

7790

SHEET NOTES

2150 SINK

- READ IN CONJUNCTION WITH KIRK ROBERTS STRUCTURAL
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LEGEND PROPOSED WALLS CONCRETE SLAB SERVICE RISER ZONE CONCRETE FOOTING BELOW DIMS PLUMBING AND DRAINAGE PENETRATIONS WM ★ SLAB SETOUT DIMENSIONS DIMS STRUCTURAL SETOUT DIMENSIONS

(C6)

4335

4185

4335

REBATE

FSL: 24.80

100

2150 SINK

بر 740 بر

1:60

7875

3220

3220

3220

1680 HWC

(01)

3400

365

650 SHOWER

3350

2740

______1750 _____950 _17(

3474 TUB

STAIR LANDING

3320 WM

23650

1840

8200

1:50

3590 BALCONY

REBATE

4325

3350

2170

2240

(06)

100 邑 REBATE 🛬 🗖

70 1150

HOT WATER CYLINDER, WITH SAFE TRAY UNDER DOWNPIPE OVERFLOW RELIF GULLY

APPROVED BUILDING CONSENT PLANS

Auckland ** Council 2

ORG SEWER STACK SS FWG FLOOR WASTE GULLY

TOILET PANS BASIN

18/12/2020 BCO10313722-3

SHOWER WASHING MACHINE KITCHEN SINK STACK 100Ø



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DOMINION

8-18 EDMONTON AVENUE

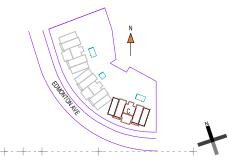
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETECT TO NZ BUILDING ACT, SECTION 40.

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PROPOSED BLOCK C SECOND FLOOR **SLAB SETOUT PLANS**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

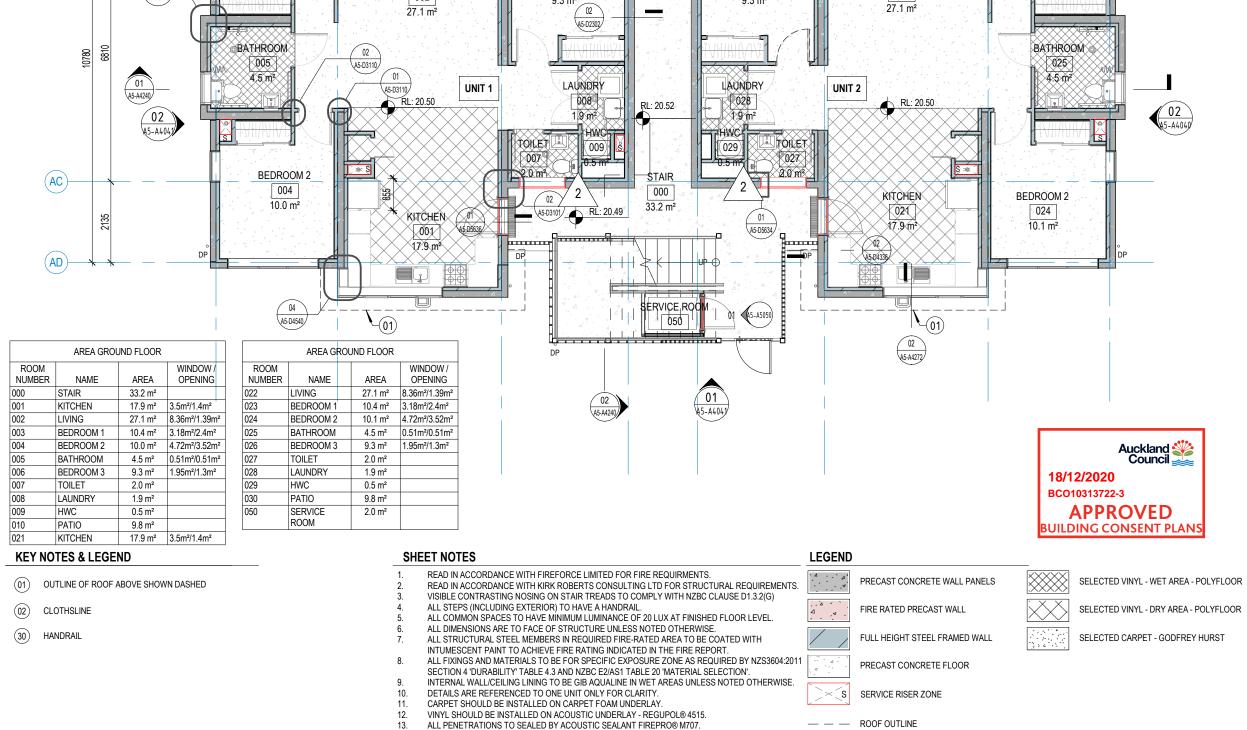
SHEET SIZE A3=100%



(AB)

A5-D3100





(A2)

3220

A5-D3101,

BEDROOM 1

003

10.4 m

(A3)

3350

A5-D3101

BEDROOM 3

006

9.3 m²

1840

4335

-03 PATIO

010

9.8 m²

LIVING

002

RI · 20 48

(A6

DP

A5-A4273

3350

BEDROOM 3

026

9.3 m²

(A5-A5080)

4335

PATIO

030

9.8 m²

RL: 20.48

LIVING

022

(03)

(A7)

3220

BÉDROOM 1

023

10.4 m²

Young+ Richards+

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DOMINION

8-18 EDMONTON AVENUE

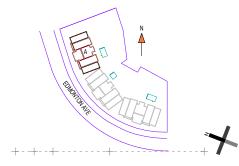
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHF
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YF
2	11/12/20	BC3 CONSENTIUM RFI	YR	YF

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PROPOSED BLOCK A GROUND FLOOR **CONSTRUCTION PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100



100

101

102

103

104

105

106

107

108

121

122

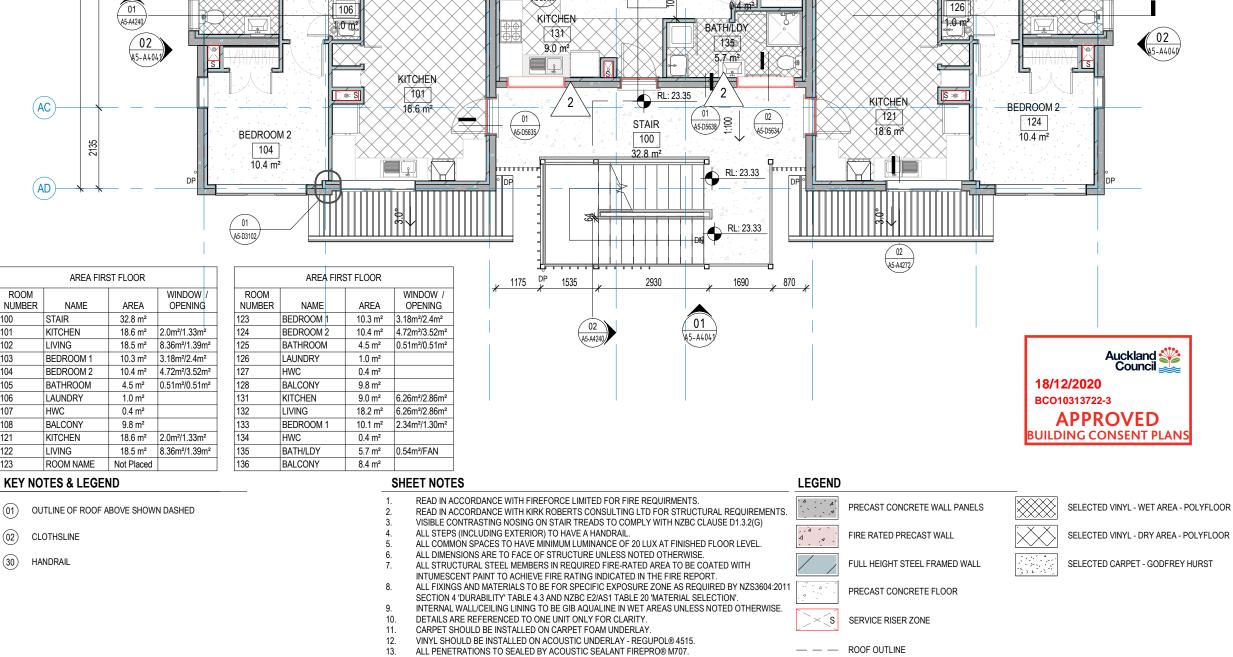
123

(01)

(02)

(30)





(A6

DP

3350

02

A5-D3102

BEDROOM 1

133

10.1 m²

134

(A5-A5080)

A5-A4273

UNIT 5

4335

(02)

BALCONY

128

9.8 m²

LIVING

122

18.5 m²

RL: 23.50

126

RL: 23.49

(03)

(A7)

3220

BEDROOM 1

123

10.3 m²

127

0 4 m

BATHROOM

125

4,5 m²

(A2

3220

BEDROOM 1

103

10.3 m²

610

BATHROOM

105

4.5 m²

1HW0-

107

835

6810

10780

(AB)

4335

BALCONY

9.8 m²

RL: 23.49

LIVING

102

18.5 m²

**RL: 23.50

LAUNDR

106

UNIT 3

108

/(02)

-(03)

3350

A5-D3100

1840

02

BALCONY

136

8.4 m²

RL: 23.49

UNIT 4

LIVING

132

18.2 m

RL: 23.50

Young+ Richards+

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DOMINION

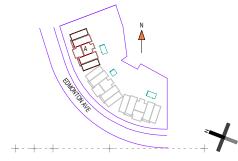
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER 200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	
1	20/11/20	BUILDING CONSENT STAGE 3	YR	
2	11/12/20	BC3 CONSENTIUM RFI	YR	

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

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- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNED

PROPOSED BLOCK A FIRST FLOOR **CONSTRUCTION PLAN**

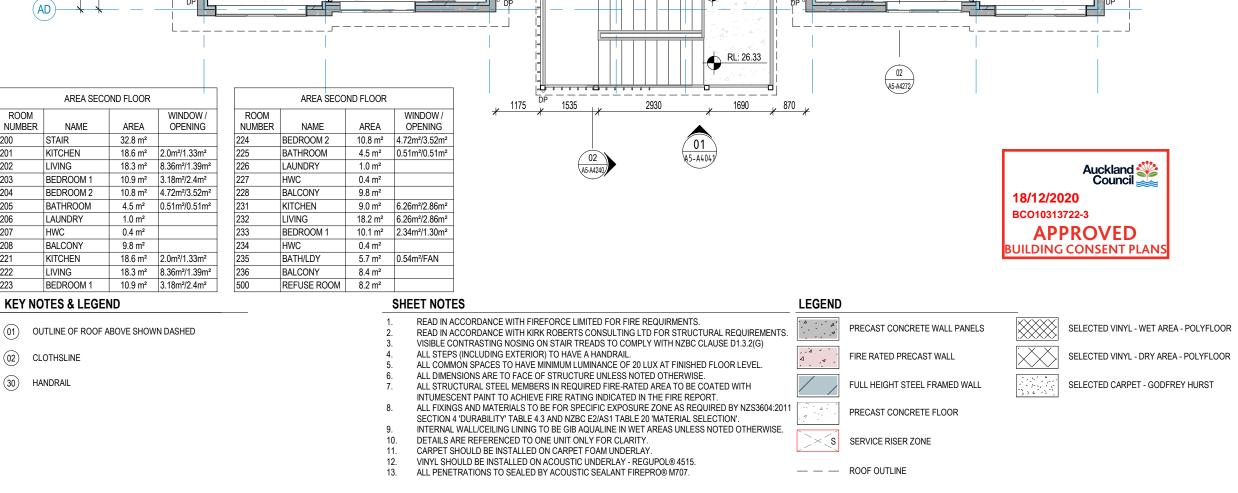
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%





23650

1840

BALCONY

236

8 4 m²

RL: 26.49

03

A5-D3131/

LIVING

232

18.2 m²

RL: 26.50

UNIT 7

STAIR

200

32.8 m²

3350

KITCHEN

231

9,0 m²

(A6)

A5-A4273

3350

(01)

A5-D3103

BEDROOM 1

233

10.1 m²

234

BATHALDY

RL: 26.33

9

235

(A7)

3220

BEDROOM 1

223

10.9 m²

HWC

227

BATHROOM

225

14.5 m²

BEDROOM 2

224

10.8 m²

-(01)

4335

(03)

(02)

BALCONY

228

9.8 m²

RL: 26.49

LIVING

222

18.3 m²

RL: 26.50

LAUNDRY

226

1.0 m²

KITCHEN

221

18,6 m²

UNIT 8

(A2

3220

BEDROOM 1

203

10.9 m²

HWC

BATHROOM

205

4.5 m²

BEDROOM 2

204

10.8 m²

835

6810

A5-A4240/

02

10780

(AB)

(AC)

ROOM

NUMBER

200

201

202

203

204

205

206

207

208

221

222

223

(01)

(02)

(30)

4335

BALCONY

208

9.8 m²

LIVING

202

18.3 m²

RL: 26.50

KKTCHEN 201

18.6 m²

LAUNDR

206

(10 m)2

RL: 26.49

A5-D3130/

UNIT 6

Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444



DOMINION

8-18 EDMONTON AVENUE

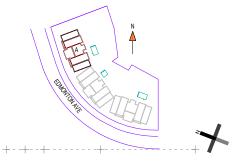
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



BUILDING CONSENT STAGE 3 20/11/20 YR 11/12/20 BC3 CONSENTIUM RFI YR YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, CROINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.

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DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNE

PROPOSED BLOCK A SECOND FLOOR **CONSTRUCTION PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

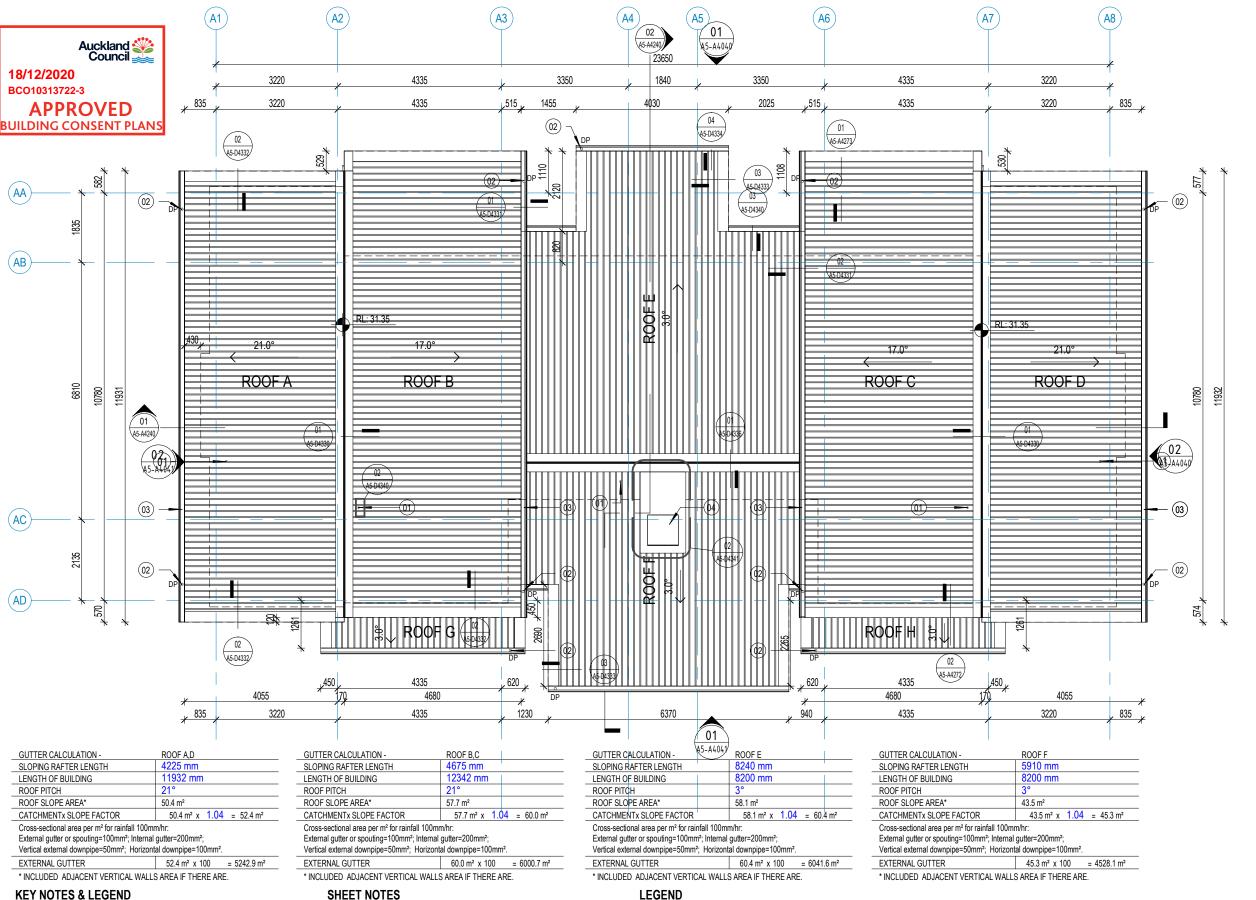
SHEET SCALE 1:100

SHEET SIZE A3=100%







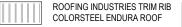


KEY NOTES & LEGEND

- (01)
- (02) 63Ø MIN DOWNPIPE
- (03) 135MM QUATER ROUND GUTTER
- ROOF ACCESS HATCH WITH FLASHING

- REFER TO CONSTRUCTION NOTES, SHEET A0091 ALL TIMBER TREATMENT TO COMPLY WITH NZS 3602, 3604 AND E2/AS1, REFER TO SHEET A0090
- GUTTER FALLS TO COMPLY WITH E1.
- FOR ROOF ANCHOR LAYOUT REFER TO TOTAL HEIGHT SAFETY DOCUMENTATION. ANCHORS TO ALIGN WITH STRUCTURE. REFER STRUCTURAL ENGINEERS DRAWINGS
- MIN. GUTTER CROSS DECTIONAL AREA TO BE 6100MM²

LEGEND



PRECAST PANEL OUTLINE BELOW



J. Taragraph 4.2.1				
Downpipe size (mm)		Roof	pitch	
(minimum internal sizes)	0-25°	25-35°	35-45°	45-55°
		Plan area of roof serv	ed by the downnine (m ² 1
		riali alea di 1001 serv	ed by the downpipe (111 /
63 mm diameter	60	50	40	35
74 mm diameter	85	70	60	50
100 mm diameter	155	130	110	90
150 mm diameter	350	290	250	200
65 x 50 rectangular	60	50	40	35
100 v 50 rectangular	100	90	70	60

90

ipe Sizes for Given Roof Pitch and Area

110

75 x 75 rectangular

100 x 75 rectangular

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DOMINION

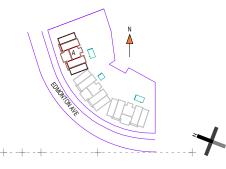
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMEY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY COVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 19.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLSHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING SONISHT. REFER TO NZ BUILDING ACT, SECTION 40.

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- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNED

SHEET NAME

PROPOSED BLOCK A ROOF **CONSTRUCTION PLAN**

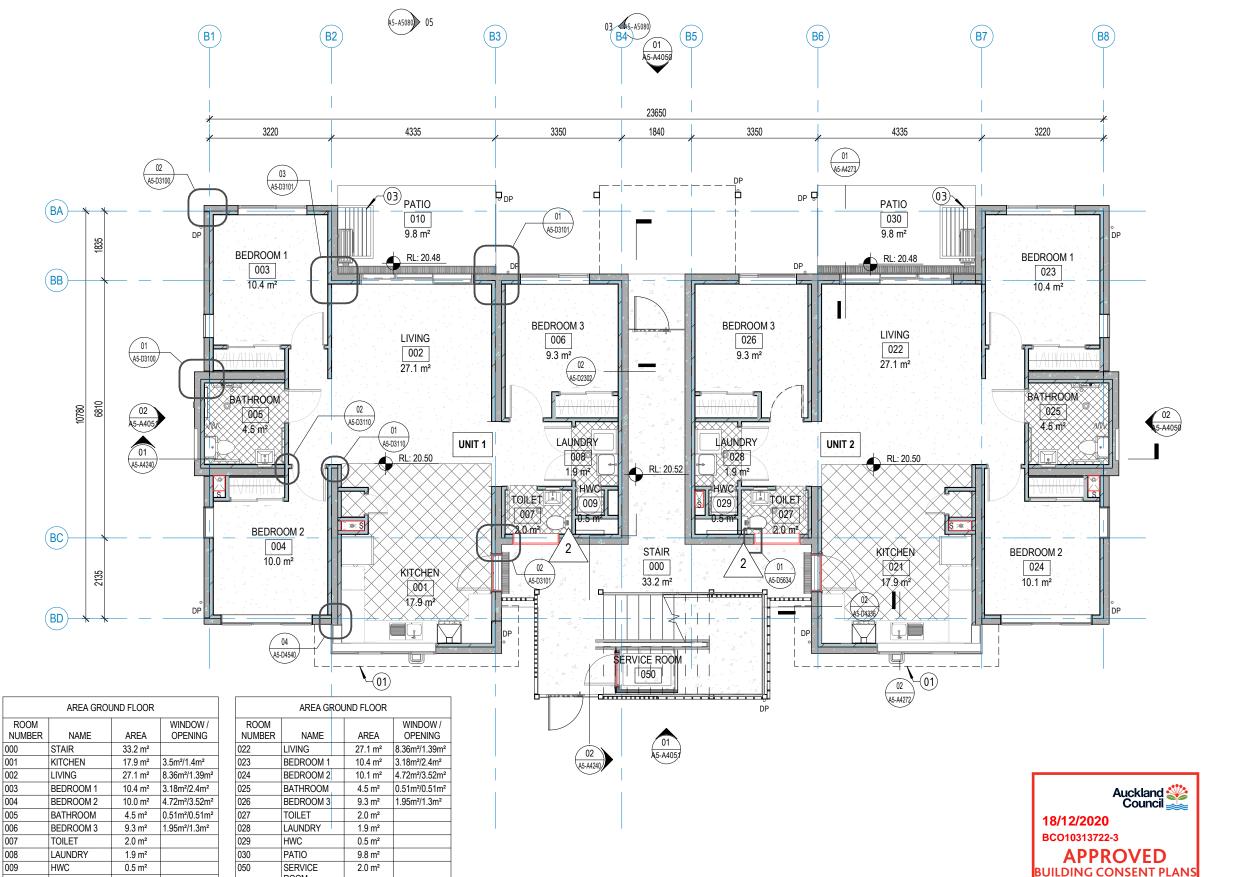
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE SHEET SIZE A3=100% 1:100







KITCHEN **KEY NOTES & LEGEND**

PATIO

(01) OUTLINE OF ROOF ABOVE SHOWN DASHED

9.8 m²

17.9 m² | 3.5m²/1.4m²

ROOM

- (02) CLOTHSLINE
- (30) HANDRAIL

010

021

- READ IN ACCORDANCE WITH FIREFORCE LIMITED FOR FIRE REQUIRMENTS.
- VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
- ALL STEPS (INCLUDING EXTERIOR) TO HAVE A HANDRAIL.

SHEET NOTES

- ALL COMMON SPACES TO HAVE MINIMUM LUMINANCE OF 20 LUX AT FINISHED FLOOR LEVEL.
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH
- INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT.
- INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
- DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY.
- ALL PENETRATIONS TO SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

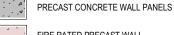
LEGEND

READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING LTD FOR STRUCTURAL REQUIREMENTS.

FIRE RATED PRECAST WALL

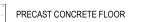
ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY NZS3604:2011 SECTION 4 DURABILITY TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'.

- CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
- VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY REGUPOL® 4515.











ROOF OUTLINE

Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444



DOMINION

8-18 EDMONTON AVENUE

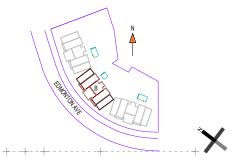
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	
1	20/11/20	BUILDING CONSENT STAGE 3	YR	
2	11/12/20	BC3 CONSENTIUM RFI	YR	

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

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SELECTED VINYL - WET AREA - POLYFLOOR

SELECTED VINYL - DRY AREA - POLYFLOOR

SELECTED CARPET - GODFREY HURST

PROPOSED BLOCK B GROUND FLOOR **CONSTRUCTION PLAN**

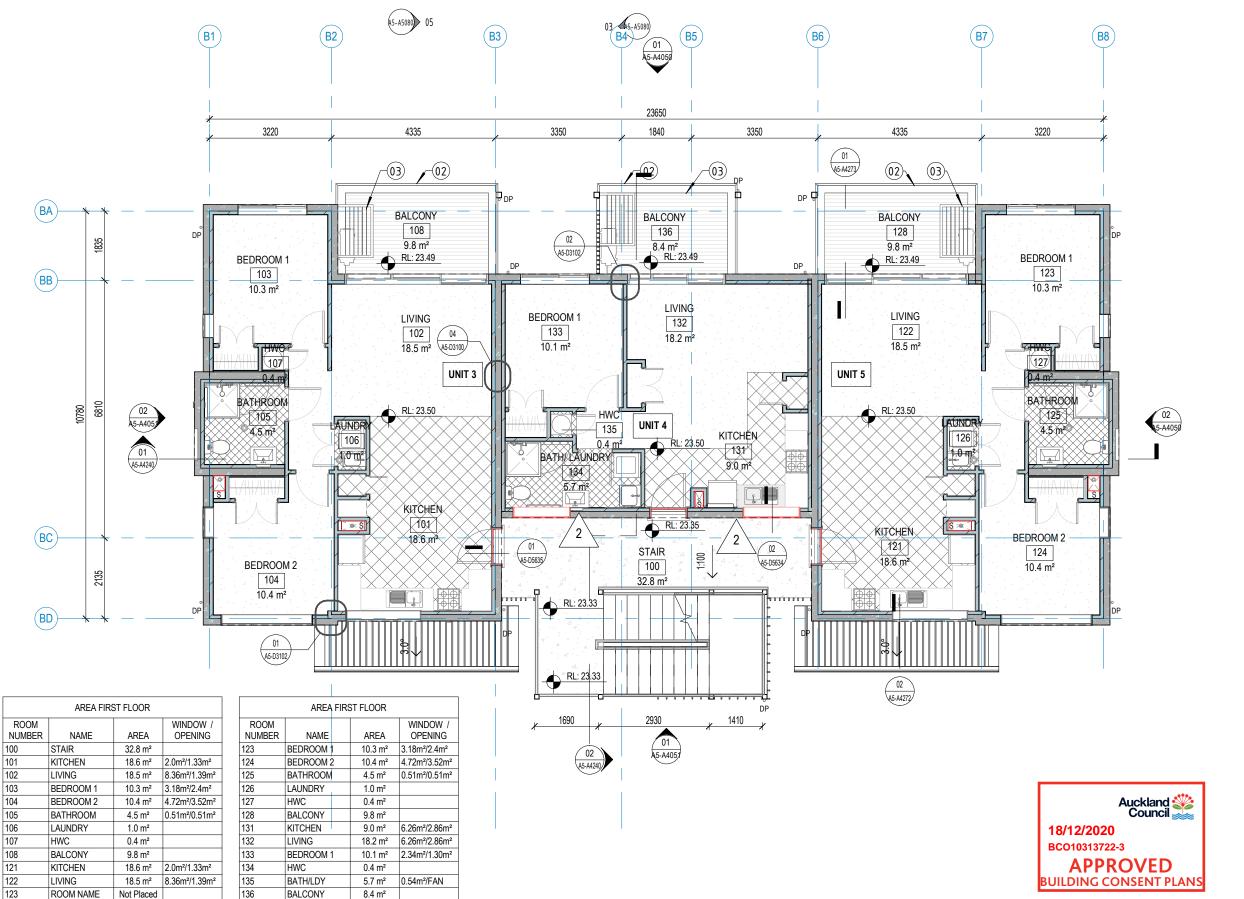
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100







KEY NOTES & LEGEND

- (01) OUTLINE OF ROOF ABOVE SHOWN DASHED
- (02) CLOTHSLINE
- (30) HANDRAIL

- READ IN ACCORDANCE WITH FIREFORCE LIMITED FOR FIRE REQUIRMENTS.
- VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
- ALL STEPS (INCLUDING EXTERIOR) TO HAVE A HANDRAIL.

SHEET NOTES

- ALL COMMON SPACES TO HAVE MINIMUM LUMINANCE OF 20 LUX AT FINISHED FLOOR LEVEL.
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- DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY. CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
- VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY REGUPOL® 4515.
- ALL PENETRATIONS TO SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

PRECAST CONCRETE WALL PANELS

READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING LTD FOR STRUCTURAL REQUIREMENTS.

FIRE RATED PRECAST WALL



PRECAST CONCRETE FLOOR

SERVICE RISER ZONE

ROOF OUTLINE

Young+ Richards+

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DOMINION

8-18 EDMONTON AVENUE

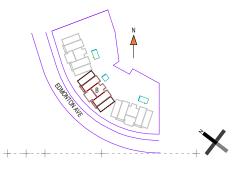
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

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SELECTED VINYL - WET AREA - POLYFLOOR

SELECTED VINYL - DRY AREA - POLYFLOOR

SELECTED CARPET - GODFREY HURST

PROPOSED BLOCK B FIRST FLOOR **CONSTRUCTION PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100





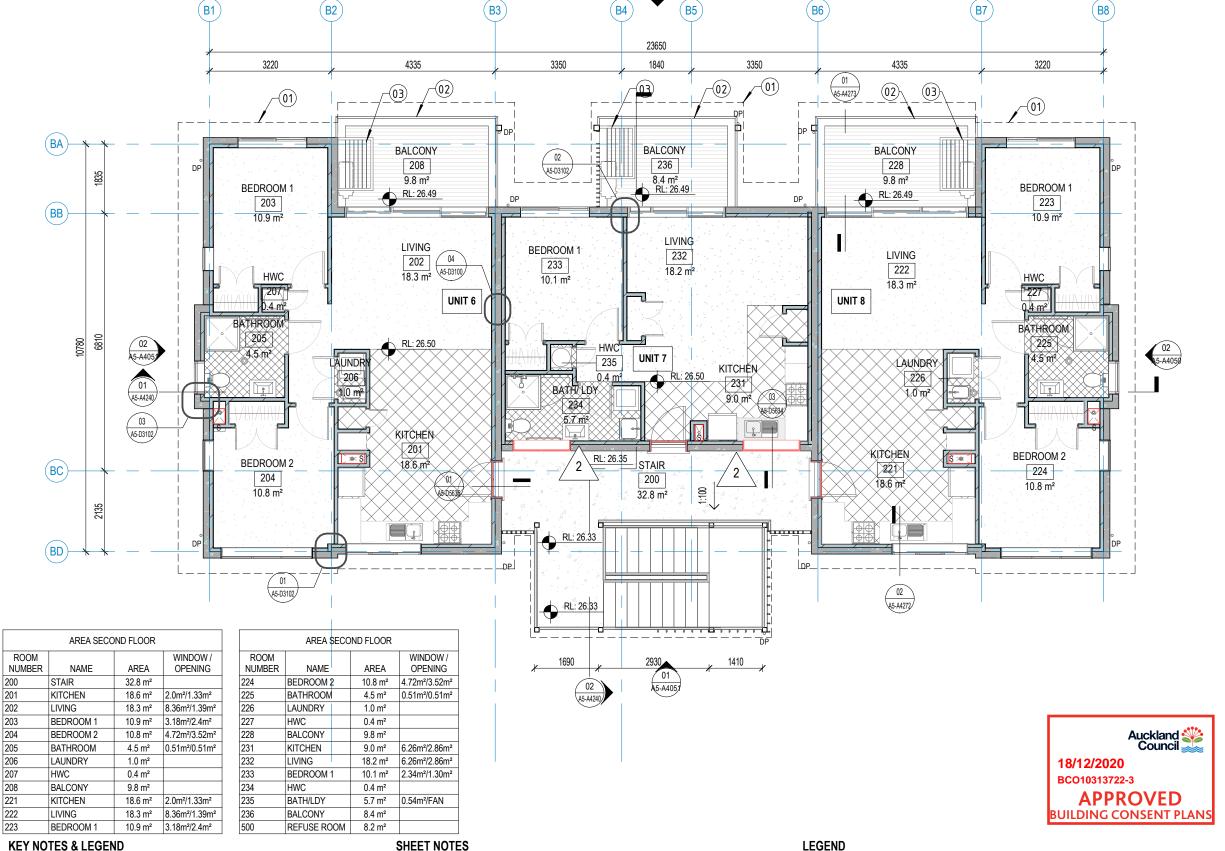
204

205

207

221





KEY NOTES & LEGEND

- (01) OUTLINE OF ROOF ABOVE SHOWN DASHED
- (02) CLOTHSLINE
- (30) HANDRAIL

SHEET NOTES

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ROOF OUTLINE

PRECAST CONCRETE WALL PANELS

FULL HEIGHT STEEL FRAMED WALL

FIRE RATED PRECAST WALL

PRECAST CONCRETE FLOOR

SERVICE RISER ZONE

Young+ Richards+

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DOMINION

8-18 EDMONTON AVENUE

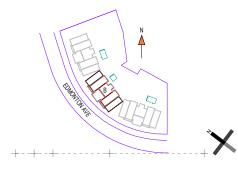
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



	REV	DATE	DESCRIPTION	BY	CHKD
P. 11/12/20 BC3 CONSENTIUM RFI YR Y	1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
	2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

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SELECTED VINYL - WET AREA - POLYFLOOR

SELECTED VINYL - DRY AREA - POLYFLOOR

SELECTED CARPET - GODFREY HURST

PROPOSED BLOCK B SECOND FLOOR **CONSTRUCTION PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

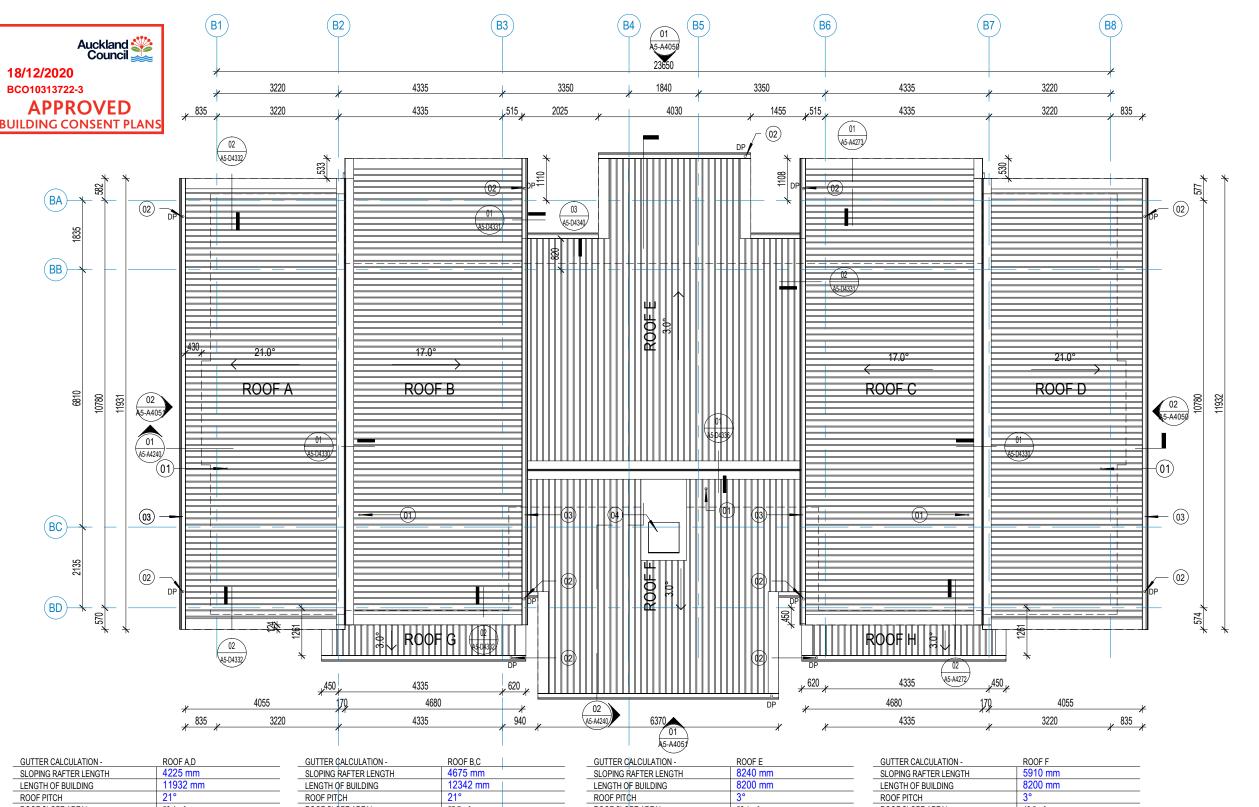












ROOF SLOPE AREA* 50.4 m² 50.4 m² x 1.04 = 52.4 m² CATCHMENTX SLOPE FACTOR

Cross-sectional area per m² for rainfall 100mm/hr: External gutter or spouting=100mm²; Internal gutter=200mm²;

Vertical external downpipe=50mm²; Horizontal downpipe=100mm² EXTERNAL GUTTER 52.4 m² x 100 = 5242.9 m²

* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.

KEY NOTES & LEGEND

(01) VENT

(02) 63Ø MIN DOWNPIPE

(03) 135MM QUATER ROUND GUTTER

ROOF ACCESS HATCH WITH FLASHING

ROOF B,C
4675 mm
12342 mm
21°
57.7 m²
$57.7 \text{ m}^2 \text{ x} 1.04 = 60.0 \text{ m}^2$

Cross-sectional area per m² for rainfall 100mm/hr: External gutter or spouting=100mm²; Internal gutter=200mm²; Vertical external downpipe=50mm²; Horizontal downpipe=100mm².

EXTERNAL GUTTER 60.0 m² x 100 = 6000.7 m²

* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.

ROOF SLOPE AREA* 58.1 m² $58.1 \,\mathrm{m^2 \ x} \quad 1.04 = 60.4 \,\mathrm{m^2}$ CATCHMENTX SLOPE FACTOR

Cross-sectional area per m² for rainfall 100mm/hr: External gutter or spouting=100mm²; Internal gutter=200mm²; Vertical external downpipe=50mm²; Horizontal downpipe=100mm².

EXTERNAL GUTTER 60.4 m² x 100 = 6041.6 m²

* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.

ROOF SLOPE AREA* 43.5 m² $43.5 \,\mathrm{m^2 \ x} \, 1.04 = 45.3 \,\mathrm{m^2}$ CATCHMENTX SLOPE FACTOR

Cross-sectional area per m² for rainfall 100mm/hr: External gutter or spouting=100mm²; Internal gutter=200mm²

Vertical external downpipe=50mm²; Horizontal downpipe=100mm². EXTERNAL GUTTER 45.3 m² x 100 = 4528.1 m²

* INCLUDED ADJACENT VERTICAL WALLS AREA IF THERE ARE.

SHEET NOTES

REFER TO CONSTRUCTION NOTES, SHEET A0091 ALL TIMBER TREATMENT TO COMPLY WITH NZS 3602, 3604 AND E2/AS1, REFER TO SHEET A0090

GUTTER FALLS TO COMPLY WITH E1.

FOR ROOF ANCHOR LAYOUT REFER TO TOTAL HEIGHT SAFETY DOCUMENTATION. ANCHORS TO ALIGN WITH STRUCTURE. REFER STRUCTURAL ENGINEERS DRAWINGS.

MIN. GUTTER CROSS DECTIONAL AREA TO BE 6100MM²

LEGEND ROOFING INDUSTRIES TRIM RIB



■ GUTTER - REFER NOTE 3. — — PRECAST PANEL OUTLINE BELOW

	5:	Paragraph 4.2.1						
	Downpipe	Downpipe size (mm) (minimum internal sizes)		Roof pitch				
	(minimum			25-35°	35-45°	45-55°		
				Plan area of roof served by the downpipe (m²)				
	63 mm dia	meter	60	50	40	35		
/	74 mm dia	meter	85	70	60	50		
	100 mm di	ameter	155	130	110	90		
	150 mm di	ameter	350	290	250	200		
	65 x 50 red	ctangular	60	50	40	35		
	100 x 50 re	ectangular	100	80	70	60		
	75 x 75 red	ctangular	110	90	80	65		
	100 x 75 re	ectangular	150	120	105	90		

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DOMINION

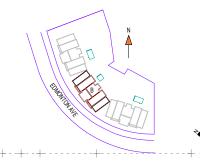
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN



REV	DATE	DESCRIPTION		CHKE
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

• ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETECT TO NZ BUILDING ACT, SECTION 40.

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SHEET NAME

PROPOSED BLOCK B ROOF **CONSTRUCTION PLAN**

PROJECT STATUS

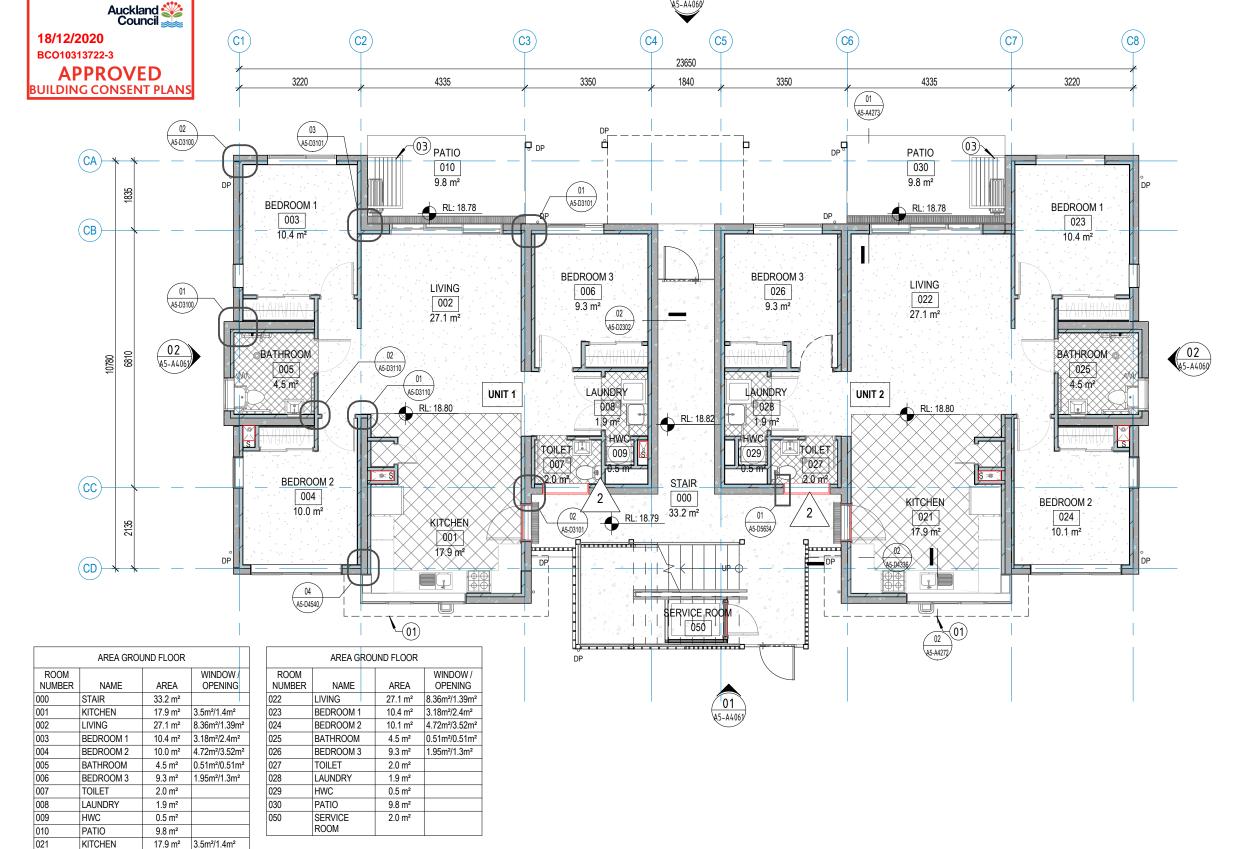
BC-CONSTRUCTION-STAGE3

SHEET SCALE SHEET SIZE









KEY NOTES & LEGEND

- (01) OUTLINE OF ROOF ABOVE SHOWN DASHED
- (02) CLOTHSLINE
- (30) HANDRAIL

SHEET NOTES

- READ IN ACCORDANCE WITH FIREFORCE LIMITED FOR FIRE REQUIRMENTS.
- READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING LTD FOR STRUCTURAL REQUIREMENTS. VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)

LEGEND

PRECAST CONCRETE WALL PANELS

FULL HEIGHT STEEL FRAMED WALL

FIRE RATED PRECAST WALL

PRECAST CONCRETE FLOOR

SERVICE RISER ZONE

ROOF OUTLINE

- ALL STEPS (INCLUDING EXTERIOR) TO HAVE A HANDRAIL.
- ALL COMMON SPACES TO HAVE MINIMUM LUMINANCE OF 20 LUX AT FINISHED FLOOR LEVEL.
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH
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- ALL PENETRATIONS TO SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

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DOMINION

8-18 EDMONTON AVENUE

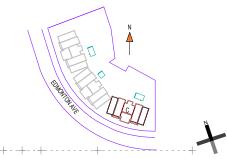
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETECT TO NZ BUILDING ACT, SECTION 40.

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SELECTED VINYL - WET AREA - POLYFLOOR

SELECTED VINYL - DRY AREA - POLYFLOOR

SELECTED CARPET - GODFREY HURST

PROPOSED BLOCK C GROUND FLOOR **CONSTRUCTION PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100







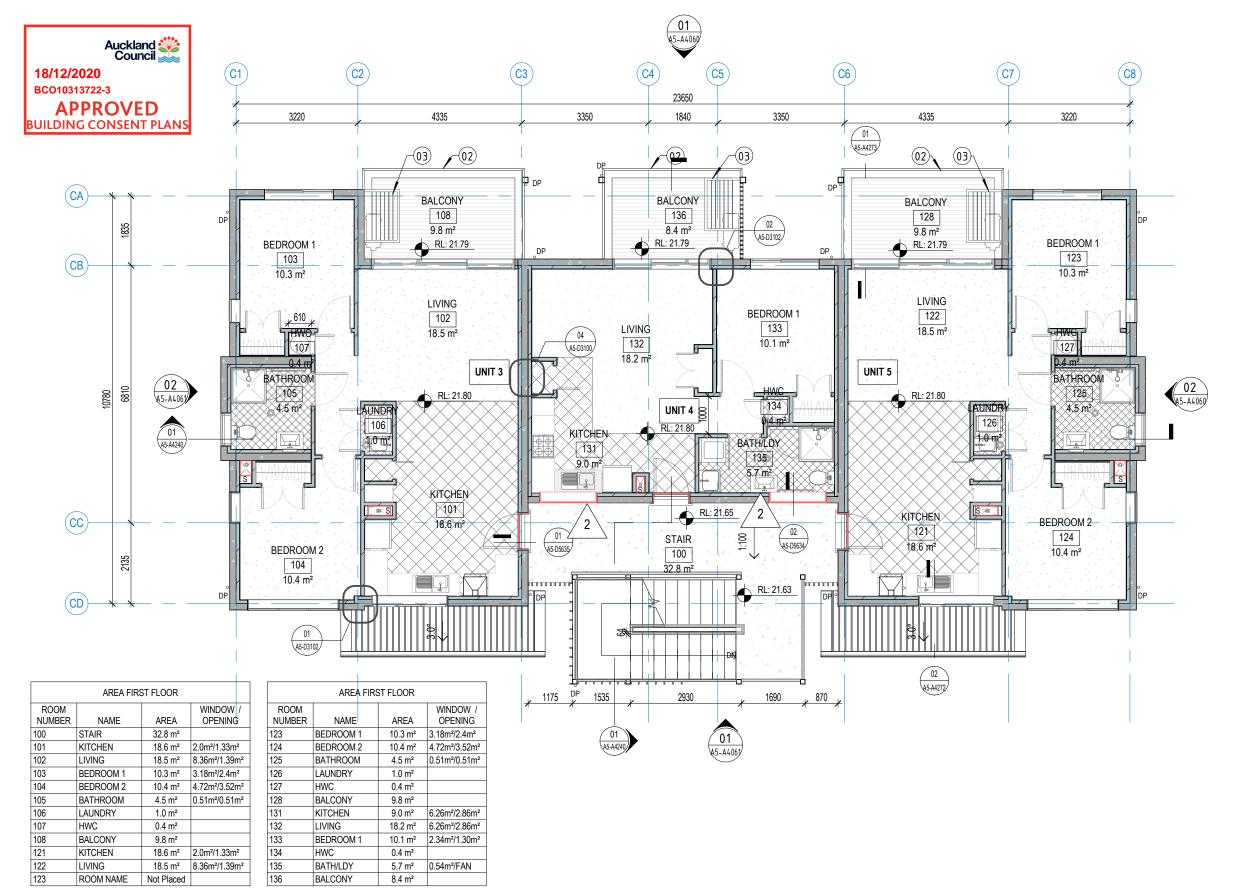




(01)

KEY NOTES & LEGEND

OUTLINE OF ROOF ABOVE SHOWN DASHED

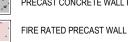


SHEET NOTES

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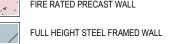
LEGEND

PRECAST CONCRETE WALL PANELS



SERVICE RISER ZONE

ROOF OUTLINE





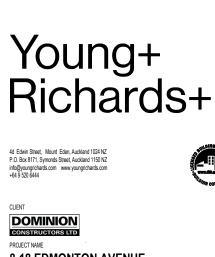
SELECTED VINYL - WET AREA - POLYFLOOR SELECTED VINYL - DRY AREA - POLYFLOOR

SELECTED CARPET - GODFREY HURST

SHEET SCALE 1:100

SHEET SIZE A3=100%

A5-A3061



DOMINION

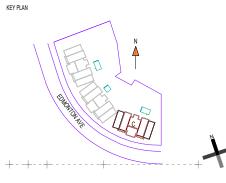
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003



	REV	DATE	DESCRIPTION	BY
2 11/12/20 BC3 CONSENTIUM RFI YF	1	20/11/20	BUILDING CONSENT STAGE 3	YR
	2	11/12/20	BC3 CONSENTIUM RFI	YR

THE FINE PRINT

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PROPOSED BLOCK C FIRST FLOOR **CONSTRUCTION PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3









223

(01)

(02)

BEDROOM 1

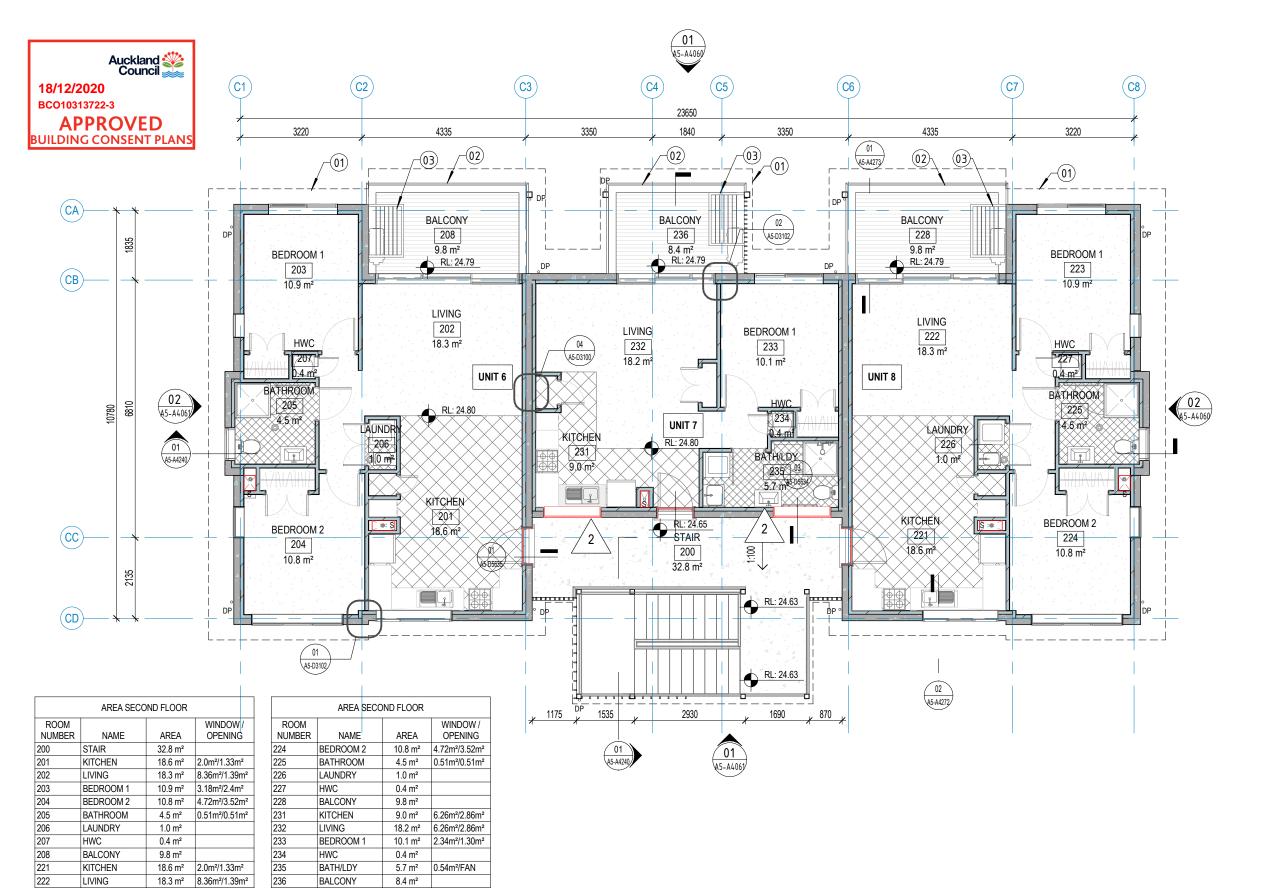
OUTLINE OF ROOF ABOVE SHOWN DASHED

KEY NOTES & LEGEND

CLOTHSLINE

10.9 m² 3.18m²/2.4m²

REFUSE ROOM 8.2 m²



LEGEND

PRECAST CONCRETE WALL PANELS

FULL HEIGHT STEEL FRAMED WALL

FIRE RATED PRECAST WALL

PRECAST CONCRETE FLOOR

SERVICE RISER ZONE

ROOF OUTLINE

- READ IN ACCORDANCE WITH FIREFORCE LIMITED FOR FIRE REQUIRMENTS.
- READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING LTD FOR STRUCTURAL REQUIREMENTS.
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SHEET NOTES

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DOMINION

8-18 EDMONTON AVENUE

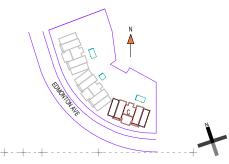
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKI
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

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SELECTED VINYL - DRY AREA - POLYFLOOR

SELECTED CARPET - GODFREY HURST

PROPOSED BLOCK C SECOND FLOOR **CONSTRUCTION PLAN**

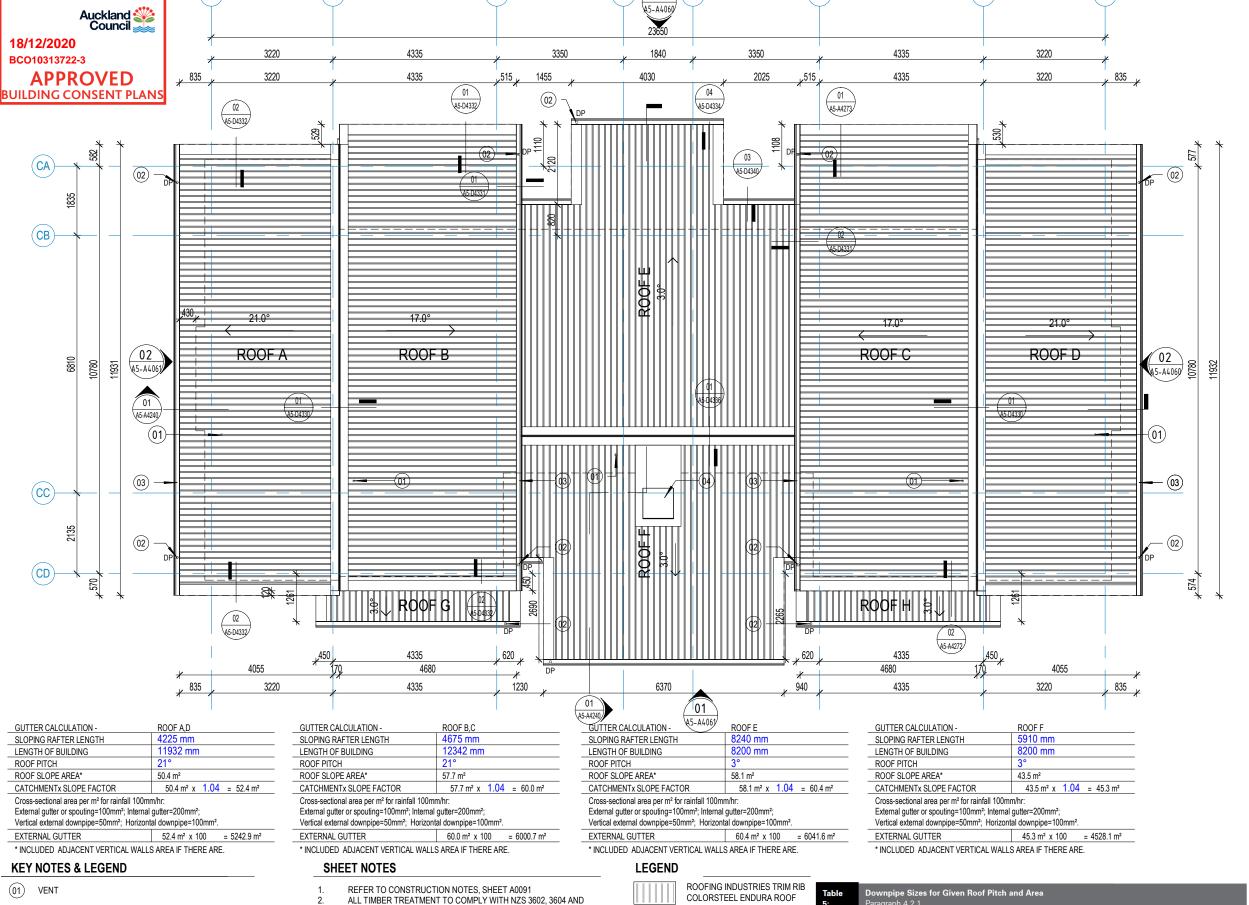
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%





(C5

01

(C6)

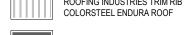
C7

- (01)
- (02) 63Ø MIN DOWNPIPE
- (03) 135MM QUATER ROUND GUTTER
- ROOF ACCESS HATCH WITH FLASHING

(C1)

C2

- E2/AS1, REFER TO SHEET A0090
- GUTTER FALLS TO COMPLY WITH E1.
- FOR ROOF ANCHOR LAYOUT REFER TO TOTAL HEIGHT SAFETY DOCUMENTATION. ANCHORS TO ALIGN WITH STRUCTURE. REFER STRUCTURAL ENGINEERS DRAWINGS.
- MIN. GUTTER CROSS DECTIONAL AREA TO BE 6100MM²



100 x 75 rectangular

FLASHINGS
GUTTER - REFER NOTE 3.
 PRECAST PANEL OUTLINE BELOW

5:	raragrapii 4.2.1				
Downpipe size (mm)			Roof	pitch	
(minimum	(minimum internal sizes)		25-35°	35-45°	45-55°
			Plan area of roof serv	ed by the downpipe	(m²)
63 mm diameter		60	50	40	35
74 mm dia	ameter	85	70	60	50
100 mm d	iameter	155	130	110	90
150 mm diameter		350	290	250	200
65 x 50 rectangular		60	50	40	35
100 x 50 r	ectangular	100	80	70	60
75 x 75 re	ctangular	110	90	80	65

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DOMINION

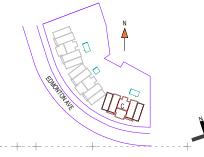
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

200003

KEY PLAN



BY	CHK
GE 3 YR	YF
	1
	_
	+
	+
	+
	+
	+

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SHEET NAME

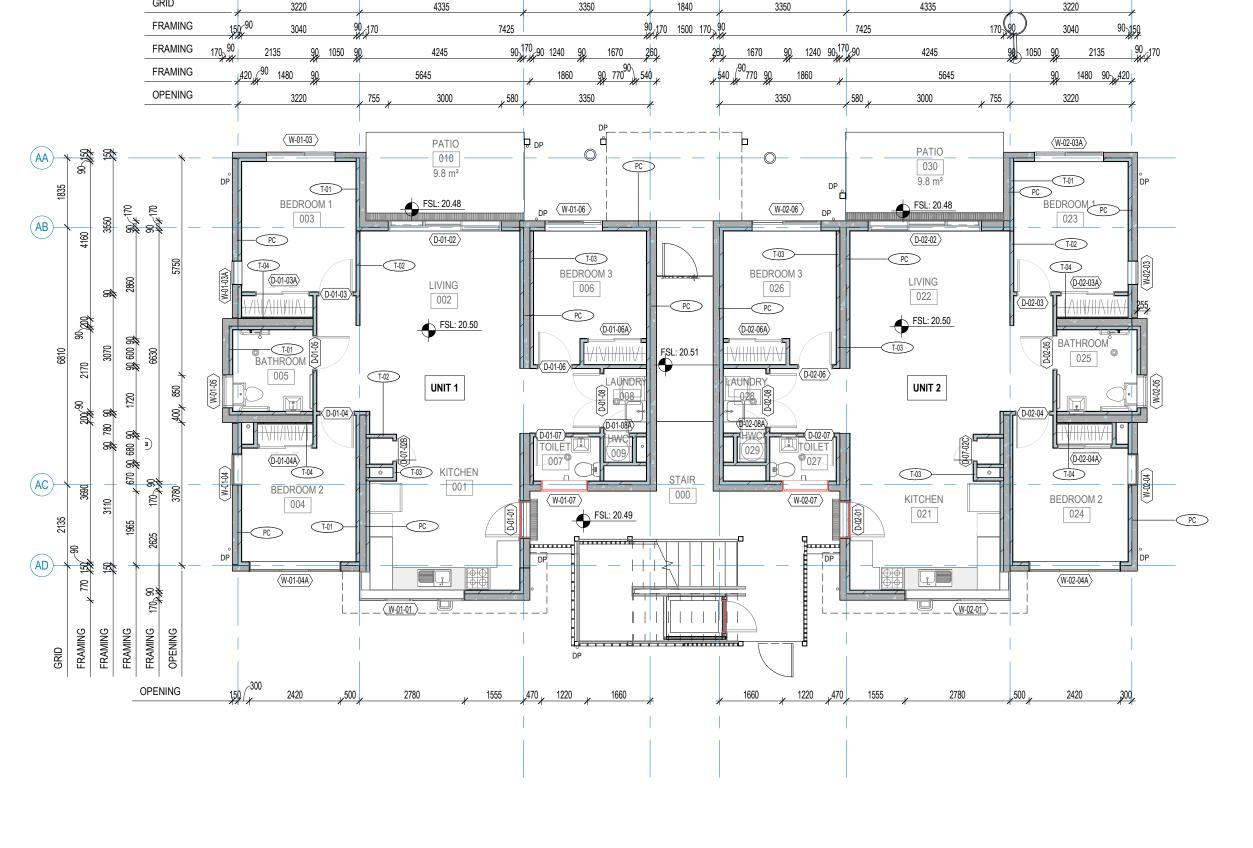
PROPOSED BLOCK C ROOF **CONSTRUCTION PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%



(A1

GRID

A2

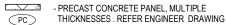
(A3)

READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.

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SHEET NOTES

LEGEND



- 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm)
- (T-01) - MAMMOTH THERMAL INSULATION R2.0 (90mm)
 - 13mm GIB WALL LINING
- -10mm GIB WALL LINING T-02
 - 92mm STEEL STUD@ 600 MAX. FRAME
 - 10mm GIB WALL LINING
- -10mm GIB WALL LINING T-03
 - 92mm STEEL STUD @ 600 MAX. FRAME - MAMMOTH INSULATION INSULATION R2.0 (90mm)
- -10mm GIB WALL LINING T-04 - RONDO 129 WITH CLIPS @ 1200mm MAX. 28mm FURRING CHANNEL
 - KNAUF THERMAL INSULATION R1.0 (30mm)

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DOMINION

8-18 EDMONTON AVENUE

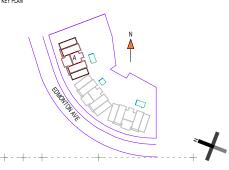
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CH
1	20/11/20	BUILDING CONSENT STAGE 3	YR	Υ

- THE FINE PRINT • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

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PROPOSED BLOCK A GROUND FLOOR FRAMING PLAN

PROJECT STATUS

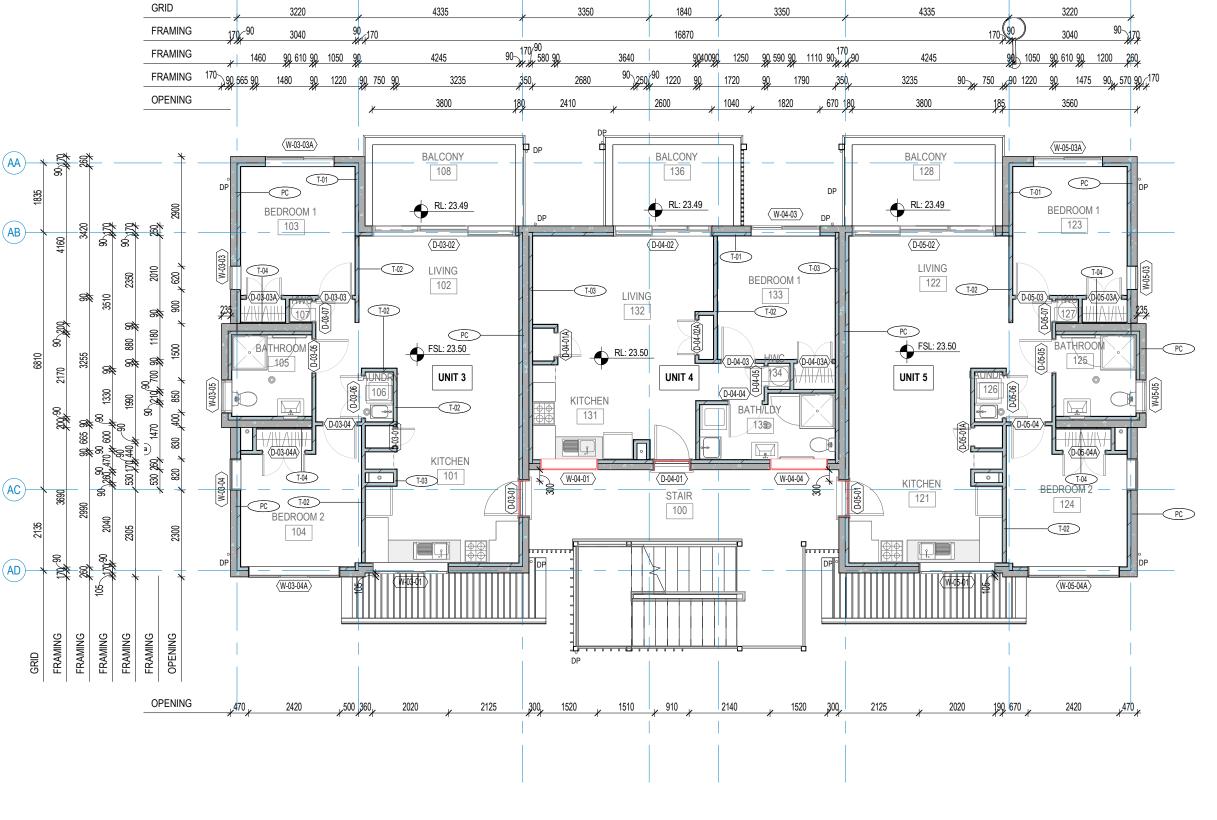
BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%







(A3)

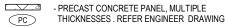
KEY NOTES & LEGEND



SHEET NOTES

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LEGEND



- 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm) (T-01)

- MAMMOTH THERMAL INSULATION R2.0 (90mm)

- 13mm GIB WALL LINING

-10mm GIB WALL LINING T-02

- 92mm STEEL STUD@ 600 MAX. FRAME - 10mm GIB WALL LINING

-10mm GIB WALL LINING T-03 - 92mm STEEL STUD @ 600 MAX. FRAME

T-04 - MAMMOTH INSULATION INSULATION

-10mm GIB WALL LINING - RONDO 129 WITH CLIPS @ 1200mm MAX. 28mm FURRING CHANNEL

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DOMINION

8-18 EDMONTON AVENUE

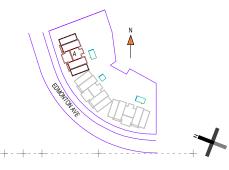
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CH
1	20/11/20	BUILDING CONSENT STAGE 3	YR	Y

- THE FINE PRINT • ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETECT TO NZ BUILDING ACT, SECTION 40.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. CONSTRUCTION LINESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT CONSENTED DOLUMENTATION TAKES PRECEDENCE.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 148.

 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULT AUTHORITY.

 THE BUILDERS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

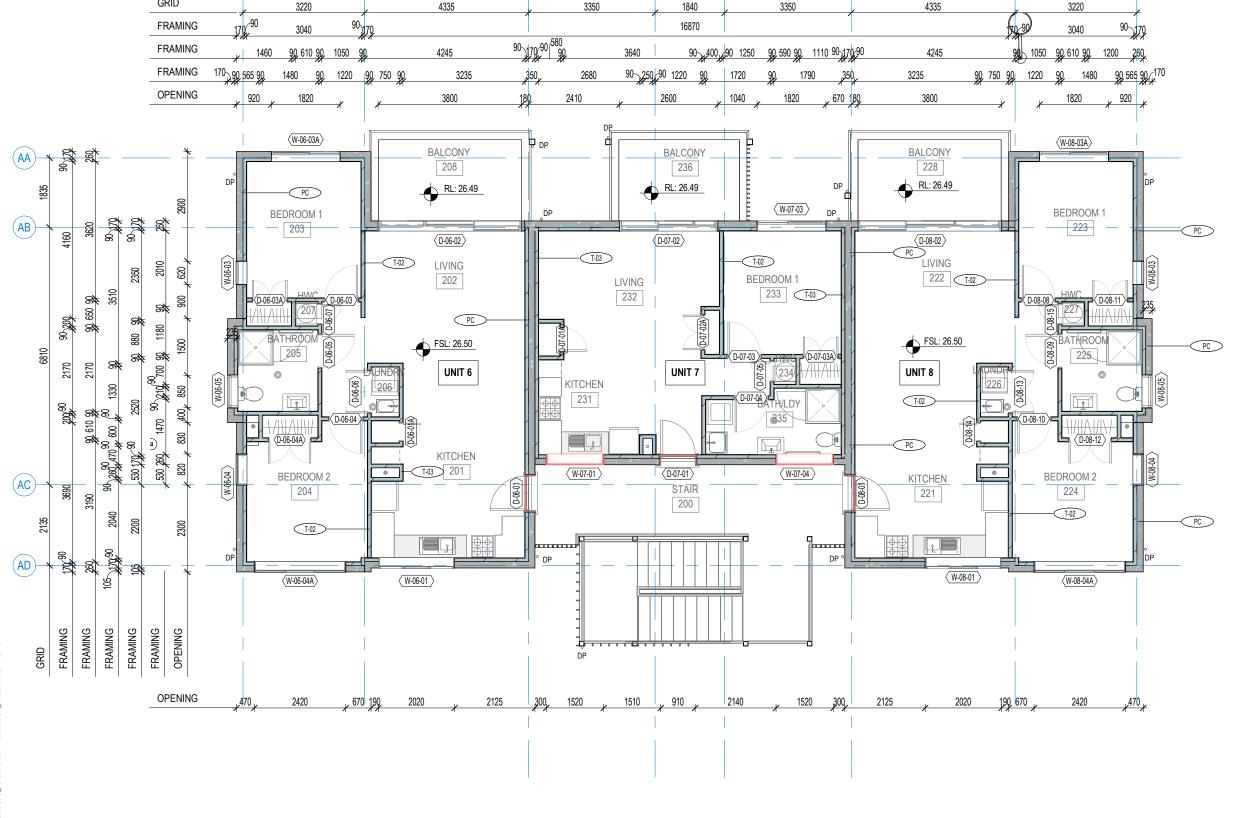
PROPOSED BLOCK A FIRST FLOOR FRAMING PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%





(A1

GRID

(A2

(A3)

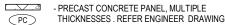
SHEET NOTES

- READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.
- VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT. REFER TO DOCUMENTATIONS FROM PASSIVE FIRE PROTECTION SYSTEMSLTD.
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- NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'. INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
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- CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
- ALL PENETRATIONS SHOULD BE ACOUSTICALLY TREATED.
- VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY REGUPOL® 4515
- ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

T-02

T-03



- 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm) (T-01) - MAMMOTH THERMAL INSULATION R2.0 (90mm)

- 13mm GIB WALL LINING

-10mm GIB WALL LINING

- 92mm STEEL STUD@ 600 MAX. FRAME

- 10mm GIB WALL LINING

-10mm GIB WALL LINING - 92mm STEEL STUD @ 600 MAX. FRAME - MAMMOTH INSULATION INSULATION R2.0 (90mm)

-10mm GIB WALL LINING T-04 - RONDO 129 WITH CLIPS @ 1200mm MAX. 28mm FURRING CHANNEL

- KNAUF THERMAL INSULATION R1.0 (30mm)

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DOMINION

8-18 EDMONTON AVENUE

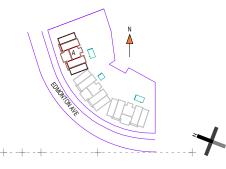
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



1 20/11/20 BUILDING CONSENT STAGE 3 YF	EV	DATE	DESCRIPTION	BY	CHK
	1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

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- DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNED

PROPOSED BLOCK A SECOND FLOOR FRAMING PLAN

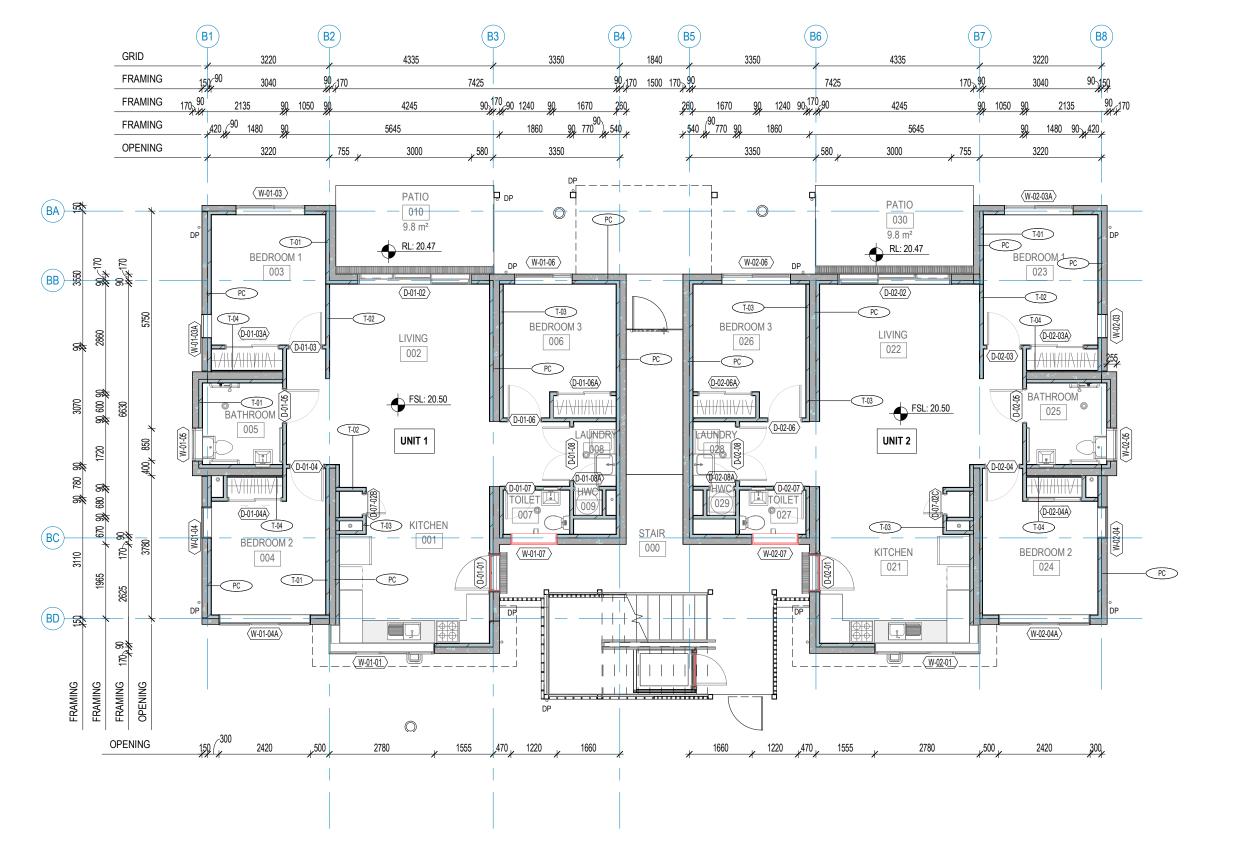
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%





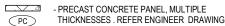


SHEET NOTES

- READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING ENGINEERS FOR ALL STRUCTURAL
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- VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY REGUPOL® 4515
- ALL PENETRATIONS SHOULD BE ACOUSTICALLY TREATED. ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

T-02



- 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm) (T-01)
 - MAMMOTH THERMAL INSULATION R2.0 (90mm) - 13mm GIB WALL LINING
 - -10mm GIB WALL LINING
 - 92mm STEEL STUD@ 600 MAX. FRAME 10mm GIB WALL LINING
- -10mm GIB WALL LINING T-03 - 92mm STEEL STUD @ 600 MAX. FRAME - MAMMOTH INSULATION INSULATION R2.0 (90mm)
- -10mm GIB WALL LINING T-04 - RONDO 129 WITH CLIPS @ 1200mm MAX. 28mm FURRING CHANNEL
 - A5-A3850 - KNAUF THERMAL INSULATION R1.0 (30mm)

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DOMINION

8-18 EDMONTON AVENUE

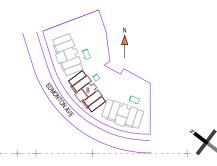
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHK
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YF

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

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PROPOSED BLOCK B GROUND FLOOR FRAMING PLAN

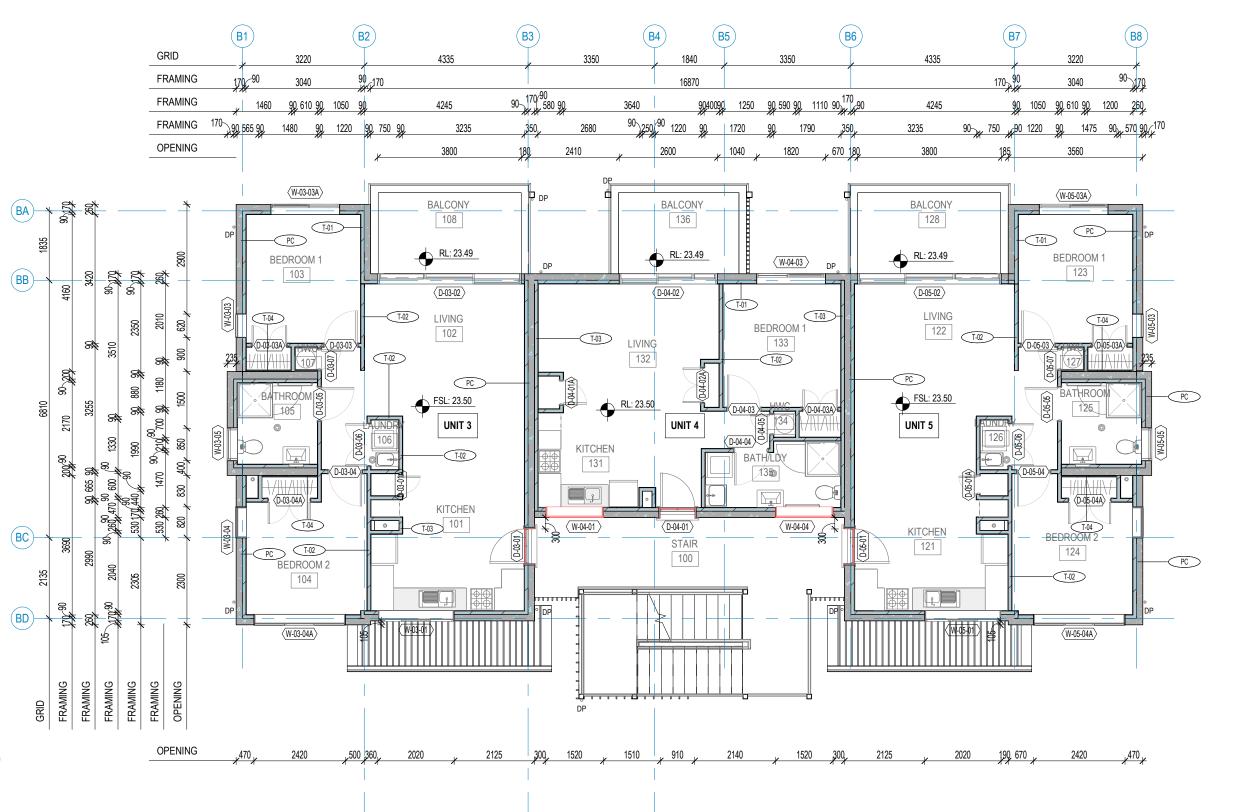
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%



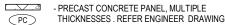




SHEET NOTES

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- ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND



- 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm) (T-01)
 - MAMMOTH THERMAL INSULATION R2.0 (90mm) - 13mm GIB WALL LINING
- -10mm GIB WALL LINING

R2.0 (90mm)

- 92mm STEEL STUD@ 600 MAX. FRAME 10mm GIB WALL LINING T-02
- -10mm GIB WALL LINING T-03 - 92mm STEEL STUD @ 600 MAX. FRAME - MAMMOTH INSULATION INSULATION
- -10mm GIB WALL LINING T-04 - RONDO 129 WITH CLIPS @ 1200mm MAX. 28mm FURRING CHANNEL
 - KNAUF THERMAL INSULATION R1.0 (30mm)

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DOMINION

8-18 EDMONTON AVENUE

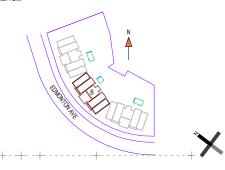
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMEY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY COVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 19.

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- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNED

PROPOSED BLOCK B FIRST FLOOR FRAMING PLAN

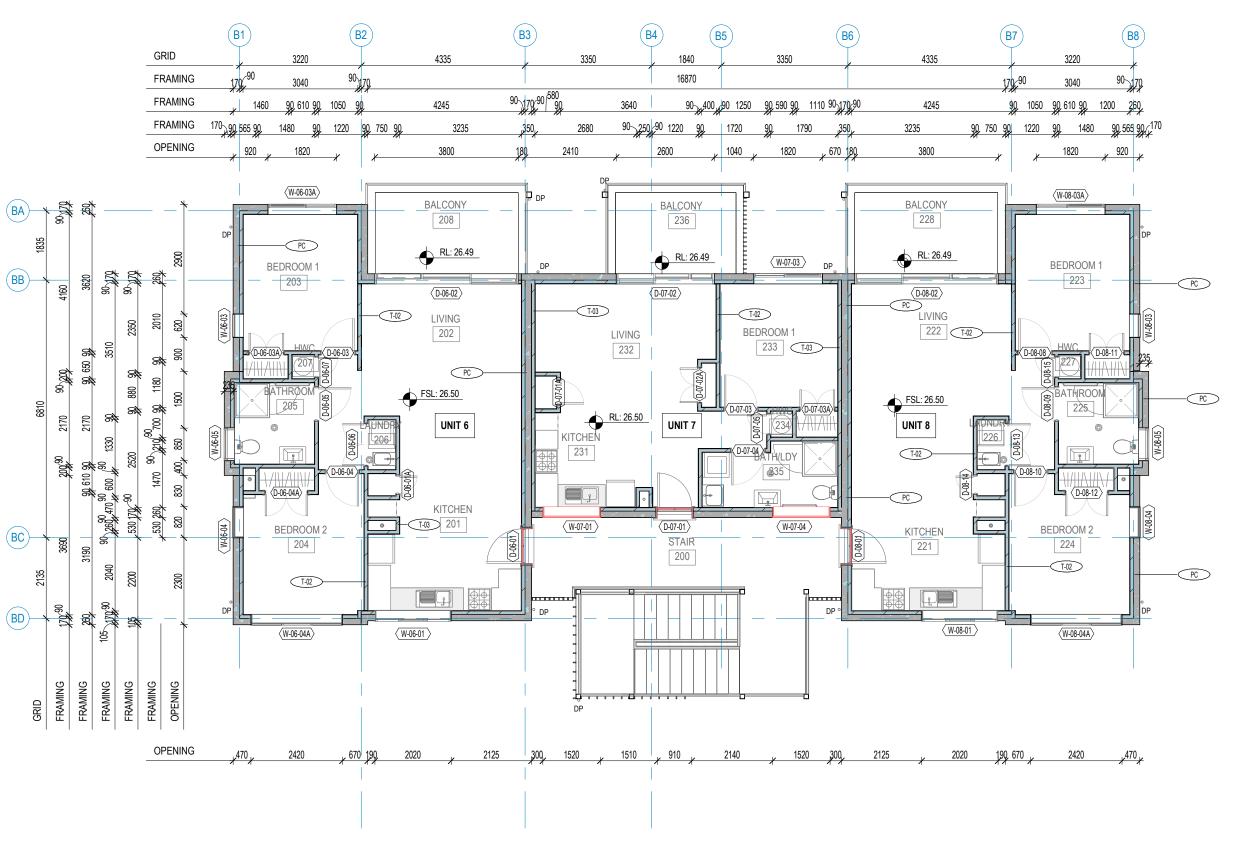
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%







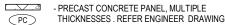
SHEET NOTES

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- VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY REGUPOL® 4515

ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

ALL PENETRATIONS SHOULD BE ACOUSTICALLY TREATED.

LEGEND



- 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm)
- (T-01) - MAMMOTH THERMAL INSULATION R2.0 (90mm)
 - 13mm GIB WALL LINING
- -10mm GIB WALL LINING
- 92mm STEEL STUD@ 600 MAX. FRAME T-02
 - 10mm GIB WALL LINING
- -10mm GIB WALL LINING T-03
 - 92mm STEEL STUD @ 600 MAX. FRAME - MAMMOTH INSULATION INSULATION R2.0 (90mm)
- -10mm GIB WALL LINING T-04 - RONDO 129 WITH CLIPS @ 1200mm MAX. 28mm FURRING CHANNEL
 - KNAUF THERMAL INSULATION R1.0 (30mm)

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DOMINION

8-18 EDMONTON AVENUE

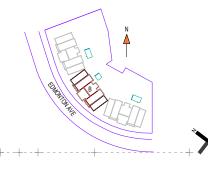
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKE
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
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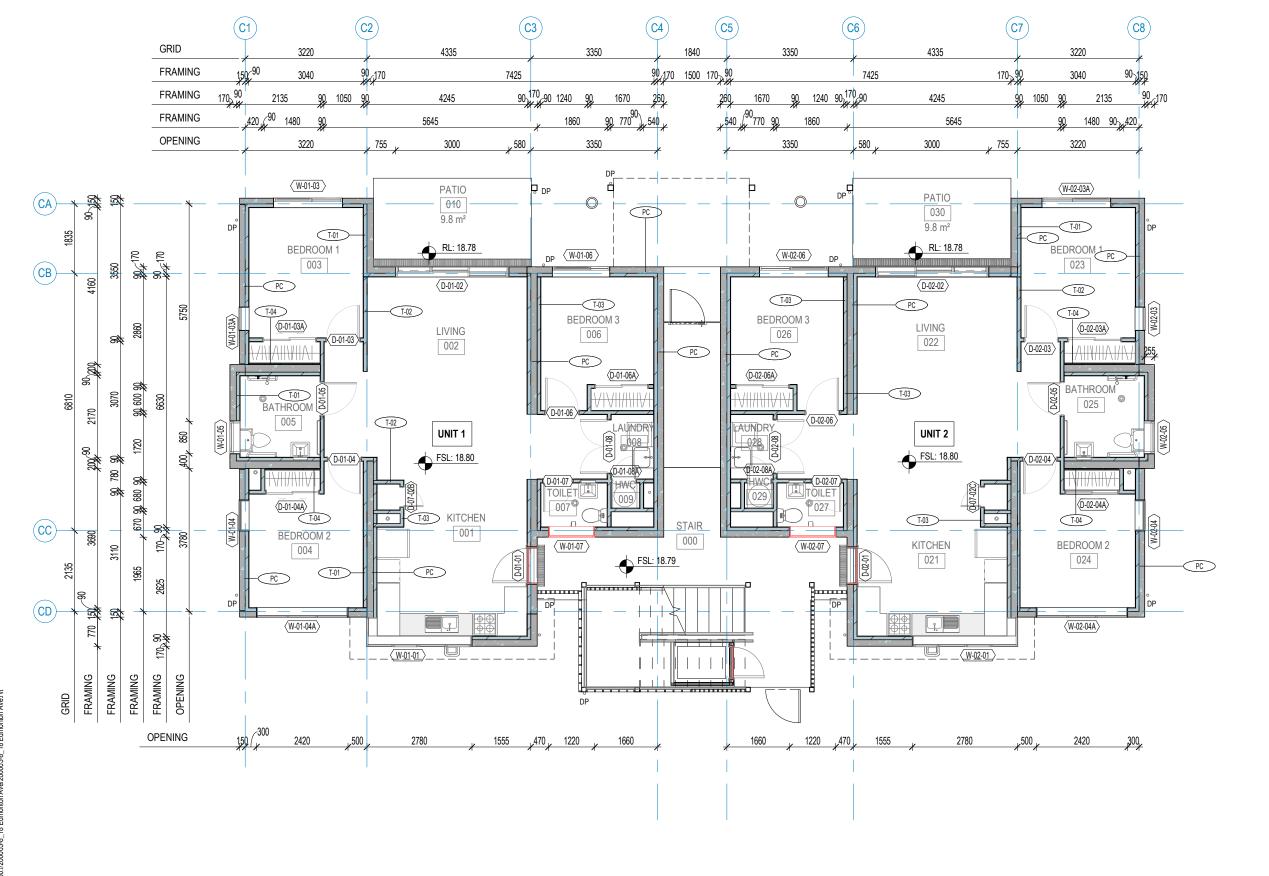
PROPOSED BLOCK B SECOND FLOOR FRAMING PLAN

PROJECT STATUS **BC-CONSTRUCTION-STAGE3**

SHEET SCALE 1:100

SHEET SIZE A3=100%







SHEET NOTES

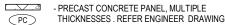
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VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515

ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND

T-03



- 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm)

(T-01) - MAMMOTH THERMAL INSULATION R2.0 (90mm)

- 13mm GIB WALL LINING

-10mm GIB WALL LINING T-02

- 92mm STEEL STUD@ 600 MAX. FRAME - 10mm GIB WALL LINING

-10mm GIB WALL LINING

- 92mm STEEL STUD @ 600 MAX. FRAME - MAMMOTH INSULATION INSULATION R2.0 (90mm)

-10mm GIB WALL LINING T-04 - RONDO 129 WITH CLIPS @ 1200mm MAX. 28mm FURRING CHANNEL

- KNAUF THERMAL INSULATION R1.0 (30mm)

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DOMINION

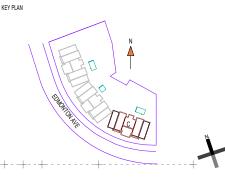
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
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PROPOSED BLOCK C GROUND FLOOR FRAMING PLAN

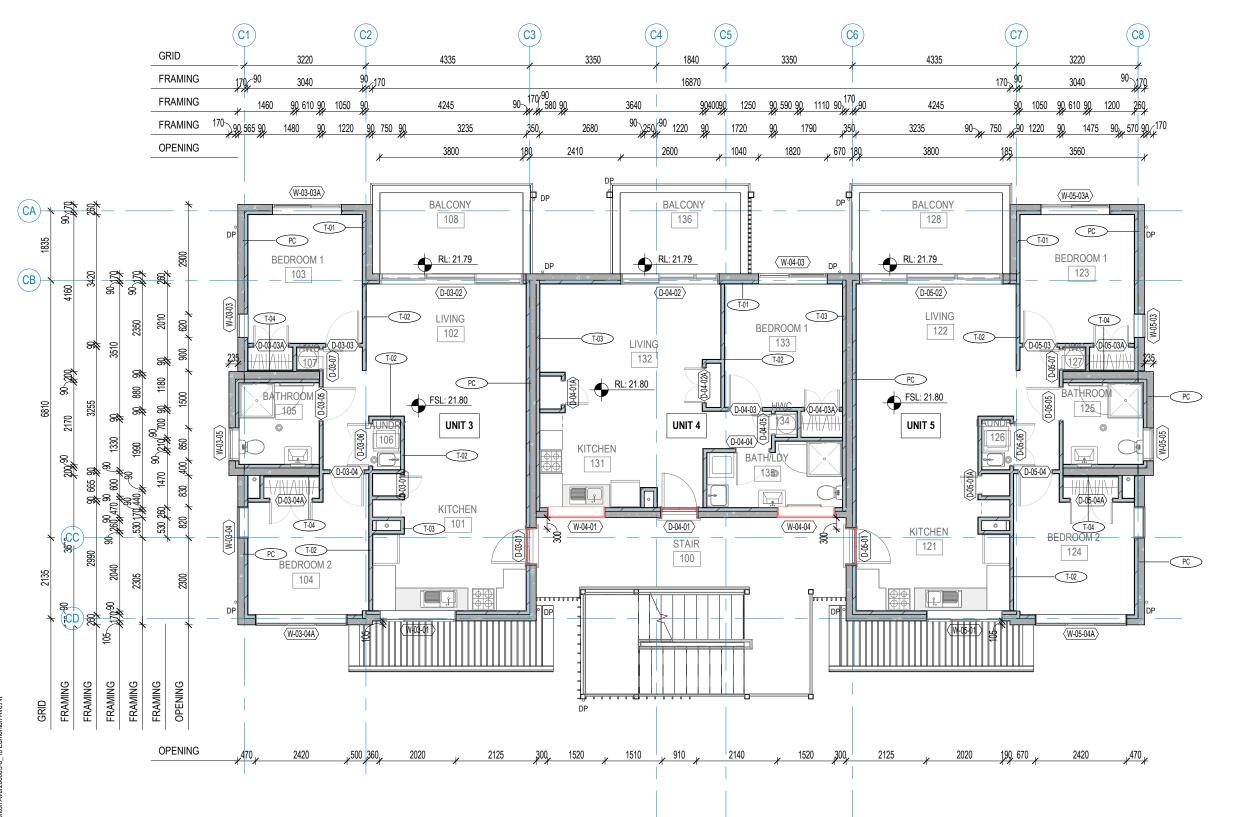
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%







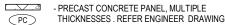
SHEET NOTES

- READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.
- VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G)
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL MEMBERS IN REQUIRED FIRE-RATED AREA TO BE COATED WITH INTUMESCENT PAINT TO ACHIEVE FIRE RATING INDICATED IN THE FIRE REPORT. REFER TO DOCUMENTATIONS FROM PASSIVE FIRE PROTECTION SYSTEMSLTD.
- ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY
- ${\tt NZS3604:2011\ SECTION\ 4\ 'DURABILITY'\ TABLE\ 4.3\ AND\ NZBC\ E2/AS1\ TABLE\ 20\ 'MATERIAL\ \ SELECTION'.}$ INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
- DETAILS ARE REFERENCED TO ONE UNIT ONLY FOR CLARITY, OTHER UNITS HAVE SIMILAR SITUATIONS/DETAILING OTHERWISE NOTED.
- CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.

ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY - REGUPOL® 4515 ALL PENETRATIONS SHOULD BE ACOUSTICALLY TREATED.

LEGEND



- 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm) (T-01) - MAMMOTH THERMAL INSULATION R2.0 (90mm)
 - 13mm GIB WALL LINING
- -10mm GIB WALL LINING T-02

R2.0 (90mm)

- 92mm STEEL STUD@ 600 MAX. FRAME 10mm GIB WALL LINING
- -10mm GIB WALL LINING T-03 - 92mm STEEL STUD @ 600 MAX. FRAME - MAMMOTH INSULATION INSULATION
- -10mm GIB WALL LINING T-04 - RONDO 129 WITH CLIPS @ 1200mm MAX. 28mm FURRING CHANNEL
 - KNAUF THERMAL INSULATION R1.0 (30mm)

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DOMINION

8-18 EDMONTON AVENUE

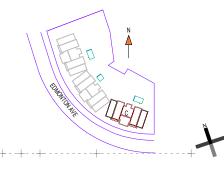
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



BUILDING CONSENT STAGE 3 20/11/20

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETECT TO NZ BUILDING ACT, SECTION 40.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. CONSTRUCTION LINESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT CONSENTED DOLUMENTATION TAKES PRECEDENCE.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 148.

 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULT AUTHORITY.

 THE BUILDERS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

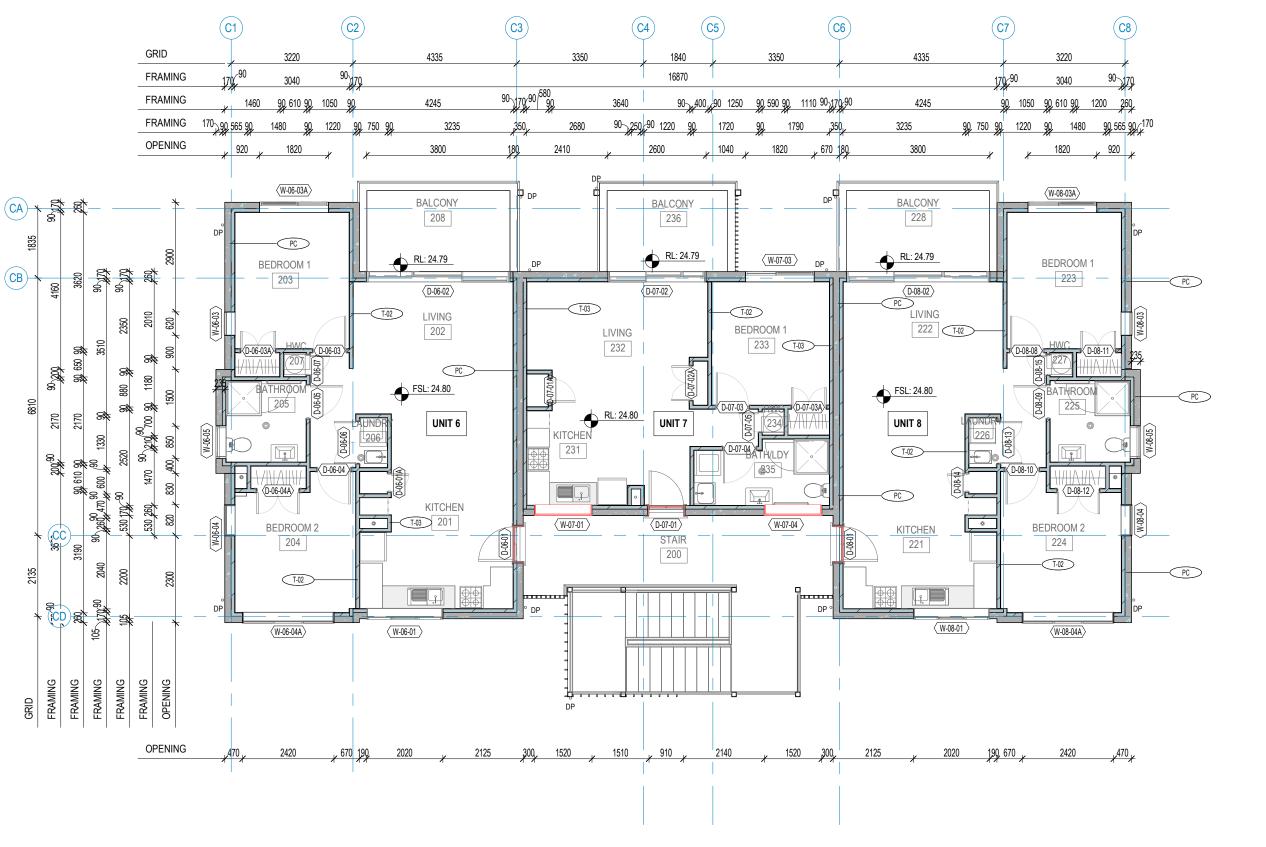
PROPOSED BLOCK C FIRST FLOOR FRAMING PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%



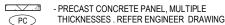


SHEET NOTES

- READ IN ACCORDANCE WITH KIRK ROBERTS CONSULTING ENGINEERS FOR ALL STRUCTURAL
- REQUIREMENTS.
- VISIBLE CONTRASTING NOSING ON STAIR TREADS TO COMPLY WITH NZBC CLAUSE D1.3.2(G) ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
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- ALL FIXINGS AND MATERIALS TO BE FOR SPECIFIC EXPOSURE ZONE AS REQUIRED BY
- NZS3604:2011 SECTION 4 'DURABILITY' TABLE 4.3 AND NZBC E2/AS1 TABLE 20 'MATERIAL SELECTION'. INTERNAL WALL/CEILING LINING TO BE GIB AQUALINE IN WET AREAS UNLESS NOTED OTHERWISE.
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- SITUATIONS/DETAILING OTHERWISE NOTED. CARPET SHOULD BE INSTALLED ON CARPET FOAM UNDERLAY.
- ALL PENETRATIONS SHOULD BE ACOUSTICALLY TREATED.
- VINYL SHOULD BE INSTALLED ON ACOUSTIC UNDERLAY REGUPOL® 4515

ALL GAPS SHOULD BE SEALED BY ACOUSTIC SEALANT FIREPRO® M707.

LEGEND



- 63.5mm STEEL STUD @ 600 MAX. WITH EXTENDED BRACKETS (90mm) T-01

- MAMMOTH THERMAL INSULATION R2.0 (90mm)

- 13mm GIB WALL LINING

-10mm GIB WALL LINING - 92mm STEEL STUD@ 600 MAX. FRAME T-02

- 10mm GIB WALL LINING

-10mm GIB WALL LINING - 92mm STEEL STUD @ 600 MAX. FRAME - MAMMOTH INSULATION INSULATION R2.0 (90mm)

-10mm GIB WALL LINING T-04 - RONDO 129 WITH CLIPS @ 1200mm MAX. 28mm FURRING CHANNEL

- KNAUF THERMAL INSULATION R1.0 (30mm)

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DOMINION

8-18 EDMONTON AVENUE

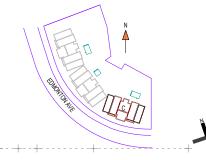
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHK
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
 STANDARDS, CORDINANCES, RULES, AND RECULLATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE
 WORK. REFER TO NZ BUILDING ACT, SECTION 17.
 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLSHED, OR REMOVED WITHOUT AN APPROVED AND
 VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS
 STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING
 CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.
 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND
 CONSULTANTS DOCUMENTATION.
 THE BUILDER IS EXPECTED TO VERRY DIMENSIONS AND FELD CONDITIONS AND CONFIRM THAT THE WORK
 CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND FELD CONDITIONS AND CONFIRM THAT THE WORK
 CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND VIOLEN TO USESTION.

- DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER

PROPOSED BLOCK C SECOND FLOOR FRAMING PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%

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DOMINION

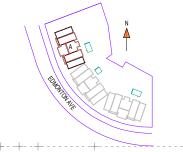
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003



REV	DATE	DESCRIPTION	BY	C
1	20/11/20	BUILDING CONSENT STAGE 3	YR	,
2	11/12/20	BC3 CONSENTIUM RFI	YR	,

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANDES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETER TO NZ BUILDING ACT, SECTION 40.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. CONSENTED TO NZ BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK, (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT ACTORNATION TO A TERRE PRECEDENCE.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.

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PROPOSED BLOCK A ELEVATIONS (NORTH & EAST)

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%

(AB)

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DOMINION

8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY
1	20/11/20	BUILDING CONSENT STAGE 3	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK FER TO NZ BUILDING ACT, SECTION 40.

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PROPOSED BLOCK A ELEVATIONS (SOUTH & WEST)

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%

SCALE: 1:100 1 / A5-A3050 (BA)

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KEY NOTES / LEGEND

DOMINION

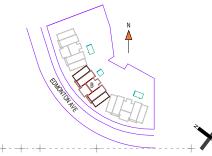
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN



BUILDING CONSENT STAGE 3 YR 20/11/20 11/12/20 BC3 CONSENTIUM RFI YR YR

STAMP

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETECT TO NZ BUILDING ACT, SECTION 40.

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PROPOSED BLOCK B ELEVATIONS (NORTH & EAST)

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%



BC

(BD)

BA

(BB)

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KEY NOTES / LEGEND

STACK

PRECAST CONCRETE PANEL 150MM - RESENE

DOMINION

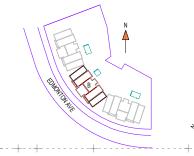
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHK
1	20/11/20	BUILDING CONSENT STAGE	E3 YR	YF
2	11/12/20	BC3 CONSENTIUM RFI	YR	YF
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1	8/12/2	020		
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t	AP	PROVED		
BL	JILDIN	G CONSENT PLANS		
THE FINE	PRINT		•	

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 14.

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PROPOSED BLOCK B ELEVATIONS (SOUTH & WEST)

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%

A5-A4051

SCALE: 1:100 1 / A5-A3050

(CD)

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KEY NOTES / LEGEND

PRECAST CONCRETE PANEL 150MM - RESENE

PRECAST CONCRETE PANEL 170MM - RESENE

DOMINION

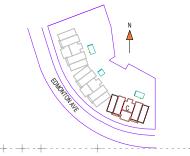
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHI
1	20/11/20	BUILDING CONSENT STAGE 3	YR	Y
2	11/12/20	BC3 CONSENTIUM RFI	YR	Y

- THE FINE PRINT

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PROPOSED BLOCK C ELEVATIONS (NORTH & EAST)

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%

A5-A4060

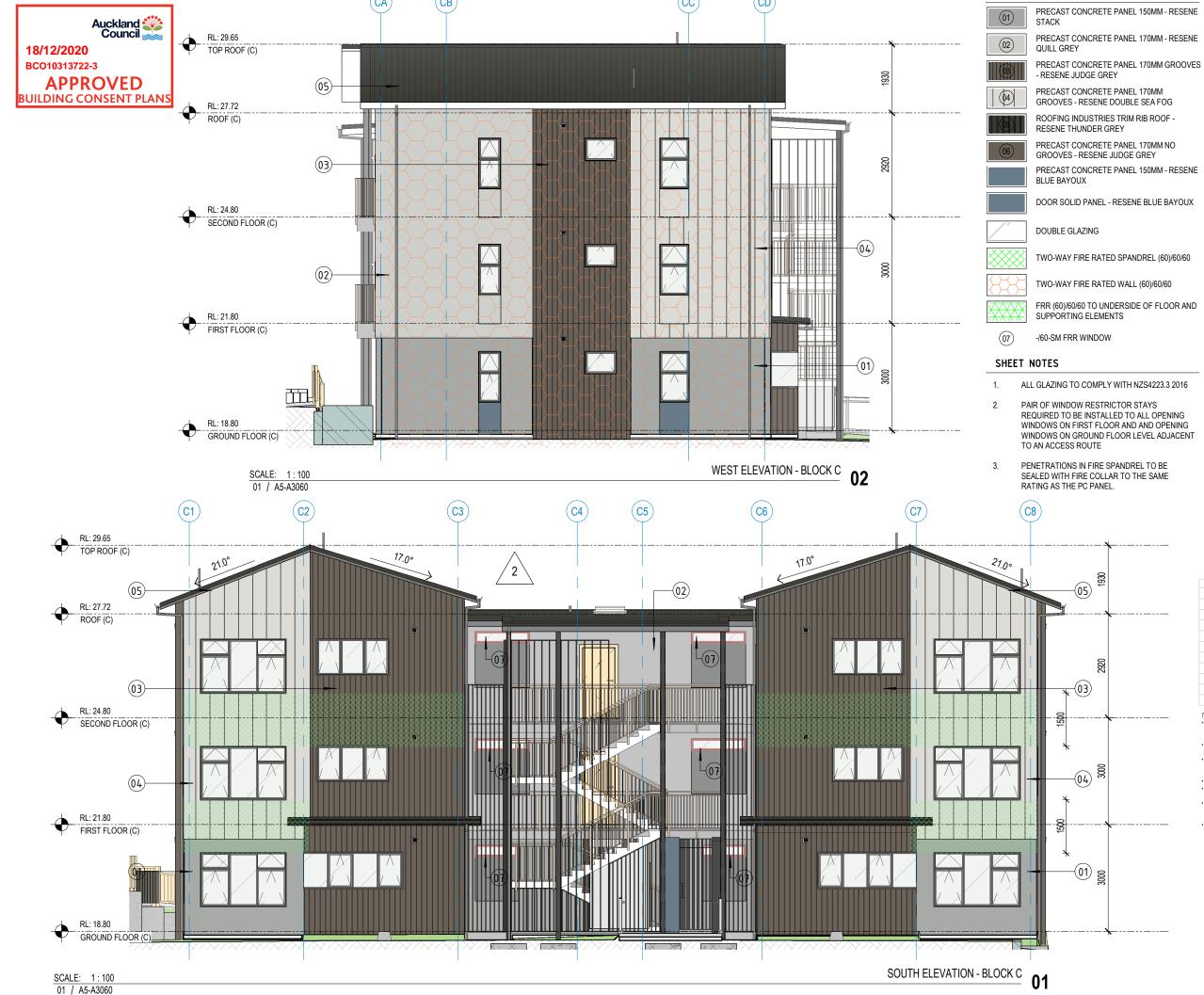
SCALE: 1:100 1 / A5-A3050

Auckland ******Council

18/12/2020

RL: 29.65

TOP ROOF (C)



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KEY NOTES / LEGEND

DOMINION

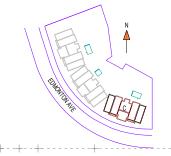
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	
1	20/11/20	BUILDING CONSENT STAGE 3	YR	
2	11/12/20	BC3 CONSENTIUM RFI	YR	ļ
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- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 14.

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 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

PROPOSED BLOCK C ELEVATIONS (SOUTH & WEST)

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%

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NZBC CLAUSE E2: BUILDI	NG ENVE	LOPE RISK	MATRIX	- EAST E	LEVATION
RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH	SUBTOTAL

RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH	SUBTOTAL
WIND ZONE	0	0	1	2	0
NUMBER OF STOREYS	0	1	2	4	4
ROOF/WALL INTERSECTION DESIGN	0	1	3	5	0
EAVES WIDTH	0	1	2	5	5
ENVELOPE COMPLEXITY	0	1	3	6	0
DECK DESIGN	0	2	4	6	0
				Total:	9

NZBC CLAUSE E2: BUILDING ENVELOPE RISK MATRIX - NORTH ELEVATION

RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH	SUBTOTAL
MSKTACTOK	LOW	TILDIOTT	HIGH	VEICE HIGH	SODIOTAL
WIND ZONE	0	0	1	2	0
NUMBER OF STOREYS	0	1	2	4	4
ROOF/WALL INTERSECTION DESIGN	0	1	3	5	0
EAVES WIDTH	0	1	2	5	5
ENVELOPE COMPLEXITY	0	1	3	6	0
DECK DESIGN	0	2	4	6	2
				Total:	11

NZBC CLAUSE E2: BUILDING ENVELOPE RISK MATRIX - WEST ELEVATION

RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH	SUBTOTAL
KISK TACTOR	LOW	ויוטוטויו	HIUH	VLKI IIIUII	SUDTUTAL
WIND ZONE	0	0	1	2	0
NUMBER OF STOREYS	0	1	2	4	4
ROOF/WALL INTERSECTION DESIGN	0	1	3	5	0
EAVES WIDTH	0	1	2	5	5
ENVELOPE COMPLEXITY	0	1	3	6	0
DECK DESIGN	0	2	4	6	0
				Total:	9

NZBC CLAUSE E2: BUILDING E	:NVELOPE RISK MATRIX -	SOUTH ELEVATION
----------------------------	------------------------	-----------------

RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH	SUBTOTAL
WIND ZONE	0	0	1	2	0
NUMBER OF STOREYS	0	1	2	<u>-</u>	4
ROOF/WALL INTERSECTION DESIGN	0	1	3	5	0
EAVES WIDTH	0	1	2	(5)	5
ENVELOPE COMPLEXITY	0	1	3	6	0
DECK DESIGN	0	(2)	4	6	2
				Total:	11



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4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444





8-18 EDMONTON AVENUE

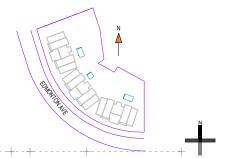
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
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 STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING
 CONSENT, COOSENTED DOCUMENTATION TAKES PRECEDENCE.

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 1 HIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND
 CONSULT ANTS DOCUMENTATION.

 1 HE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK
 CAN BE CONSTRUCTED AS DETAILED, REPORT FOR MISSIONS AND CONFICITS WITHIN THE CONSENTED
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SHEET NAME

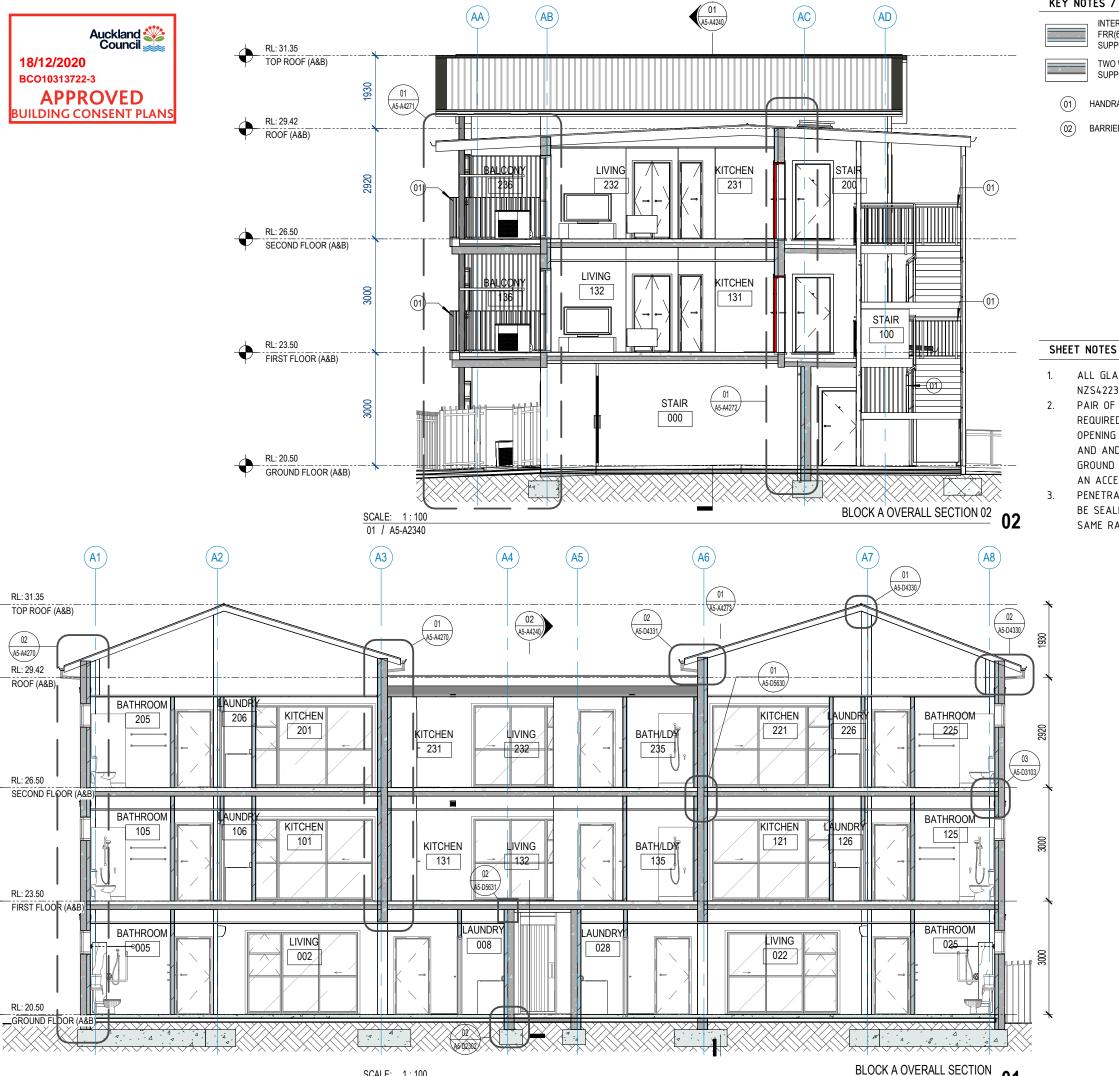
RISK MATRIX-E2

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE NONE





SCALE: 1:100 01 / A5-A2340

KEY NOTES / LEGEND









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DOMINION

8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

ALL GLAZING TO COMPLY WITH NZS4223.3 2016

PAIR OF WINDOW RESTRICTOR STAYS REQUIRED TO BE INSTALLED TO ALL OPENING WINDOWS ON FIRST FLOOR AND AND OPENING WINDOWS ON GROUND FLOOR LEVEL ADJACENT TO AN ACCESS ROUTE

PENETRATIONS IN FIRE SPANDREL TO BE SEALED WITH FIRE COLLAR TO THE SAME RATING AS THE PC PANEL



00/44/00			
20/11/20	BUILDING CONSENT STAGE 3	YR	YR
	2011120		

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 14.

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SHEET NAME

PROPOSED BUILDING SECTIONS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

SHEET SIZE A3=100%

Auckland Council
18/12/2020
BCO10313722-3
APPROVED
BUILDING CONSENT PLANS

Keynote Text

FAIRVIEW ARCHITECTURAL CUBIC AC35 SERIES

MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM

CEILING BATTEN SYSTEM - SUSPENSION - TOP

CONCRETE COLOUR

FOR EXTERIOR WALL

CROSS RAIL SYSTEM SRP™ CEILING BATTEN 35MM

SRP™ TRACK SECTIONS 64MM

Key Value

3130_4.6

4521FA_4.6

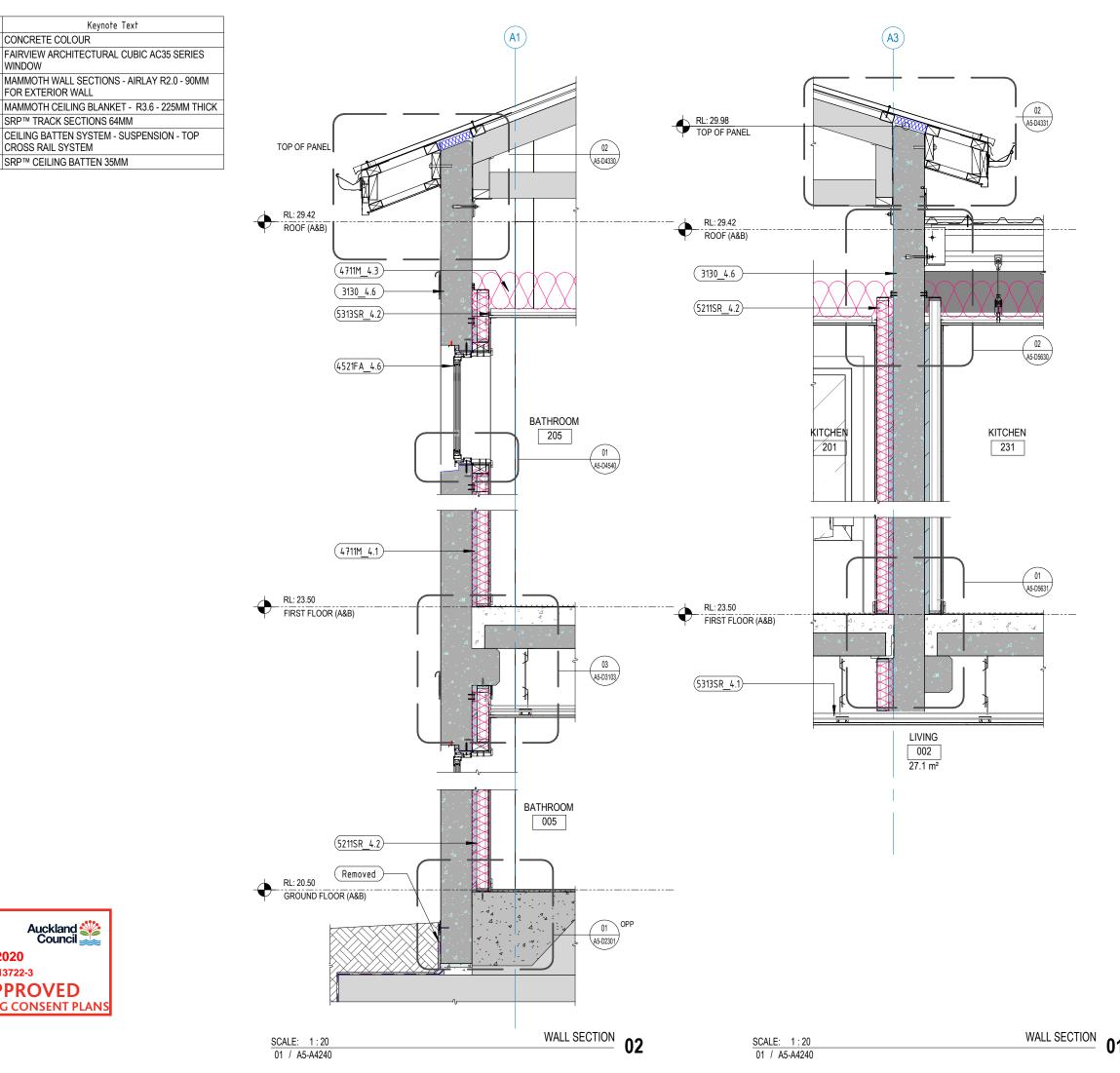
4711M_4.1

4711M_4.3

5211SR_4.2

5313SR_4.1

5313SR_4.2



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8-18 EDMONTON AVENUE

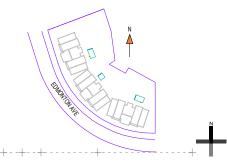
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



DATE	DATE	DESCRIPTION BY	CHKE
1/11/20 BUILDING CONSENT STAGE 3	20/11/20	CONSENT STAGE 3 YR	YR

- THE FINE PRINT

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PROPOSED WALL SECTIONS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:20 A3=100%

Auckland ﷺ Council
18/12/2020
BCO10313722-3
APPROVED
BUILDING CONSENT PLANS

Key Value

CONCRETE COLOUR

PLASTIC PACKER

ROOFING

3130_4.6

4311RI_4.2

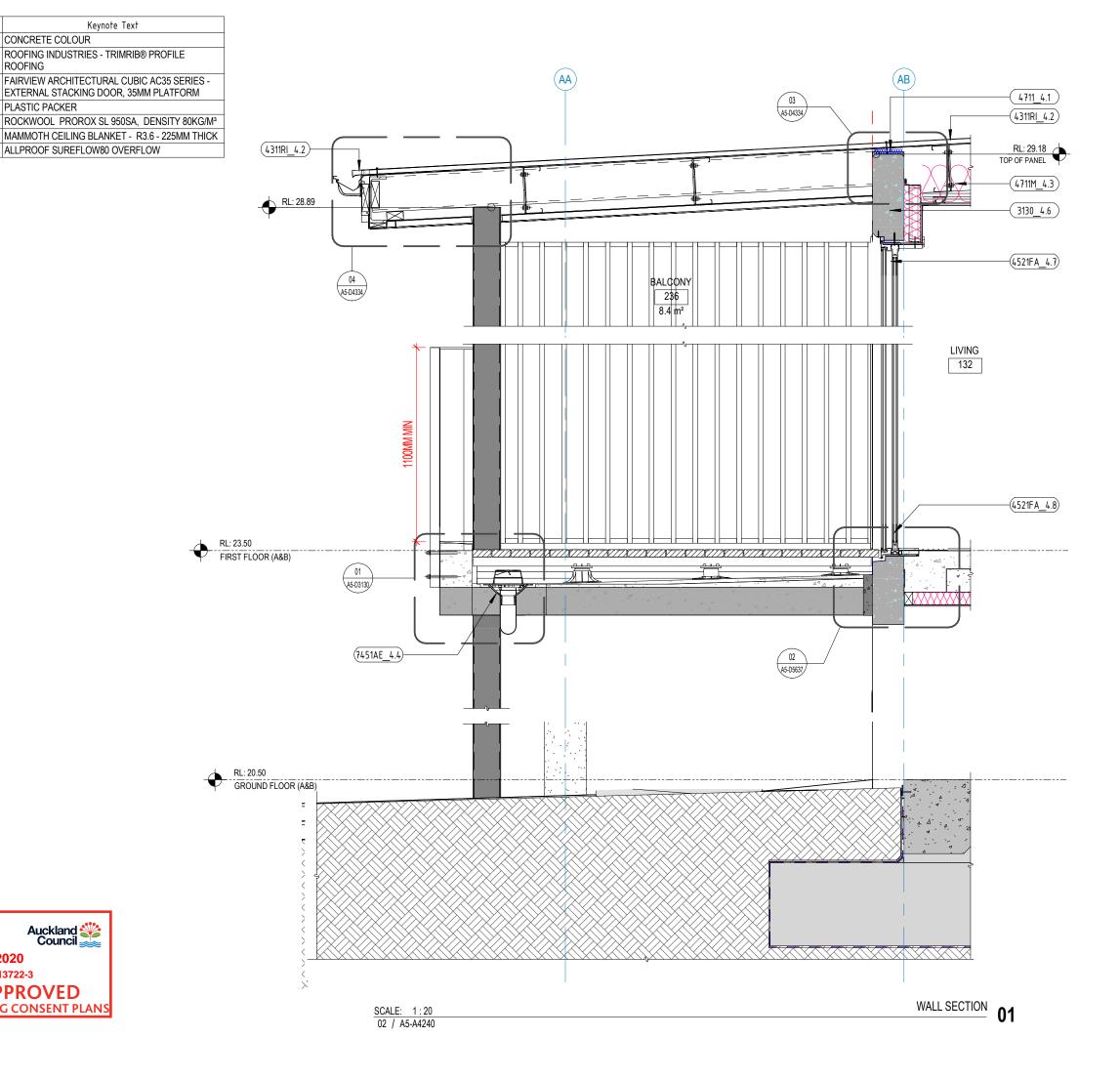
4521FA_4.7

4521FA_4.8

4711_4.1

4711M_4.3

7451AE_4.4



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8-18 EDMONTON AVENUE

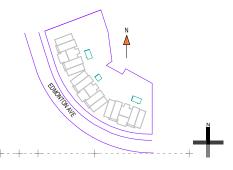
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
-				

- THE FINE PRINT

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PROPOSED WALL SECTIONS

PROJECT STATUS

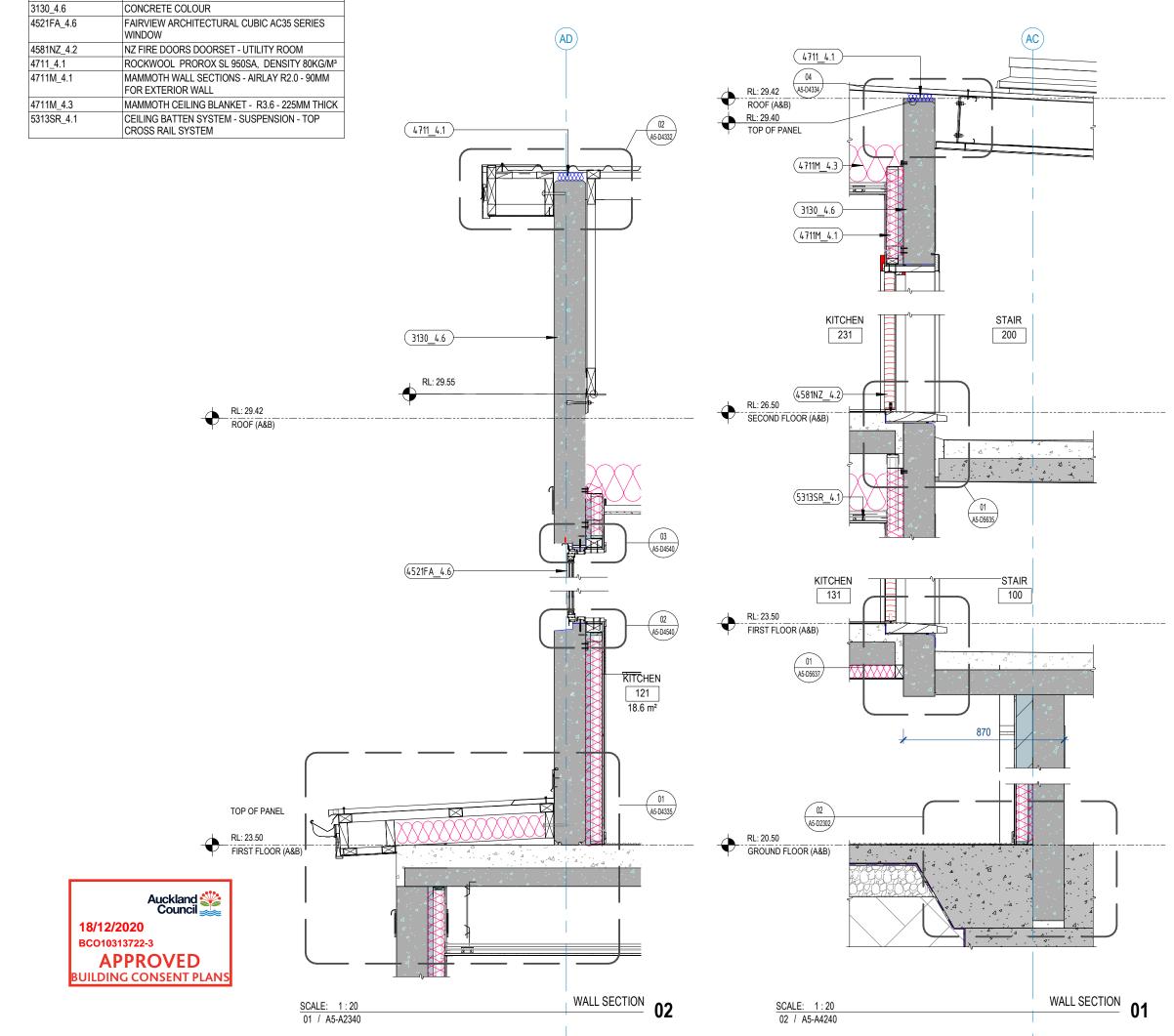
BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:20

A3=100%

Key Value

Keynote Text



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8-18 EDMONTON AVENUE

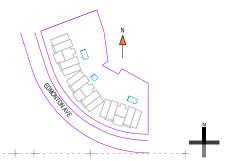
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

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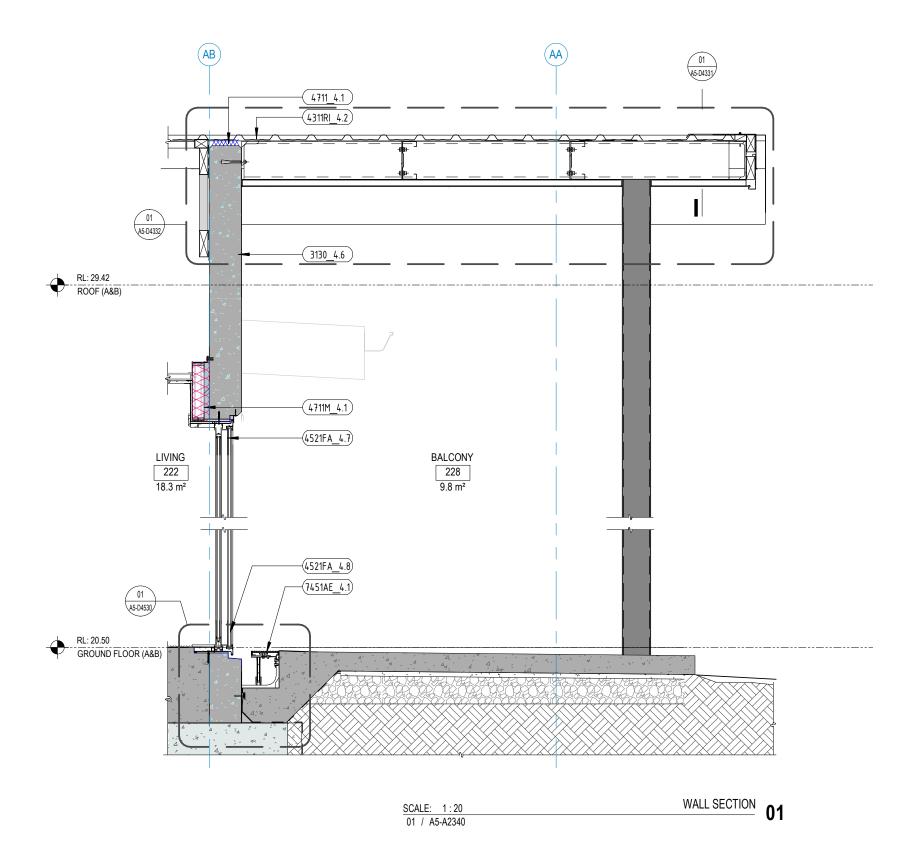
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:20



Key Value	Keynote Text
3130_4.6	CONCRETE COLOUR
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4521FA_4.7	FAIRVIEW ARCHITECTURAL CUBIC AC35 SERIES - EXTERNAL STACKING DOOR, 35MM PLATFORM
4521FA_4.8	PLASTIC PACKER
4711_4.1	ROCKWOOL PROROX SL 950SA, DENSITY 80KG/M³
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
7451AE_4.1	ALLPROOF PLASTIC DOMESTIC DRAINAGE CHANNEL SYSTEM





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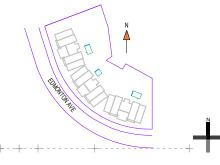
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER 200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

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PROPOSED WALL SECTIONS

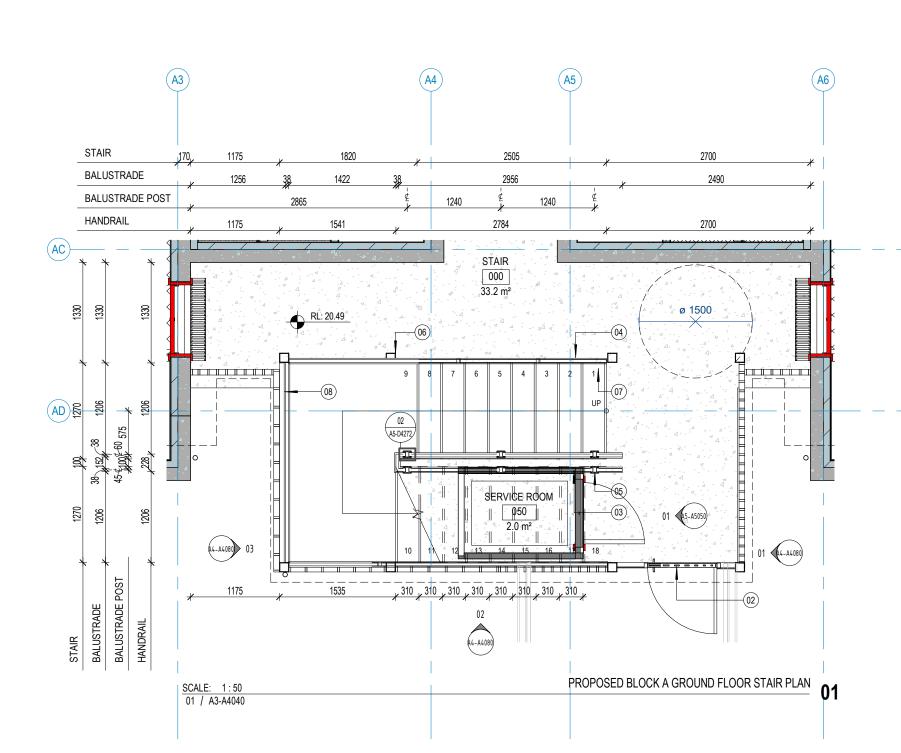
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:20

A3=100%





KEYNOTE

- 01) DRAIN CHANNEL
- (02) METAL SCREEN / GATE
- TOP MOUNT BALUSTRADE
- SIDE FIXING BALUSTRADE
- BALUSTRADE BASEPLATE
- (06) STRUCTURAL FIRE RATED STEEL POST
- 07)
- PROPOSED STAIR SCREEN

SHEET NOTES

- REFER TO GENERAL NOTES, SHEET A90.01 REFER TO CONSTRUCTION NOTES, SHEET
- AULUI ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
 RED DOOR NUMBER TAGS WITH [FD]
 REQUIRES FRR DOOR AS PER FIRE REPORT.
 READ IN CONJUNCTION WITH FIRE REPORT BY
- "FIREFORCE LTD".
- READ IN CONJUNCTION WITH STRUCTURAL DRAWING SET BY "KIRK ROBERTS CONSULTING

Young+ Richards+

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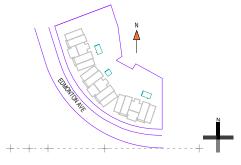
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003



LEGEND

STEEL STUD

PRECAST WALL

PRECAST CONCRETE FLOOR

— — ROOF OUTLINE

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 14.

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BLOCK A&C GL STAIR SETOUT PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:50

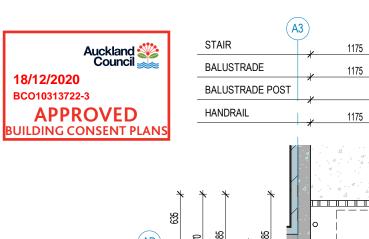
SHEET SIZE A3=100%

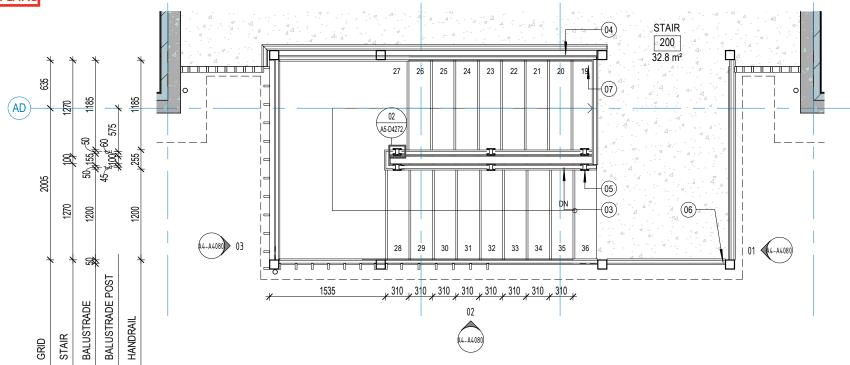
A5-A5040

18/12/2020 **APPROVED**

Auckland **W**







1240

2505

1240

5440

2700

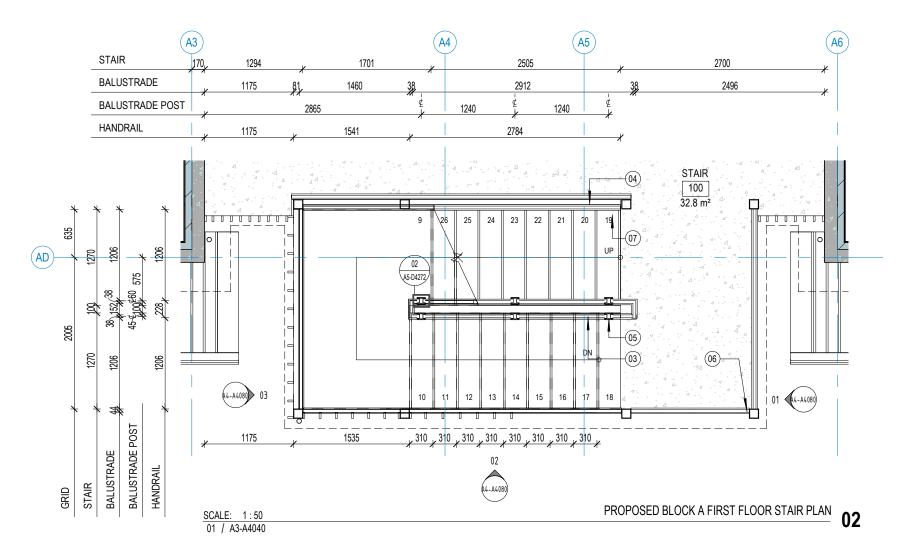
PROPOSED BLOCK A SECOND FLOOR STAIR PLAN

1820

1460

1535

SCALE: 1:50 01 / A3-A4040



KEYNOTE

- (01) DRAIN CHANNEL
- (02) METAL SCREEN / GATE
- 03 TOP MOUNT BALUSTRADE
- (04) SIDE FIXING BALUSTRADE
- (05) BALUSTRADE BASEPLATE
- (06) STRUCTURAL FIRE RATED STEEL POST

REFER TO GENERAL NOTES, SHEET A90.01 REFER TO CONSTRUCTION NOTES, SHEET

UNLESS NOTED OTHERWISE.

"FIREFORCE LTD".

ALL DIMENSIONS ARE TO FACE OF STRUCTURE

READ IN CONJUNCTION WITH STRUCTURAL DRAWING SET BY "KIRK ROBERTS CONSULTING

07

SHEET NOTES

PROPOSED STAIR SCREEN

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DOMINION

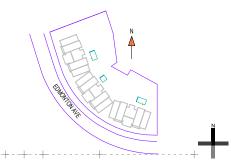
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

200003

RED DOOR NUMBER TAGS WITH [FD]
REQUIRES FRR DOOR AS PER FIRE REPORT.
READ IN CONJUNCTION WITH FIRE REPORT BY



BUILDING CONSENT STAGE 3 20/11/20 PRECAST WALL STEEL STUD PRECAST CONCRETE FLOOR

LEGEND

ROOF OUTLINE

- THE FINE PRINT

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BLOCK A&C L1 & L2 STAIR SETOUT PLAN

PROJECT STATUS

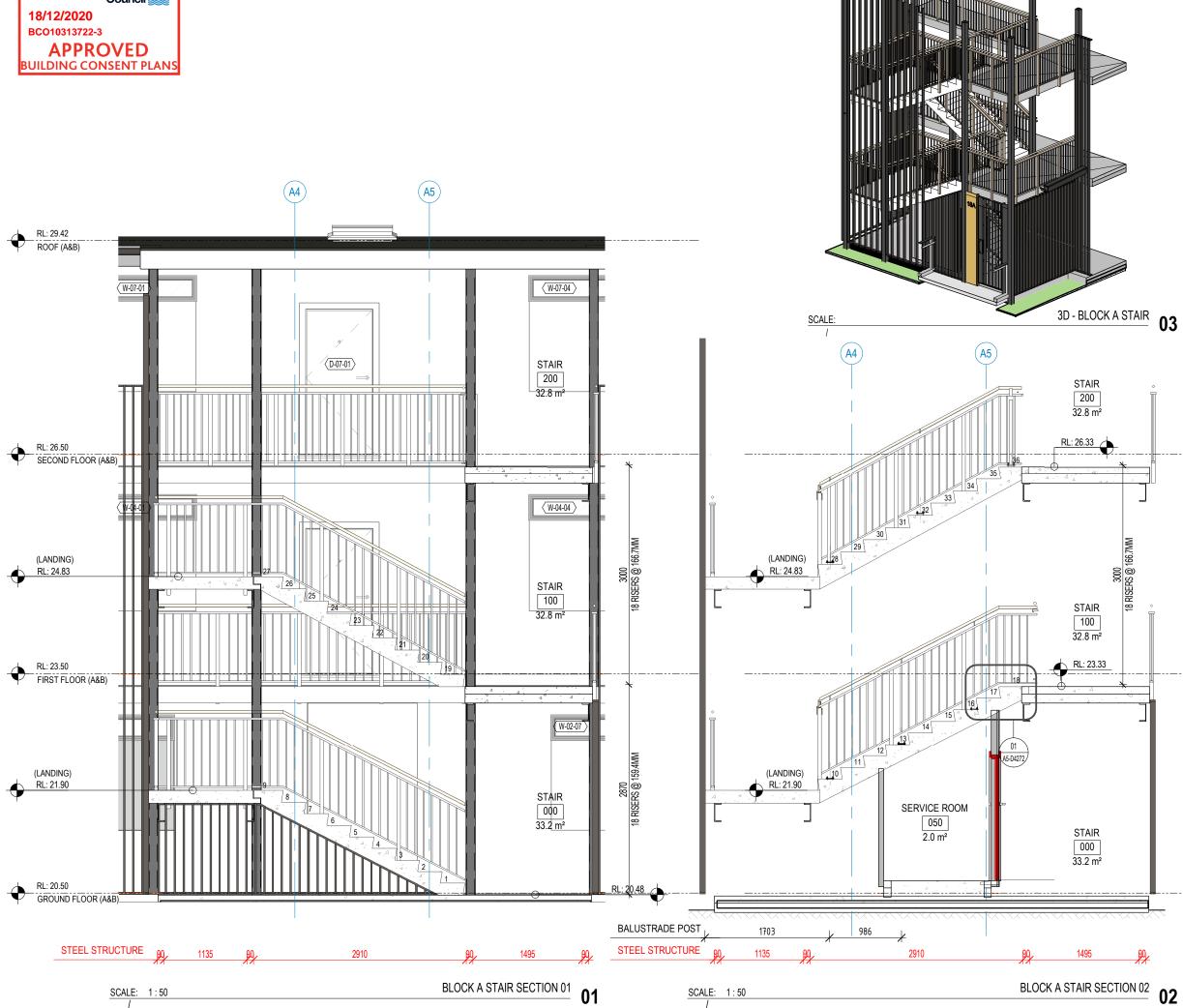
BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:50

SHEET SIZE A3=100%



SCALE: 1:50



BLOCK A STAIR SECTION 01

SCALE: 1:50

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8-18 EDMONTON AVENUE

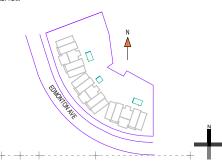
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

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BLOCK A&C STAIR SECTIONS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:50

(A5)

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DOMINION

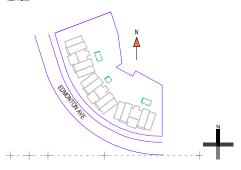
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
 STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE
 WORK. REFER TO AZ BUILDING ACT, SECTION 14.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND
 VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS
 STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING
 CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.

 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND
 CONSULTANTS DOCUMENTATION.

 THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK
 CAM BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED
 DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

BLOCK A&C GL SERVICE ROOM PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:25

ROOF 3000

WEST ELEVATION

BIKE SHED

05 SCALE: 1:100

01 / A5-A5080

Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444



DOMINION

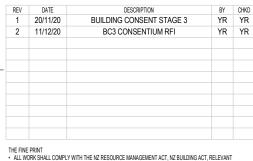
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003





- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 40.

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TYPICAL BIKE AND BIN STORAGE PLAN

PROJECT STATUS

(01)

-(02) -(03)

(04)

EAST ELEVATION

BIKE SHED

03

-(03)

SOUTH ELEVATION

BIKE SHED

SCALE: 1:100

1 / A5-A3050

7X/X/X/X/X/X/X/

BC-CONSTRUCTION-STAGE3

SHEET SCALE As indicated

A5-A5080

RL: 23.50

RL: 20.50

GROUND FLOOR (A&B)

SCALE: 1:100

01 / A5-A5080

FIRST FLOOR (A&B)

3.00°

NORTH ELEVATION

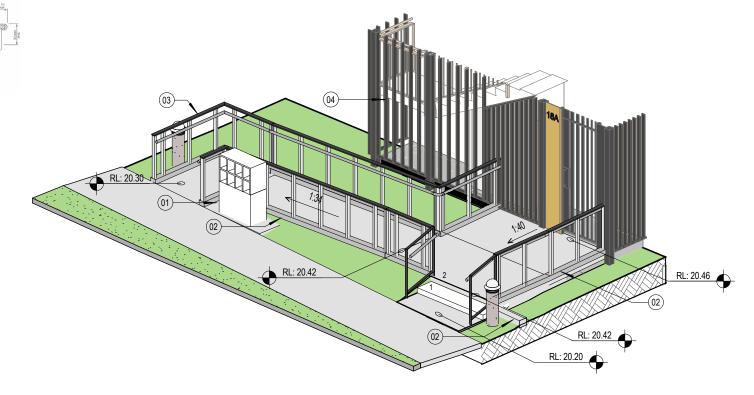
BIKE SHED

SCALE: 1:100

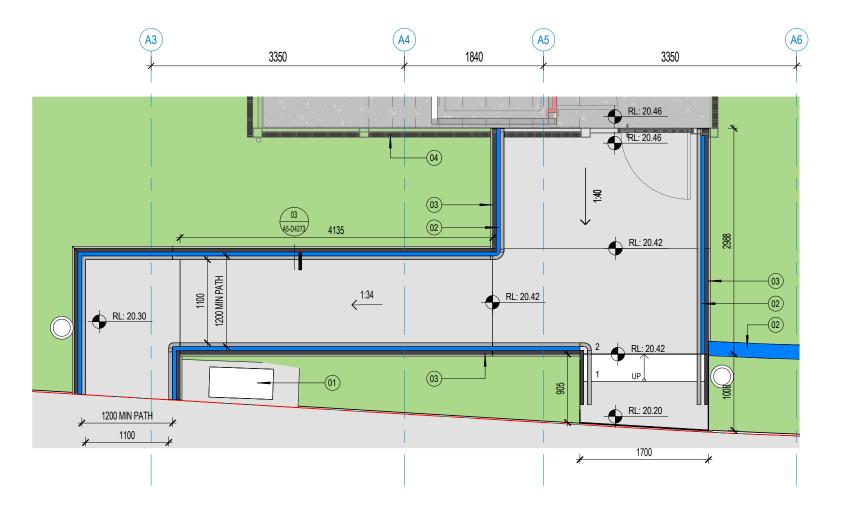
1 / A5-A3050

D1 HANDRAIL DETAIL





3D - BLOCK A ENTRY



SCALE:

BLOCK A GROUND ENTRY PLAN

KEYNOTE 01 LETTERBOXES

02 KERB

SHEET NOTES

TOP MOUNT BALUSTRADE WITH HANDRAIL

REFER TO GENERAL NOTES, SHEET A90.01 REFER TO CONSTRUCTION NOTES, SHEET

AUL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
READ IN CONJUNCTION WITH STRUCTURAL DRAWING SET BY "KIRK ROBERTS CONSULTING"

PROPOSED RETAINING WALL

PROPOSED NIB WALL

PROPOSED STAIR SCREEN



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DOMINION

8-18 EDMONTON AVENUE

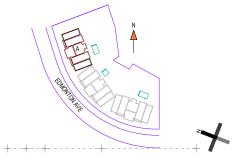
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



BUILDING CONSENT STAGE 3 LEGEND ---- SITE BOUNDARY PROPOSED SITE LANDSCAPING PROPOSED DRIVEWAY/ FOOTPATH STANDARD CONCRETE BRUSH FINISH

STAMP

- THE FINE PRINT

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SHEET NAME

BLOCK A ENTRY PLAN

PROJECT STATUS

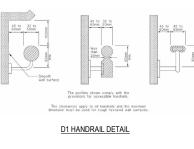
BC-CONSTRUCTION-STAGE3

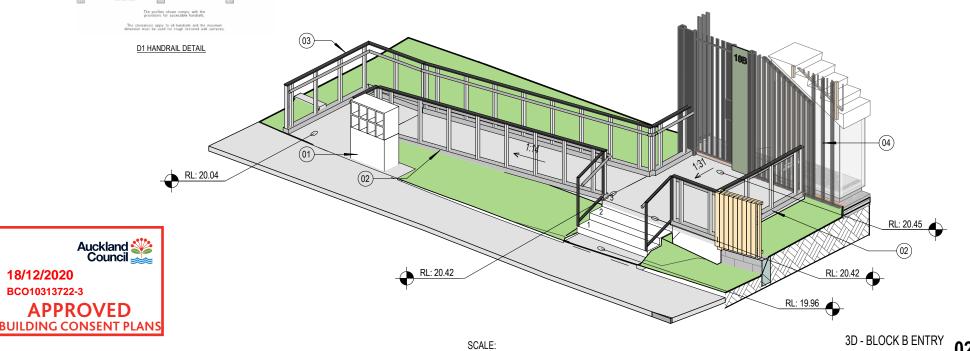
SHEET SCALE 1:50

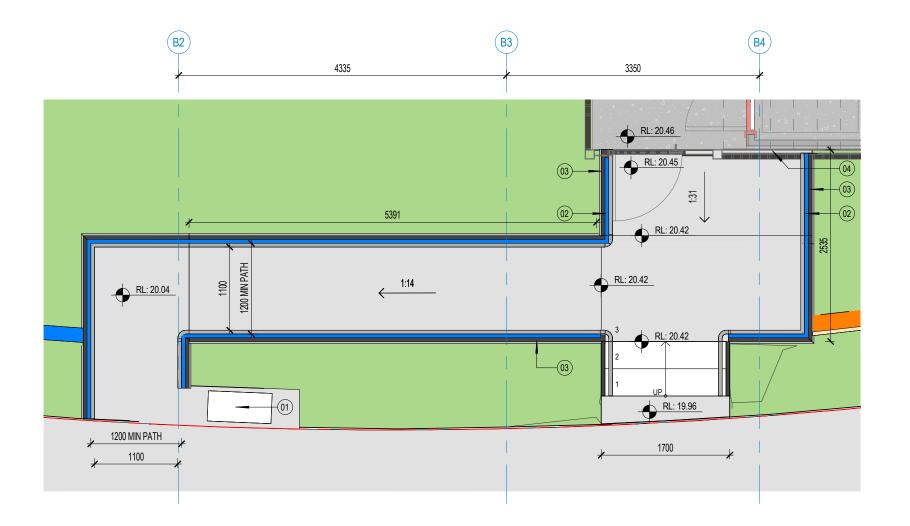
A5-A5140

SCALE: 1:50

18/12/2020 BCO10313722-3







KEYNOTE

01 LETTERBOXES

02 KERB

SHEET NOTES

TOP MOUNT BALUSTRADE WITH HANDRAIL

REFER TO GENERAL NOTES, SHEET A90.01 REFER TO CONSTRUCTION NOTES, SHEET

AUL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
READ IN CONJUNCTION WITH STRUCTURAL DRAWING SET BY "KIRK ROBERTS CONSULTING"

PROPOSED STAIR SCREEN



4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444



DOMINION

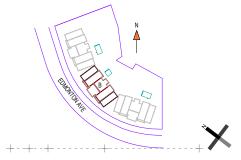
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER 200003

KEY PLAN



BUILDING CONSENT STAGE 3 PROPOSED SITE LANDSCAPING PROPOSED DRIVEWAY/ FOOTPATH STANDARD CONCRETE BRUSH FINISH THE FINE PRINT

ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE
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DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER. PROPOSED RETAINING WALL PROPOSED NIB WALL

STAMP

LEGEND ---- SITE BOUNDARY

SHEET NAME

BLOCK B ENTRY PLAN

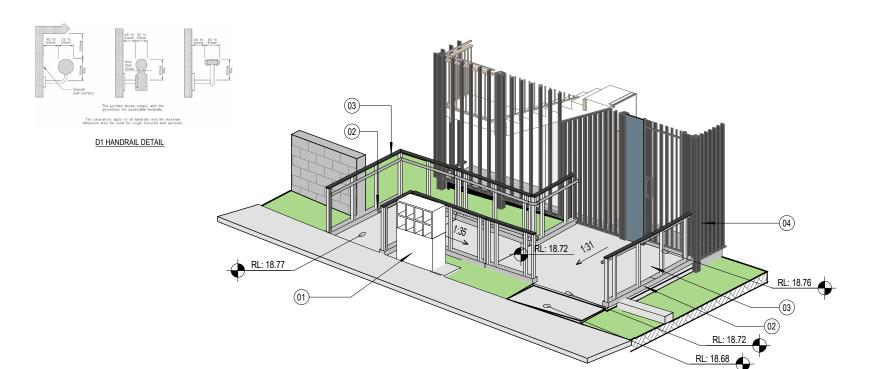
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:50

A5-A5150

SCALE: 1:50



3D - BLOCK C ENTRY **02** SCALE:



BLOCK C GROUND ENTRY PLAN 01 SCALE: 1:50

KEYNOTE

- 01 LETTERBOXES
- 02 KERB

SHEET NOTES

TOP MOUNT BALUSTRADE WITH HANDRAIL

REFER TO GENERAL NOTES, SHEET A90.01

REFER TO CONSTRUCTION NOTES, SHEET

PROPOSED NIB WALL

ASU.01
ALL DIMENSIONS ARE TO FACE OF STRUCTURE
UNLESS NOTED OTHERWISE.
READ IN CONJUNCTION WITH STRUCTURAL
DRAWING SET BY "KIRK ROBERTS CONSULTING

PROPOSED STAIR SCREEN



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8-18 EDMONTON AVENUE

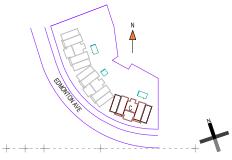
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



STAMP

		REV	DATE	DESCRIPTION	BY	CHKD
LECENIE		1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
LEGEND						
	CITE DOLINDADY					
	SITE BOUNDARY					
	PROPOSED SITE LANDSCAPING					
	THO TOOLD OTTE LANDOOM ING					
	PROPOSED DRIVEWAY/ FOOTPATH STANDAR)				
	CONCRETE BRUSH FINISH					
	PROPOSED RETAINING WALL					
		THE FINE		WITH THE NZ RESOURCE MANAGEMENT ACT. NZ RUII DING A	OT DELEVANT	

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO AZ BUILDING ACT, SECTION 17.

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 DIESTANDAMENT OF THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

SHEET NAME

BLOCK C ENTRY PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:50

SHEET SIZE A3=100%

A60 450 PANTRY

KITCHEN ELEVATION 02 - TYPE B

SCALE: 1:50

01 / A3-A4040

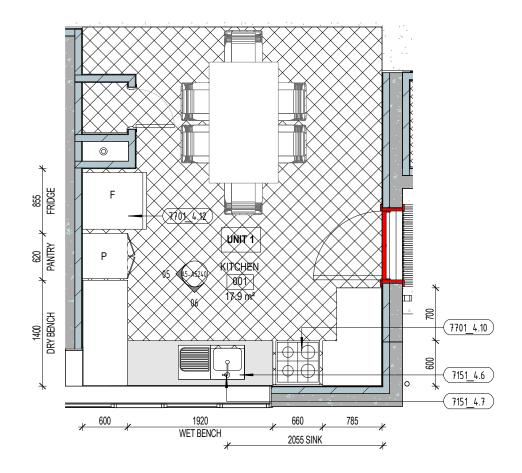
820

FRIDGE

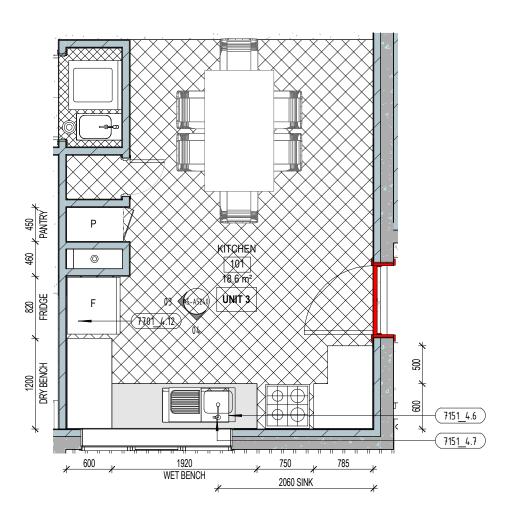
1200

DRY BENCH

01 / A5-A5240



ENLARGED KITCHEN PLAN - TYPE A SCALE: 1:50 3 BEDROOM UNITS - UNIT 01.02 01 / A3-A4040



Key Value Keynote Text 7151 4.6 KITCHEN SINK 7151 4.7 KITCHEN SINK MIXER 7701_4.10 OVEN RANGE HOOD 7701 4.11 HEATPUMP INDOOR & 7701_4.12 OUTDOOR UNITS

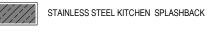
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KEYNOTE & LEGEND

- (01) 100mm HIGH TOE KICK
- (02) 150mm BENCH TOP UPSTAND
- (03) PVC SCOTIA MOULDING
- P PANTRY
- FRIDGE



VINYL (DRY AREA)

SHEET NOTES

- BENCHTOPS MIN. 600MM DEEP: WET BENCH -1250MM LENGTH (1&2 BEDROOM), 1650MM LENGTH (3 BEDROOM); DRY BENCH - 1400MM LENGTH (1&2 BEDROOM), 2400MM LENGTH (3 BEDROOM).
- HIGH PRESSURE LAMINATE (DRY BENCH) WITH COVED LAMINATE UPSTAND BEHIND, AND POLISHED STAINLESS STEEL WITH INTEGRAL UPSTAND, ANTI-SPILL LIP TO FRONT AND SIDES (WET BENCH) AND 37MM HIGH FRONT EDGE. BENCHTOPS ARE TO BE RESISTANT TO BURNS, CUTS AND STAIN AND TO PROVISION AN EASILY CLEANABLE HYGIENIC SURFACE.
- PANTRY MIN. 600MM DEPTH & 2000MM HEIGHT; 450MM WIDTH (1&2 BEDROOM), 600MM WIDTH (3 BEDROOM).
- PANTRY HAS 5 X FULL-WIDTH FIXED SHELVES.
 CABINETRY IS MINIMUM 18MM MOISTURE-
- RESISTANT CARCASS, DOORS AND DRAWERS WITH PRE-FINISHED LOW PRESSURE LAMINATE (MELTICA / MELAMINE VENEER OR SIMILAR) TO BOTH SIDES WITH 2MM PVC EDGINGS. TOE KICK IS MINIMUM 100MM HIGH AND MOISTURE RESISTANT
- DOORS ARE MAXIMUM WIDTH 450MM, HINGES ARE 115 DEGREE TO 170 DEGREE OPENING AND RECESS MOUNTED, THREE PER UNDER-BENCH LEAF AND FOUR TO DOORS OVER BENCH
- CHILD RESISTANT CATCH PROVIDED TO ONE CUPBOARD, PREFERABLY BENEATH THE SINK. THE UNDERSIDE OF THE BENCH HAS DRAWERS IN BANKS OF FOUR - TWO SMALLER DRAWERS ABOVE TWO LARGER DRAWERS. PROVIDE CUTLERY INSERT TRAYS FOR TOP DRAWER.
- HANDLES ARE HORIZONTAL METAL BOW PULL STYLE WITH 150MM X 25MM FINGER CLEARANCE.
- FRIDGE SPACE MIN. DEPTH IS 700MM AND TO BE LOCATED AT END OF THE JOINERY UNITS. CLEAR HEIGHT IS 2000MM MIN.
- STOVE SHOULD HAVE CLEARENCE EACH SIDE TO JOINERY, MIN 300MM AWAY FROM INTERNAL CORNERS AND VERTICAL WALL, PANTRY,
- CHILD RESISTANT CATCH PROVIDED TO
- CUPBOARD UNDER SINK.
 KITCHEN TAP MUST BE < 6L/MIN AS MEASURED
 AT THE TAP AFTER INSTALLATION AS MEASURED AT THE TAP AFTER INSTALLATION BY THE PLUMBER OR BUILDER USING A GRADED BUCKET AND A STOPWATCH.
- KITCHEN SINK REQUIRE OVERFLOWS, FLOW RATE MATCH M-255 REQUIREMENT



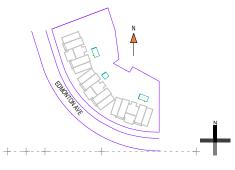
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN



BUILDING CONSENT STAGE 3 20/11/20 Auckland 🎇 Council 18/12/2020 BCO10313722-3 **APPROVED** BUILDING CONSENT PLAN THE FINE PRINT

ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, CRDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.

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- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER

INTERIOR ELEVATIONS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE As indicated

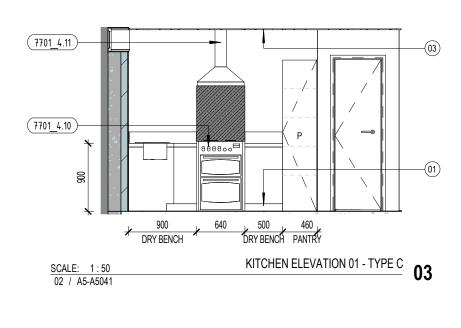
A3=100%

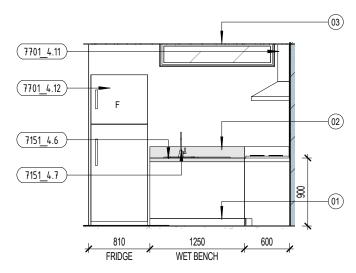
A5-A5240



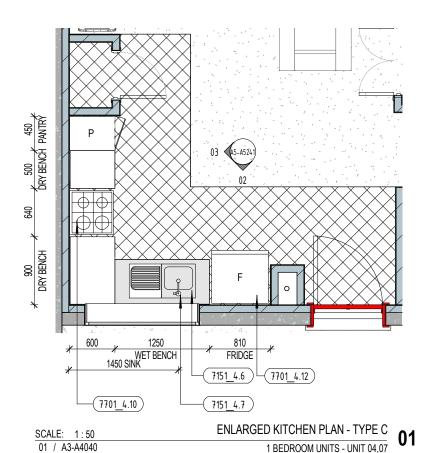
ENLARGED KITCHEN PLAN - TYPE B 2 BEDROOM UNITS - UNIT 03,05,06,08

Auckland Council





KITCHEN ELEVATION 02 - TYPE C SCALE: 1:50 01 / A5-A5240





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KEYNOTE & LEGEND

(01) 100mm HIGH TOE KICK

150mm BENCH TOP UPSTAND

PVC SCOTIA MOULDING

P PANTRY

FRIDGE

STAINLESS STEEL KITCHEN SPLASHBACK

VINYL (DRY AREA)

SHEET NOTES

BENCHTOPS - MIN. 600MM DEEP; WET BENCH -1250MM LENGTH (1&2 BEDROOM), 1650MM LENGTH (3 BEDROOM); DRY BENCH - 1400MM LENGTH (1&2 BEDROOM), 2400MM LENGTH (3 BEDROOM).

HIGH PRESSURE LAMINATE (DRY BENCH) WITH COVED LAMINATE UPSTAND BEHIND, AND POLISHED STAINLESS STEEL WITH INTEGRAL UPSTAND, ANTI-SPILL LIP TO FRONT AND SIDES (WET BENCH) AND 37MM HIGH FRONT EDGE. BENCHTOPS ARE TO BE RESISTANT TO BURNS, CUTS AND STAIN AND TO PROVISION AN EASILY

CLEANABLE HYGIENIC SURFACE. PANTRY – MIN. 600MM DEPTH & 2000MM HEIGI 450MM WIDTH (1&2 BEDROOM), 600MM WIDTH BEDROOM).

PANTRY HAS 5 X FULL-WIDTH FIXED SHELVES.

CABINETRY IS MINIMUM 18MM MOISTURE-RESISTANT CARCASS, DOORS AND DRAWERS WITH PRE-FINISHED LOW PRESSURE LAMINATE (MELTICA / MELAMINE VENEER OR SIMILAR) TO BOTH SIDES WITH 2MM PVC EDGINGS. TOE KICK IS MINIMUM 100MM HIGH AND MOISTURE

DOORS ARE MAXIMUM WIDTH 450MM, HINGES ARE 115 DEGREE TO 170 DEGREE OPENING AND RECESS MOUNTED, THREE PER UNDER-BENCH LEAF AND FOUR TO DOORS OVER BENCH HEIGHT.

CHILD RESISTANT CATCH PROVIDED TO ONE CUPBOARD, PREFERABLY BENEATH THE SINK. THE UNDERSIDE OF THE BENCH HAS DRAWERS IN BANKS OF FOUR - TWO SMALLER DRAWERS ABOVE TWO LARGER DRAWERS. PROVIDE CUTLERY INSERT TRAYS FOR TOP DRAWER.

HANDLES ARE HORIZONTAL METAL BOW PULL STYLE WITH 150MM X 25MM FINGER CLEARANCE

FRIDGE SPACE MIN. DEPTH IS 700MM AND TO BE LOCATED AT END OF THE JOINERY UNITS.

CLEAR HEIGHT IS 2000MM MIN. STOVE SHOULD HAVE CLEARENCE EACH SIDE TO JOINERY, MIN 300MM AWAY FROM INTERNAL CORNERS AND VERTICAL WALL, PANTRY.

FRIDGE. CHILD RESISTANT CATCH PROVIDED TO CUPBOARD UNDER SINK.

KITCHEN TAP MUST BE < 6L/MIN AS MEASURED AT THE TAP AFTER INSTALLATION AS MEASURED AT THE TAP AFTER INSTALLATION BY THE PLUMBER OR BUILDER USING A GRADED BUCKET AND A STOPWATCH.

KITCHEN SINK REQUIRE OVERFLOWS, FLOW RATE MATCH M-255 REQUIREMENT

DOMINION

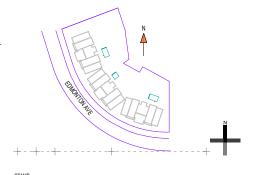
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN



БНТ; Н (3			
3.			

REV	DATE	DESCRIPTION	BY	CHKD	
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR	
THE FINE	PRINT				

ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

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INTERIOR ELEVATIONS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE As indicated

A3=100%



SCALE: 1:50 01 / A5-A5242

BATHROOM ELEVATION 02 - TYPE A

(A)

(03)

7151_4.3

7151 4.1

BATHROOM ELEVATION 04 - TYPE B

BATHROOM ELEVATION 02 - TYPE B

BATHROOM ELEVATION 04 - TYPE A

-(03)

7151 4.3

(03)

SCALE: 1:50

SCALE: 1:50

06 / A5-A5242

SCALE: 1:50

01 / A5-A5242

06 / A5-A5242

-(03)

7151_4.5

(7151<u>4</u>.13)

7151 4.13

7151 4.17

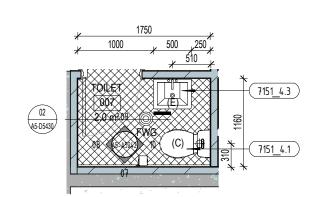
(02)

SCALE: 1:50 01 / A5-A5242

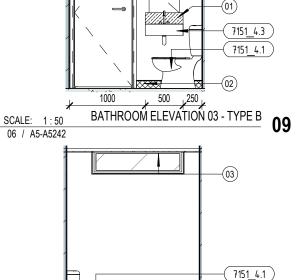
SCALE: 1:50 01 / A3-A4040

ENLARGED BATHROOM PLAN - TYPE A

Auckland ******Council 18/12/2020 BCO10313722-3 **APPROVED** BUILDING CONSENT PLANS



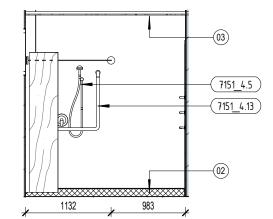
ENLARGED BATHROOM PLAN - TYPE B 01 / A3-A4040 UNIT 01. 02



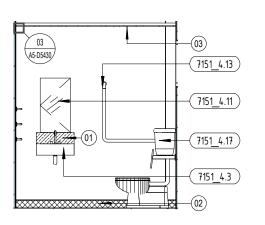
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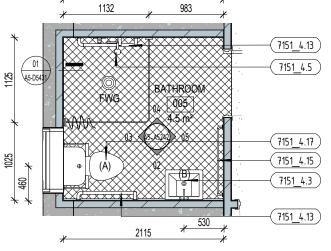
7151 4.11

BATHROOM ELEVATION 01 - TYPE B SCALE: 1:50 06 / A5-A5242



BATHROOM ELEVATION 03 - TYPE A SCALE: 1:50 01 / A5-A5242





Key Value Keynote Text 7151 4.1 TOILET 7151_4.3 WC BASINS 7151_4.5 SHOWER MIXER 7151 4.11 MEDICINE CABINET/MIRROR 7151 4.13 ACCESSORIES: ROLL HOLDER 7151_4.17 ACCESSIBLE TOILET

Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444



(01) 150mm SPLASH BACK

KEYNOTE & LEGEND

(02) 100mm HIGH COVING

(03) PVC SCOTIA MOULDING

CLEARLITE - SHOWER LINER

LINING & LAUNDRY SPLASHBACK

06

VINYL (WET AREA)

SHEET NOTES

BATHROOM: PROVIDE 100 HIGH VINYL FLOOR COVING WITH ALUMINIUM COVE CAPPING STRIP TO EXPOSED TOP EDGE. FLOORING EXTENDS INTO STORAGE AND LINEN CUPBOARD WHERE ADJACENT.

SHOWER ROOM EXTRACT VENTILATION SYSTEM MIN. 223M3/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF. CONNECTED TO LIGHT SWITCH.

TOILET TO BE LOW FLOW SMART-FLUSH DUAL 3/4.5 LITRE CISTERN.

WASH HAND BASIN TAPWARE WITH EASILY ADJUSTABLE FLOW RATE SET FOR < 6L/MINUTE.

SHOWER TAPWARE WITH EASILY ADJUSTABLE DELIVERY TEMPERATURE AND LOW FLOW WITH SET FLOW FOR < 9L/MINUTE.

CHILD RESISTANT CATCH PROVIDED TO CUPBOARD UNDER VANITY, MEDICINE CABINET AND LAUNDRY TUB.

ALL FIXTURES IN ACCORDANCE WITH HNZ PROCUREMENT SCHEDULE.

10MM GIB AQUALINE PLASTERBOARD LINING TO WALLS

FIXTURES (NOTE 7)
A. ACCESSIBLE CAROMA COSMO SOVEREIGN CARE B. CAROMA CONCORDE WALL BASIN 500MM 1TH WH

C. CAROMA CONCORDE CONCEALED TOILET PAN D. LAUNDRY TUB

E. WALL HANGING VANITY 750mm HEIGHT

F. SHOWER TRAY



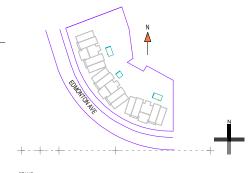
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN



	REV	DATE	DESCRIPTION	BY	CHKD
	1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
٦					
				_	
				_	
	THE FINE				

ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

ALL WORK SHALL COMEY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 19.
BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING SONSENT, REFER TO NZ BUILDING ACT, SECTION 40.

FOR ALL RESTRICTED BUILDING WORK, (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.

FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS DOCUMENTATION.

THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PROVE.

BY THE SECRET OF THE DESIGNER PROVE TO DEFORMING ANY WORK IN QUESTION.

BY THE SECRET OF THE DESIGNER PROVE TO DEPERORMING ANY WORK IN QUESTION.

BY THE SECRET OR THE SECRET OF THE DIMENSIONS OF THE NOT FOR THE PROVENCY OF CONSULT THE DESIGNER.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER

SHEET NAME

INTERIOR ELEVATIONS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE As indicated

A3=100%



000

BATHROOM ELEVATION 02 - TYPE D

BATHROOM ELEVATION 04 - TYPE C

7701_4.13

7151 4.8

SCALE: 1:50

06 / A5-A5243

SCALE: 1:50

01 / A5-A5243



01 / A5-A5241

1511

SCALE: 1:50

06 / A5-A5243

300 MIN

SCALE: 1:50

01 / A5-A5243

SCALE: 1:50

01 / A5-A5243

7151_4.8

7151 4.3

7151 4.15

7151 4.1

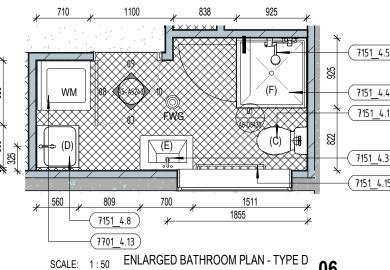
(03)

7151 4.3

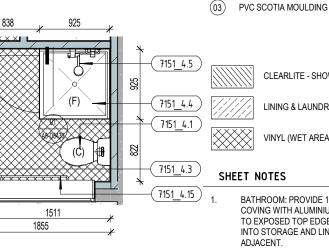
7151_4.1

(02)-









LINIT 04 07

BATHROOM: PROVIDE 100 HIGH VINYL FLOOR COVING WITH ALUMINIUM COVE CAPPING STRIP TO EXPOSED TOP EDGE. FLOORING EXTENDS INTO STORAGE AND LINEN CUPBOARD WHERE ADJACENT.

CLEARLITE - SHOWER LINER

VINYL (WET AREA)

LINING & LAUNDRY SPLASHBACK

- SHOWER ROOM EXTRACT VENTILATION SYSTEM MIN. 223M3/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF. CONNECTED TO LIGHT SWITCH.
- TOILET TO BE LOW FLOW SMART-FLUSH DUAL 3/4.5 LITRE CISTERN.
- WASH HAND BASIN TAPWARE WITH EASILY ADJUSTABLE FLOW RATE SET FOR < 6L/MINUTE.
- SHOWER TAPWARE WITH EASILY ADJUSTABLE DELIVERY TEMPERATURE AND LOW FLOW WITH SET FLOW FOR < 9L/MINUTE.
- CHILD RESISTANT CATCH PROVIDED TO CUPBOARD UNDER VANITY, MEDICINE CABINET AND LAUNDRY TUB.
- ALL FIXTURES IN ACCORDANCE WITH HNZ PROCUREMENT SCHEDULE.
- 10MM GIB AQUALINE PLASTERBOARD LINING TO

FIXTURES	(NOTE 7)

· (7151_4.15)

7151_4.1

7151 4.3

Key Value

TOILET

WC BASINS

SHOWER MIXER

MEDICINE CABINET/MIRROR

ACCESSORIES: TOWEL RAIL

LAUNDRY TUB

REFRIGERATOR

KEYNOTE & LEGEND

150mm SPLASH BACK

100mm HIGH COVING

7151 4.1

7151_4.3

7151_4.4 7151 4.5

7151 4.8

7151_4.11

7151_4.15

7701_4.13

(01)

(02)

- A. ACCESSIBLE CAROMA COSMO SOVEREIGN CARE B. CAROMA CONCORDE WALL BASIN 500MM 1TH WH
- C. CAROMA CONCORDE CONCEALED TOILET PAN D. LAUNDRY TUB

E. WALL HANGING VANITY 750mm HEIGHT F. SHOWER TRAY

Young+ Richards+ SHOWER TRAY & ENCLOSURE

Keynote Text

4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444



DOMINION

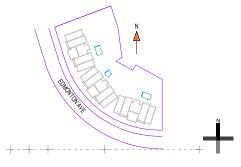
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMEY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY COVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 19.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOUSHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING SONISHT. REFER TO NZ BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION INLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTE ODCOMENTATION TAKES PRECEDENCE.

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 THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND FOLIC SWITHIN THE CONSENTED

 DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WITHTEN DIMENSIONS GOVERN IN CASE OF CONFIDIT, ONSULT THE DESIGNER.

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER

SHEET NAME

INTERIOR ELEVATIONS

PROJECT STATUS

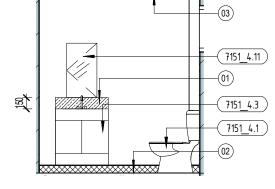
BC-CONSTRUCTION-STAGE3

SHEET SCALE As indicated

A5-A5243

SCALE: 1:50 01 / A5-A5243

BATHROOM ELEVATION 02 - TYPE C



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700

925

809

BATHROOM ELEVATION 01 - TYPE D

1190

BATHROOM ELEVATION 03 - TYPE C

560

(03)

(02)

7151 4.4

7151 4.5

BATHROOM ELEVATION 01 - TYPE C

SCALE: 1:50 01 / A3-A4040

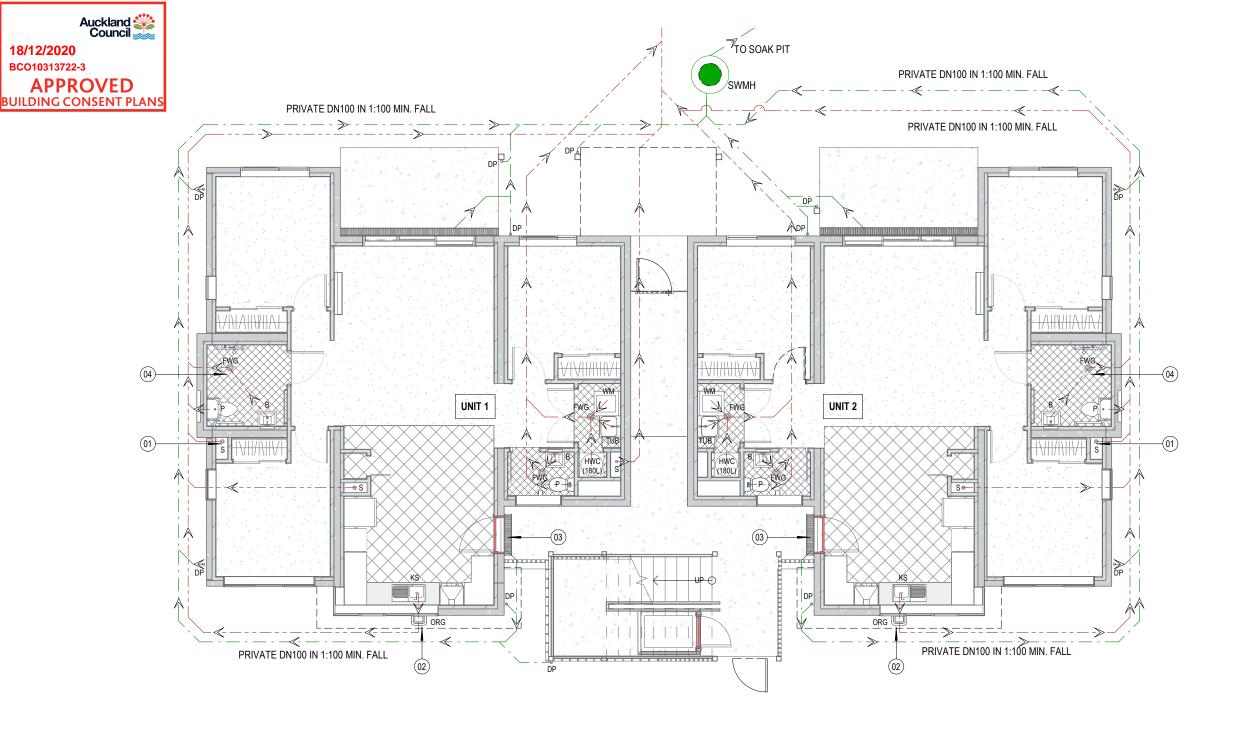
01 / A3-A4040

ENLARGED BATHROOM PLAN - TYPE C

/700

BATHROOM





- STACK FROM LEVEL ABOVE
- TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- USER FRIENDLY SHOWER

TUB	DN50 @ 1:40 MIN
B: BASIN	DN50/65 @ 1:40 MIN
SHOWER	DN50 @ 1:40 MIN
KS: SINK	DN50/65 @ 1:40 MIN
WM	DN40 @ 1:40 MIN
P: WC	DN100 @ 1:60 MIN
HWC	DN40 @ 1:40 MIN
VENT	DN50 MIN
STACK	DN100 MIN
HWC	DN20 COLD/HOT SUPPLY
WATER MAIN	DN 25 MDPE
	B: BASIN SHOWER KS: SINK WM P: WC HWC VENT STACK HWC

SHEET NOTES

REFER TO PLUMBING NOTES. SHEET A0091

REFER TO FINISHES NOTES, SHEET A5-0091

ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.

DRAINLAYER CONTRACTOR IS TO CONFIRM ALL LOCATIONS OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING

WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE. ALL SPECIFIED KITCHEN SINKS, TUBS AND BASINS HAVE INTEGRAL OVERFLOWS.
ADJUSTABLE FLOW RATES SET AS FOLLOWS:
LAUNDRY AND BASIN MIXERS - 6 LITRES PER MINUTE.
KITCHEN MIXERS - 7.5L PER MINUTE

SHOWER MIXERS - 9 LITRES PER MINUTE CONTRACTOR TO COORDINATE DETENTION TANK LOCATION WITH WINDOW LAYOUT AND MANUFACTURERS SPECIFICATION INCLUDING SEISMIC

LEGEND

FWG

FLOOR WASTE GULLY

	PROPOSED PRIVATE SEWER PIPE	Р	TOILET PANS
	PROPOSED PRIVATE STORM WATER PIPE	В	BASIN
HWC	HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE
DP	Ø80 DOWNPIPE	HT	HOSE TAP
ORG	OVERFLOW RELIF GULLY	SHR	SHOWER
TV	TERMINAL VENT	WM	WASHING MACHINE
SS	SEWER STACK	KS	KITCHEN SINK
S&V	STACK & TERMINAL VENT		
AV	AIR ADMITTANCE VALVE		

Young+ Richards+

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DOMINION

8-18 EDMONTON AVENUE

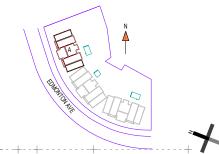
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



AUCKLAND COUNCIL Reviewed Kishore Rana Date: 14/12/2020 DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CH
1	20/11/20	BUILDING CONSENT STAGE 3	YR	Y
2	16/12/20	BC3 RFI	YR	Υ

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK, REFER TO NZ BUILDING ACT, SECTION 17.

 BUILDINGS NOT TO BE CONSTRUCTED AL TERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDINGS ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT. BOTALL PROPERTY OF A PROPOVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDINGS ACT, SECTION 14E.

 THIS DRAWING SHALL BE READ IN COMJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTATION.

 1 HE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FELID CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OF REFORMING ANY WORK IN QUESTION.

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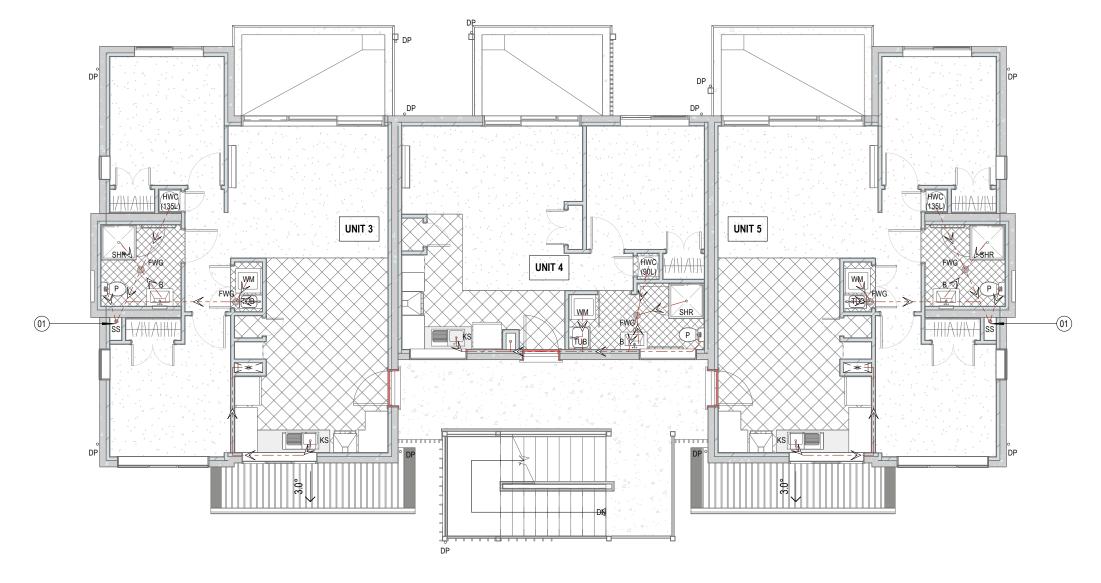
PROPOSED BLOCK A GROUND FLOOR **PLUMBING & DRAINAGE PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100





- STACK FROM LEVEL ABOVE
- TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- USER FRIENDLY SHOWER

TUB	DN50 @ 1:40 MIN
B: BASIN	DN50/65 @ 1:40 MIN
SHOWER	DN50 @ 1:40 MIN
KS: SINK	DN50/65 @ 1:40 MIN
WM	DN40 @ 1:40 MIN
P: WC	DN100 @ 1:60 MIN
HWC	DN40 @ 1:40 MIN
VENT	DN50 MIN
STACK	DN100 MIN
HWC	DN20 COLD/HOT SUPPLY
WATER MAIN	DN 25 MDPE

SHEET NOTES

REFER TO PLUMBING NOTES, SHEET A0091
REFER TO FINISHES NOTES, SHEET A5-0091
ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL

AUTHORITY.

DRAINLAYER CONTRACTOR IS TO CONFIRM ALL LOCATIONS OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING

WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE. ALL SPECIFIED KITCHEN SINKS, TUBS AND BASINS HAVE INTEGRAL OVERFLOWS.

ADJUSTABLE FLOW RATES SET AS FOLLOWS: LAUNDRY AND BASIN MIXERS - 6 LITRES PER MINUTE. KITCHEN MIXERS - 7.5L PER MINUTE

SHOWER MIXERS - 9 LITRES PER MINUTE CONTRACTOR TO COORDINATE DETENTION TANK LOCATION WITH WINDOW LAYOUT AND MANUFACTURERS SPECIFICATION INCLUDING SEISMIC

LEGEND

FWG

FLOOR WASTE GULLY

LEGENL)		
	PROPOSED PRIVATE SEWER PIPE	Р	TOILET PANS
	PROPOSED PRIVATE STORM WATER PIPE	В	BASIN
HWC	HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE
DP	Ø80 DOWNPIPE	HT	HOSE TAP
ORG	OVERFLOW RELIF GULLY	SHR	SHOWER
TV	TERMINAL VENT	WM	WASHING MACHINE
SS	SEWER STACK	KS	KITCHEN SINK
S&V	STACK & TERMINAL VENT		
AV	AIR ADMITTANCE VALVE		

Young+ Richards+

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DOMINION

8-18 EDMONTON AVENUE

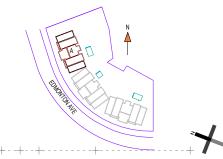
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



STAMP

DEV.	DATE	DECODIDATION	DV	OLIVD
REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
 STANDARDS, ORDINANCES, RULES, AND BEGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE
 WORK, REFER TO NZ BUILDING ACT, SECTION 17.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND
 VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK, RIGNY THIS DRAWNING IS NOT VALID FOR CONSTRUCTION UNLESS
 STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING
 CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.

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 CONSULTANTS DOCUMENTATION. PUMPINSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK
 CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFILITS WITHIN THE CONSENTED
 DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

PROPOSED BLOCK A FIRST FLOOR **PLUMBING & DRAINAGE PLAN**

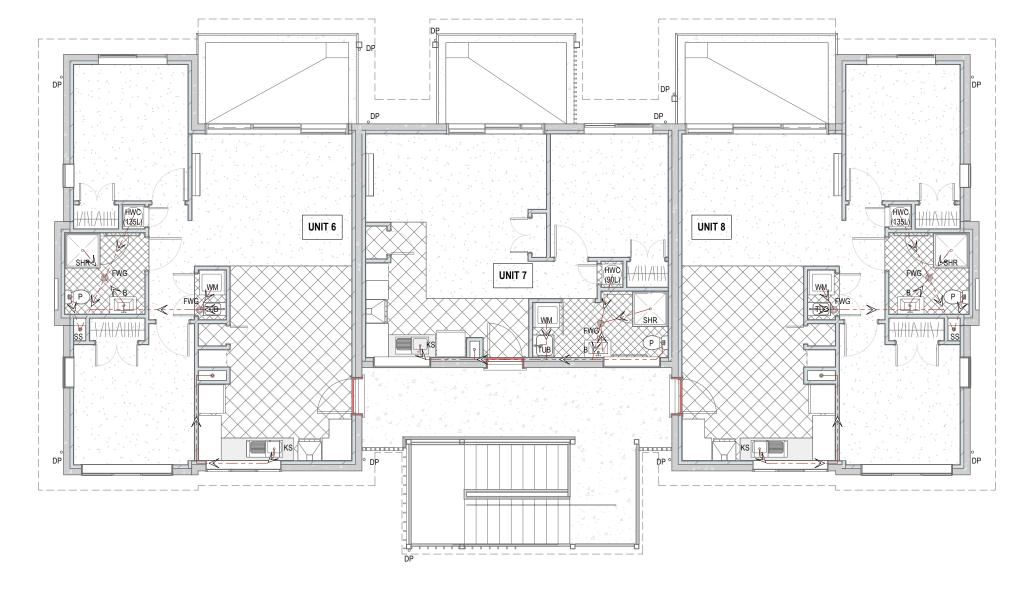
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100 A3=100%







- STACK FROM LEVEL ABOVE
- TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- USER FRIENDLY SHOWER

TUB DN50 @ 1:40 MIN B: BASIN DN50/65 @ 1:40 MIN SHOWER DN50 @ 1:40 MIN DN50/65 @ 1:40 MIN KS: SINK WM DN40 @ 1:40 MIN

P: WC DN100 @ 1:60 MIN HWC DN40 @ 1:40 MIN

VENT STACK DN100 MIN HWC DN20 COLD/HOT SUPPLY

WATER MAIN DN 25 MDPE

SHEET NOTES

REFER TO PLUMBING NOTES. SHEET A0091

REFER TO FINISHES NOTES, SHEET A5-0091 ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL

AUTHORITY. DRAINLAYER CONTRACTOR IS TO CONFIRM ALL LOCATIONS OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING

WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE. ALL SPECIFIED KITCHEN SINKS, TUBS AND BASINS HAVE INTEGRAL OVERFLOWS. ADJUSTABLE FLOW RATES SET AS FOLLOWS: LAUNDRY AND BASIN MIXERS - 6 LITRES PER MINUTE.

KITCHEN MIXERS - 7.5L PER MINUTE SHOWER MIXERS - 9 LITRES PER MINUTE

CONTRACTOR TO COORDINATE DETENTION TANK LOCATION WITH WINDOW LAYOUT AND MANUFACTURERS SPECIFICATION INCLUDING SEISMIC

LEGEND

FWG

FLOOR WASTE GULLY

LEGEND			
	PROPOSED PRIVATE SEWER PIPE	Р	TOILET PANS
	PROPOSED PRIVATE STORM WATER PIPE	В	BASIN
HWC	HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE
DP	Ø80 DOWNPIPE	HT	HOSE TAP
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TV	TERMINAL VENT	WM	WASHING MACHINE
SS	SEWER STACK	KS	KITCHEN SINK
S&V	STACK & TERMINAL VENT		
AV	AIR ADMITTANCE VALVE		

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DOMINION

8-18 EDMONTON AVENUE

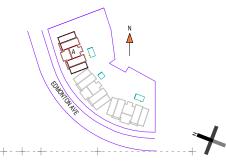
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



REV DATE DESCRIPTION BY 1 20/11/20 BUILDING CONSENT STAGE 3 YR	YR YR
0 10110100 000 000	YR
2 16/12/20 BC3 RFI YR	111

- THE FINE PRINT

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 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

PROPOSED BLOCK A SECOND FLOOR **PLUMBING & DRAINAGE PLAN**

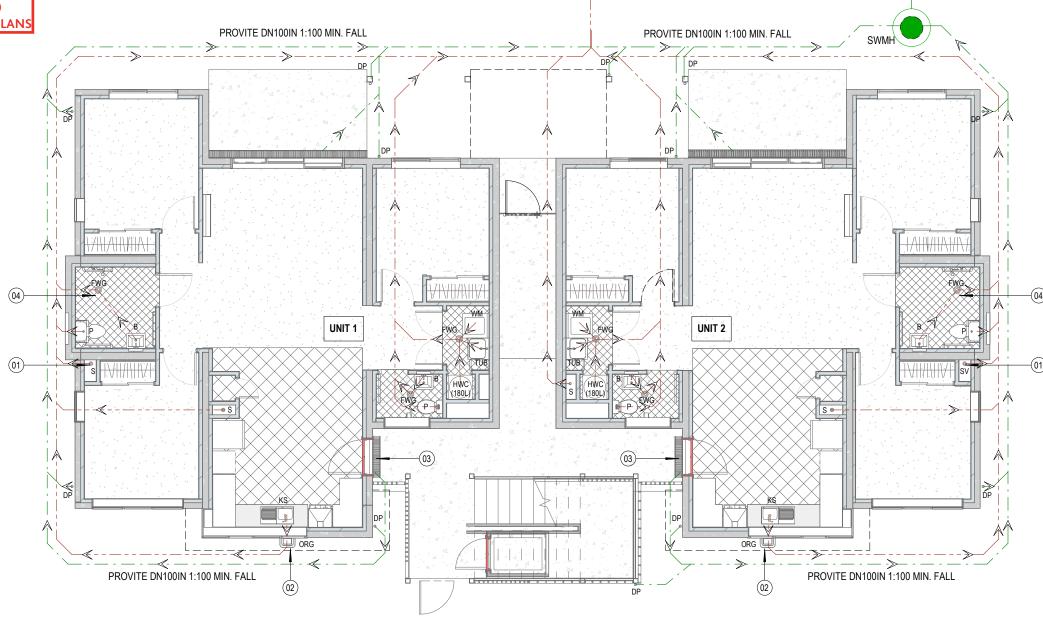
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100







- STACK FROM LEVEL ABOVE
- TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- USER FRIENDLY SHOWER

TUB DN50 @ 1:40 MIN B: BASIN DN50/65 @ 1:40 MIN SHOWER DN50 @ 1:40 MIN KS: SINK DN50/65 @ 1:40 MIN DN40 @ 1:40 MIN WM DN100 @ 1:60 MIN P: WC HWC DN40 @ 1:40 MIN VENT STACK DN100 MIN HWC DN20 COLD/HOT SUPPLY WATER MAIN DN 25 MDPE

SHEET NOTES

REFER TO PLUMBING NOTES. SHEET A0091

REFER TO FINISHES NOTES, SHEET A5-0091

ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.

DRAINLAYER CONTRACTOR IS TO CONFIRM ALL LOCATIONS OF EXISTING MANHOLES / SEWER AND STORMWATER CONNECTIONS PRIOR TO UNDERTAKING

WORK. PROVIDE COUNCIL WITH AN AS LAID DRAINAGE PLAN WHEN COMPLETE. ALL SPECIFIED KITCHEN SINKS, TUBS AND BASINS HAVE INTEGRAL OVERFLOWS. ADJUSTABLE FLOW RATES SET AS FOLLOWS: LAUNDRY AND BASIN MIXERS - 6 LITRES PER MINUTE.

KITCHEN MIXERS - 7.5L PER MINUTE

SHOWER MIXERS - 9 LITRES PER MINUTE CONTRACTOR TO COORDINATE DETENTION TANK LOCATION WITH WINDOW LAYOUT AND MANUFACTURERS SPECIFICATION INCLUDING SEISMIC

LEGEND

FLOOR WASTE GULLY

	_		
	PROPOSED PRIVATE SEWER PIPE	Р	TOILET PANS
	PROPOSED PRIVATE STORM WATER PIPE	В	BASIN
HWC	HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE
DP	Ø80 DOWNPIPE	HT	HOSE TAP
ORG	OVERFLOW RELIF GULLY	SHR	SHOWER
TV	TERMINAL VENT	WM	WASHING MACHINE
SS	SEWER STACK	KS	KITCHEN SINK
S&V	STACK & TERMINAL VENT		
AV	AIR ADMITTANCE VALVE		

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TO SOAK PIT

DOMINION

8-18 EDMONTON AVENUE

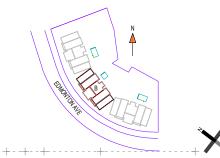
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



AUCKLAND COUNCIL Reviewed Kishore Rana Date: 14/12/2020

DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	C
1	20/11/20	BUILDING CONSENT STAGE 3	YR	١
2	16/12/20	BC3 RFI	YR	,

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REQULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK, REFER TO NZ BUILDING ACT, SECTION 17.

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PROPOSED BLOCK B GROUND FLOOR **PLUMBING & DRAINAGE PLAN**

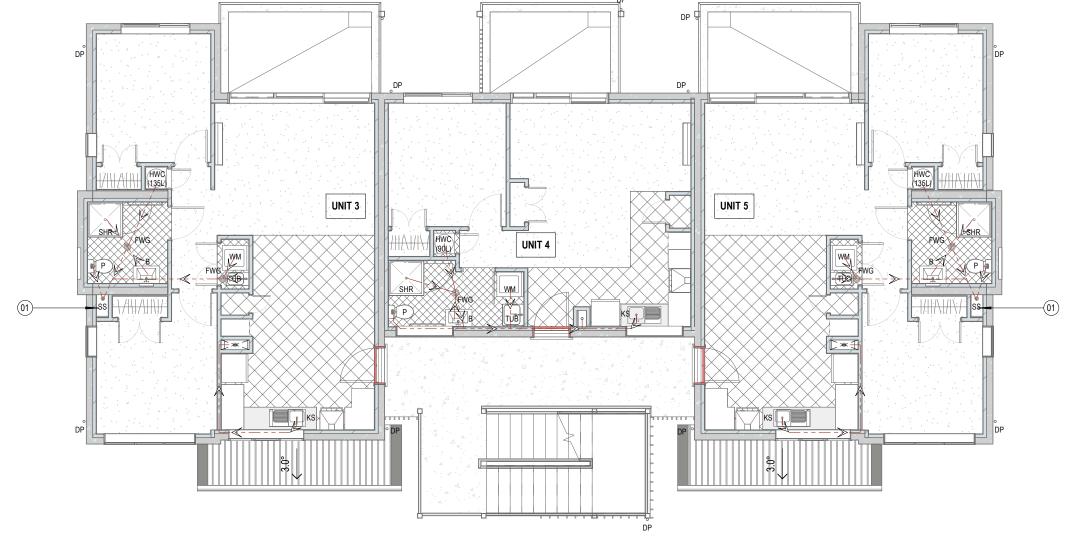
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100







- STACK FROM LEVEL ABOVE
- TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- USER FRIENDLY SHOWER

DN50 @ 1:40 MIN TUB B: BASIN DN50/65 @ 1:40 MIN DN50 @ 1:40 MIN SHOWER DN50/65 @ 1:40 MIN KS: SINK DN40 @ 1:40 MIN WM P: WC DN100 @ 1:60 MIN DN40 @ 1:40 MIN HWC VENT DN50 MIN STACK DN100 MIN HWC DN20 COLD/HOT SUPPLY

WATER MAIN DN 25 MDPE

SHEET NOTES

REFER TO PLUMBING NOTES, SHEET A0091
REFER TO FINISHES NOTES, SHEET A5-0091
ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL AUTHORITY.

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CONTRACTOR TO COORDINATE DETENTION TANK LOCATION WITH WINDOW LAYOUT AND MANUFACTURERS SPECIFICATION INCLUDING SEISMIC

FWG

FLOOR WASTE GULLY

LEGE	עוע		
	PROPOSED PRIVATE SEWER PIPE	Р	TOILET PANS
	PROPOSED PRIVATE STORM WATER PIPE	В	BASIN
HWC	HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE
DP	Ø80 DOWNPIPE	HT	HOSE TAP
ORG	OVERFLOW RELIF GULLY	SHR	SHOWER
TV	TERMINAL VENT	WM	WASHING MACHINE
SS	SEWER STACK	KS	KITCHEN SINK
S&V	STACK & TERMINAL VENT		
AV	AIR ADMITTANCE VALVE		

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DOMINION

8-18 EDMONTON AVENUE

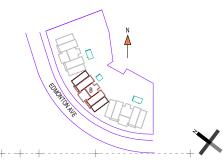
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHK
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YF
2	16/12/20	BC3 RFI	YR	YF

- THE FINE PRINT

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 FOR ALL RESTRICTED BUILDING WORK, RIGNY THIS DRAWNING IS NOT VALID FOR CONSTRUCTION UNLESS
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PROPOSED BLOCK B FIRST FLOOR **PLUMBING & DRAINAGE PLAN**

PROJECT STATUS

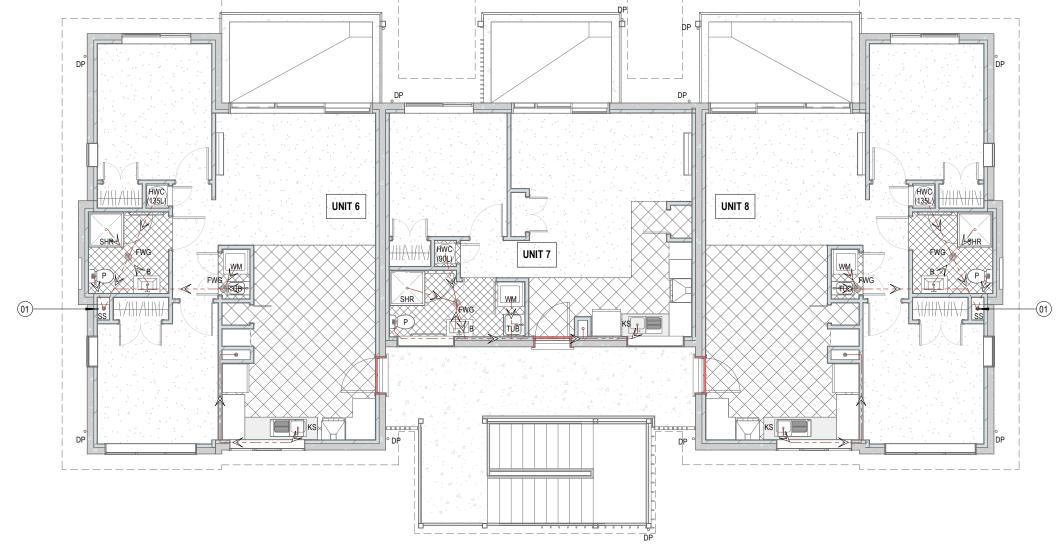
BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

A3=100%







- STACK FROM LEVEL ABOVE
- TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- USER FRIENDLY SHOWER

TUB	DN50 @ 1:40 MIN
B: BASIN	DN50/65 @ 1:40 MIN
SHOWER	DN50 @ 1:40 MIN
KS: SINK	DN50/65 @ 1:40 MIN
WM	DN40 @ 1:40 MIN
P: WC	DN100 @ 1:60 MIN
HWC	DN40 @ 1:40 MIN
VENT	DN50 MIN
STACK	DN100 MIN
HWC	DN20 COLD/HOT SUPPLY
WATER MAIN	DN 25 MDPE

SHEET NOTES

REFER TO PLUMBING NOTES, SHEET A0091 REFER TO FINISHES NOTES, SHEET A5-0091

ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL

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CONTRACTOR TO COORDINATE DETENTION TANK LOCATION WITH WINDOW LAYOUT AND MANUFACTURERS SPECIFICATION INCLUDING SEISMIC

LEGEND

FWG

FLOOR WASTE GULLY

LEGENI)		
	PROPOSED PRIVATE SEWER PIPE	Р	TOILET PANS
	PROPOSED PRIVATE STORM WATER PIPE	В	BASIN
HWC	HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE
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SS	SEWER STACK	KS	KITCHEN SINK
S&V	STACK & TERMINAL VENT		
AV	AIR ADMITTANCE VALVE		

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8-18 EDMONTON AVENUE

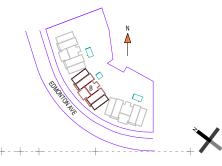
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHK
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

- THE FINE PRINT

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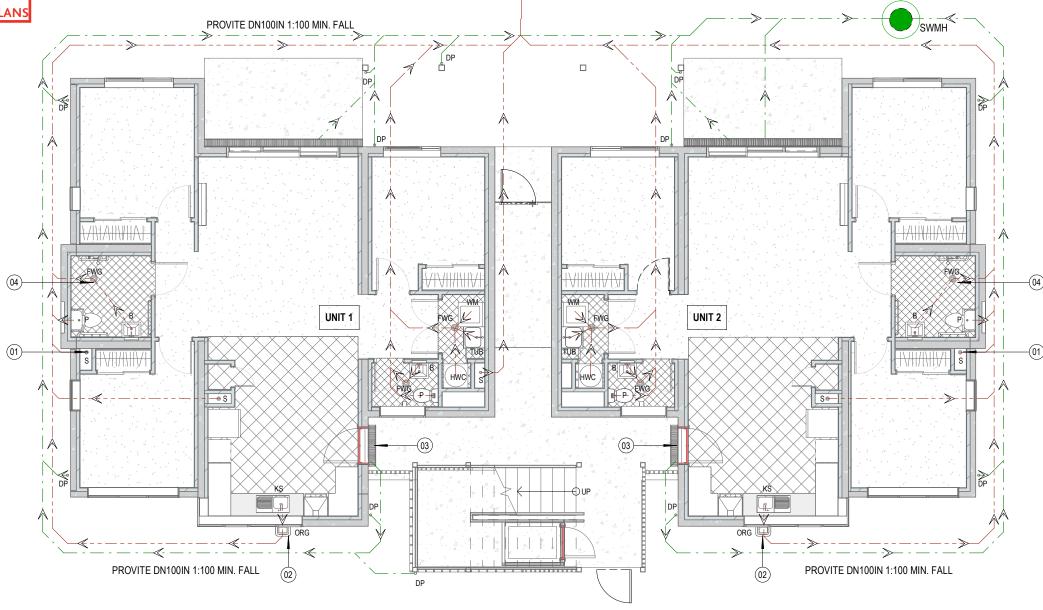
PROPOSED BLOCK B SECOND FLOOR **PLUMBING & DRAINAGE PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100 A3=100%





- STACK FROM LEVEL ABOVE
- TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- USER FRIENDLY SHOWER

$\sim\sim\sim$	$\sim\sim\sim\sim\sim\sim\sim$
TUB	DN50 @ 1:40 MIN
B: BASIN	DN50/65 @ 1:40 MIN
SHOWER	DN50 @ 1:40 MIN
KS: SINK	DN50/65 @ 1:40 MIN
WM	DN40 @ 1:40 MIN
P: WC	DN100 @ 1:60 MIN
HWC	DN40 @ 1:40 MIN
VENT	DN50 MIN
STACK	DN100 MIN
HWC	DN20 COLD/HOT SUPPLY
WATER MAIN	DN 25 MDPE

SHEET NOTES

REFER TO PLUMBING NOTES. SHEET A0091

REFER TO FINISHES NOTES, SHEET A5-0091 ALL DRAINAGE TO COMPLY WITH AS / NZS 3500.2, PLUS LOCAL COUNCIL

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LEGEND

FWG

FLOOR WASTE GULLY

	PROPOSED PRIVATE SEWER PIPE	Р	TOILET PANS
	PROPOSED PRIVATE STORM WATER PIPE	В	BASIN
HWC	HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE
DP	Ø80 DOWNPIPE	HT	HOSE TAP
ORG	OVERFLOW RELIF GULLY	SHR	SHOWER
TV	TERMINAL VENT	WM	WASHING MACHINE
SS	SEWER STACK	KS	KITCHEN SINK
S&V	STACK & TERMINAL VENT		
Δ\/	AID ADMITTANCE VALVE		

TO SOAK PIT♠

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DOMINION

8-18 EDMONTON AVENUE

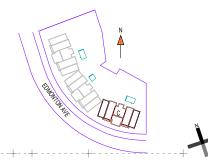
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



AUCKLAND COUNCIL Reviewed /: Kishore Rana Date: 14/12/2020 DEVELOPMENT ENGINEERING

REV	DATE	DESCRIPTION	BY	CHKE
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

- THE FINE PRINT

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PROPOSED BLOCK C GROUND FLOOR **PLUMBING & DRAINAGE PLAN**

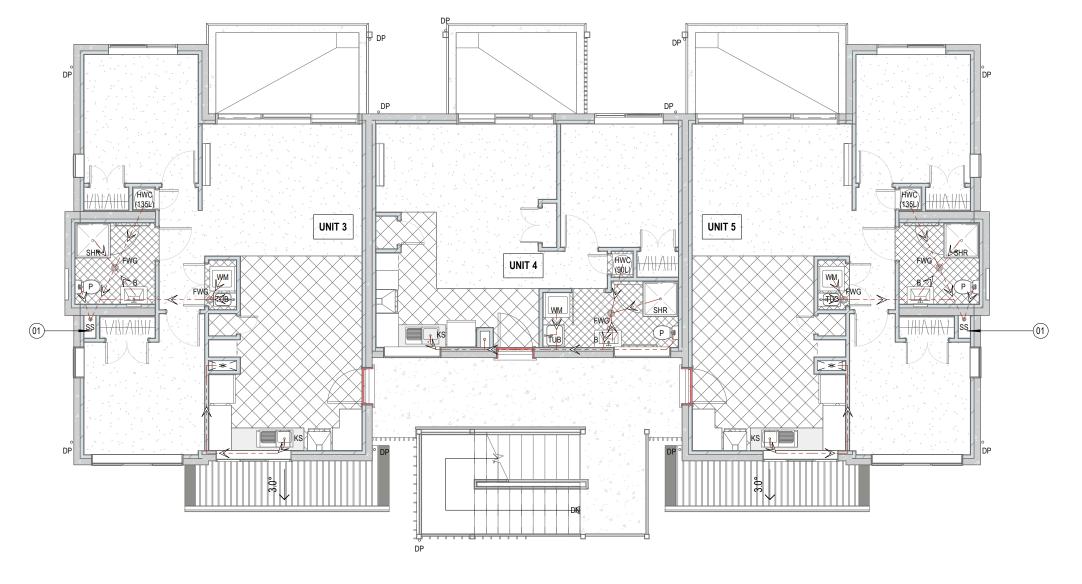
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100 A3=100%







- STACK FROM LEVEL ABOVE
- TUNDISH DISCHARGE TO EXTERIOR
- (03) DRAINAGE CHANNEL
- USER FRIENDLY SHOWER

DN50 @ 1:40 MIN TUB B: BASIN DN50/65 @ 1:40 MIN DN50 @ 1:40 MIN SHOWER DN50/65 @ 1:40 MIN KS: SINK WM DN40 @ 1:40 MIN P: WC DN100 @ 1:60 MIN DN40 @ 1:40 MIN HWC VENT DN50 MIN STACK DN100 MIN

DN20 COLD/HOT SUPPLY

HWC

WATER MAIN DN 25 MDPE

SHEET NOTES

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FWG

FLOOR WASTE GULLY

LEGEND						
OR WASTE						
CHINE						
(

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DOMINION

8-18 EDMONTON AVENUE

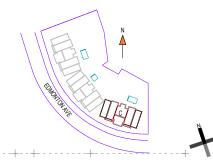
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKI
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

- THE FINE PRINT

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PROPOSED BLOCK C FIRST FLOOR **PLUMBING & DRAINAGE PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

A3=100%

(01)

KEY NOTES & LEGEND

STACK FROM LEVEL ABOVE

TUNDISH DISCHARGE TO EXTERIOR

TUB DN50 @ 1:40 MIN B: BASIN DN50/65 @ 1:40 MIN SHOWER DN50 @ 1:40 MIN DN50/65 @ 1:40 MIN KS: SINK WM DN40 @ 1:40 MIN P: WC DN100 @ 1:60 MIN HWC DN40 @ 1:40 MIN VENT STACK DN100 MIN HWC DN20 COLD/HOT SUPPLY WATER MAIN DN 25 MDPE

SHEET NOTES

UNIT 6

REFER TO PLUMBING NOTES. SHEET A0091 REFER TO FINISHES NOTES, SHEET A5-0091

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ΑV

FWG

AIR ADMITTANCE VALVE

FLOOR WASTE GULLY

DP

UNIT 7

UNIT 8

LEGEND						
PROPOSED PRIVATE SEWER PIPE	Р	TOILET PANS				
PROPOSED PRIVATE STORM WATER PIPE	В	BASIN				
HOT WATER CYLINDER, WITH SAFE TRAY UNDER	SFW	SHOWER FLOOR WASTE				
Ø80 DOWNPIPE	HT	HOSE TAP				
OVERFLOW RELIF GULLY	SHR	SHOWER				
TERMINAL VENT	WM	WASHING MACHINE				
SEWER STACK	KS	KITCHEN SINK				
STACK & TERMINAL VENT						
	PROPOSED PRIVATE SEWER PIPE PROPOSED PRIVATE STORM WATER PIPE HOT WATER CYLINDER, WITH SAFE TRAY UNDER Ø80 DOWNPIPE OVERFLOW RELIF GULLY TERMINAL VENT SEWER STACK	PROPOSED PRIVATE SEWER PIPE P PROPOSED PRIVATE STORM WATER PIPE B HOT WATER CYLINDER, WITH SAFE TRAY UNDER SFW Ø80 DOWNPIPE HT OVERFLOW RELIF GULLY SHR TERMINAL VENT WM SEWER STACK KS				

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DOMINION

8-18 EDMONTON AVENUE

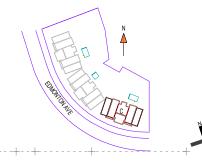
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	16/12/20	BC3 RFI	YR	YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
 STANDARDS, ORDINANCES, RULES, AND BEGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE
 WORK, REFER TO NZ BUILDING ACT, SECTION 17.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND
 VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK, RIGNY THIS DRAWNING IS NOT VALID FOR CONSTRUCTION UNLESS
 STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING
 CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.

 FOR BUILDERS RESPONSBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.

 THIS DRAWNING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND
 CONSULTANTS DOCUMENTATION. PUMPINSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK
 CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFILITS WITHIN THE CONSENTED
 DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

PROPOSED BLOCK C SECOND FLOOR **PLUMBING & DRAINAGE PLAN**

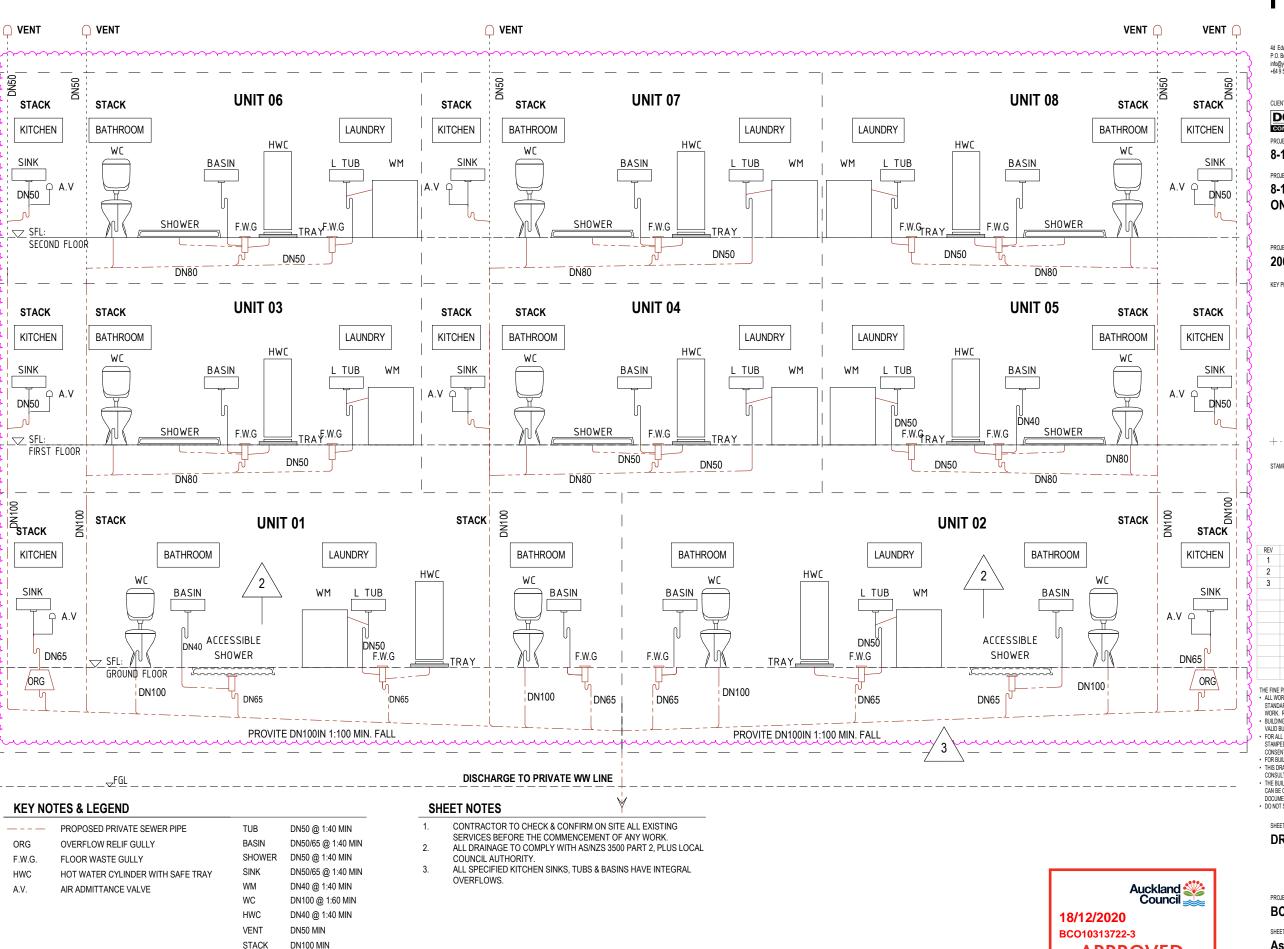
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100







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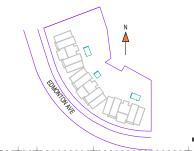
DOMINION

8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003



AUCKLAND COUNCIL Reviewed

Kishore Rana Date: 14/12/2020 **EVELOPMENT ENGINEERING**

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR
THE CINE	DDINT			

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

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 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWNG IS NOT VALID FOR CONSTRUCTION UNLESS STAMED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT CONSISTED DOCUMENTATION TAKES RECEDENCE.

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 THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSISTED TO A VERIFY DIMENSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

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SHEET NAME

DRAINAGE SCHEMATICS

PROJECT STATUS

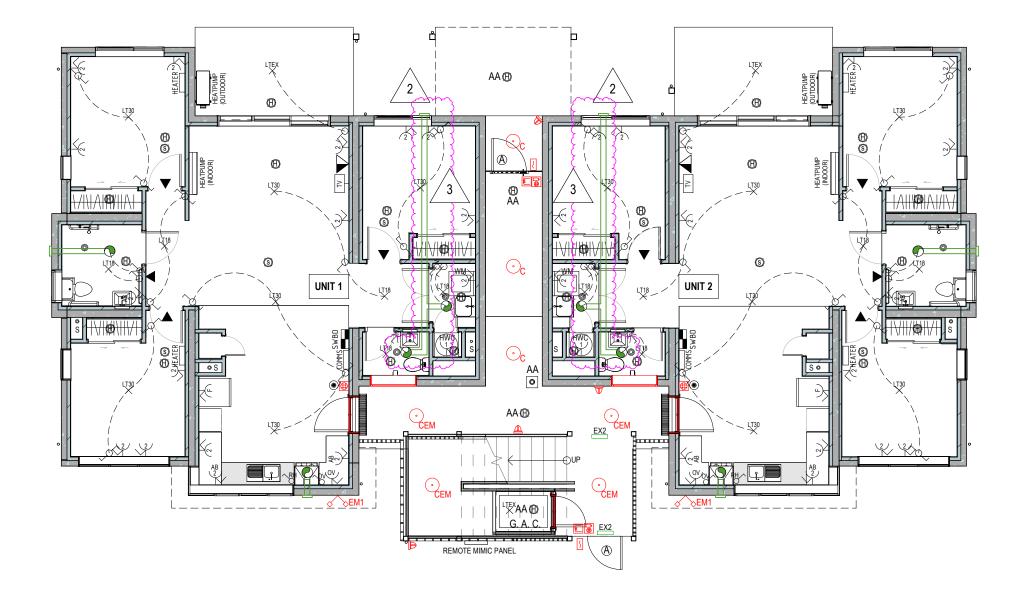
BC-CONSTRUCTION-STAGE3

SHEET SCALE As indicated

APPROVED BUILDING CONSENT PLANS

SHEET SIZE A3=100%





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DOMINION

8-18 EDMONTON AVENUE

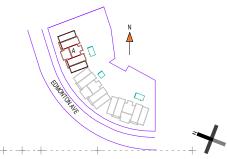
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHK
1	20/11/20	BUILDING CONSENT STAGE 3	YR	Y
2	11/12/20	BC3 CONSENTIUM RFI	YR	Y
3	16/12/20	BC3 RFI	YR	Y

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PROPOSED BLOCK A GROUND FLOOR **DATA & ELECTRICAL PLAN**

PROJECT STATUS

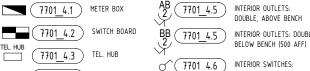
SHEET SCALE 1:100

BC-CONSTRUCTION-STAGE3



A5-A7740

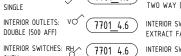
KEY NOTES & LEGEND

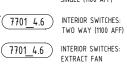


COMMS 7701 4.3 COMMS. BOARD



DOUBLE (500 AFF)





RANGE HOOD





7701 4.12



ELECTRIC APPLIANCES:

ELECTRIC APPLIANCES:

2 &3 BEDROOM UNITS: 353(D)x697(H)x890(W)

1 BEDROOM UNITS: 385(D)x762(H)x920(W)

HEATPUMP OUTDOOR UNIT



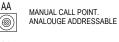
7701 4.13 ELECTRIC APPLIANCES:

2 &3 BEDROOM UNITS: 230(D)x337(H)x1115(W)

1 BEDROOM UNITS: 230(D)x337(H)x1115(W)

HEATPUMP INDOOR UNIT





FIRE SPEAKERS

HEAT DETECTOR





ACCESS DOOR CCTV CAMERA EMERGENCY DR RELEASE GALLAGHER+ AI PHONE+CCTV

SYSTEM TYPE C EMERGENCY LIGHTING SYSTEM TYPE EM1 EX2 EMERGENCY LIGHTING

EMERGENCY LIGHTING

EMERGENCY LIGHTING

SYSTEM TYPE CEM

SELECTIONS AND FINAL SECURITY DESIGN: EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD". SYSTEM EXIT SIGN INTERIOR AND EXTERIOR LED LIGHTS <5W/M². REFER TO FIRE REPORT BY "FIREFORCE".

SHEET NOTES

ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE CONTRACTING LTD, DATED NOVEMBER 2020, SHEET EDMONT-001~003 TAKES PRECEDENCE FOR FIRE ALARM SYSTEM DESIGN

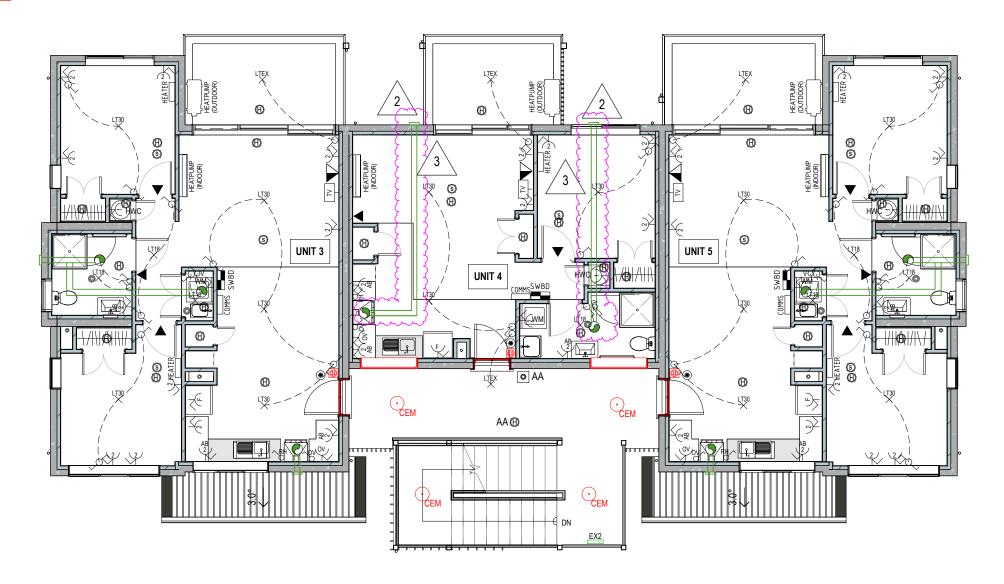
REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01; BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223M³/HR

EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON

TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR

REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS

BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT;



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DOMINION

8-18 EDMONTON AVENUE

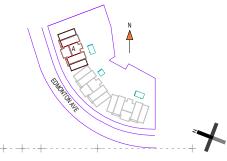
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



DATE	DESCRIPTION	BY	CHKD
20/11/20	BUILDING CONSENT STAGE 3	YR	YR
11/12/20	BC3 CONSENTIUM RFI	YR	YR
16/12/20	BC3 RFI	YR	YR
	11/12/20	11/12/20 BC3 CONSENTIUM RFI	11/12/20 BC3 CONSENTIUM RFI YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETECT TO NZ BUILDING ACT, SECTION 40.

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PROPOSED BLOCK A FIRST FLOOR DATA & ELECTRICAL PLAN

PROJECT STATUS **BC-CONSTRUCTION-STAGE3**

SHEET SCALE 1:100

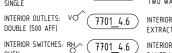
A3=100%

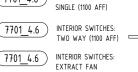
KEY NOTES & LEGEND

(7701<u>4.5</u>)

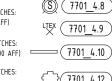


COMMS 7701_4.3 COMMS. BOARD (7701<u>4.6</u>) 7701_4.5





RANGE HOOD





1 BEDROOM UNITS: 385(D)x762(H)x920(W)



(7817_4.3)

(7817<u>4</u>.5)

LT18 7701 4.7 INTERIOR LIGHT FITTINGS 7701 4.11 ELECTRIC APPLIANCES:



 \oplus

TELE/DATA OUTLET

TV/SATELLITE

(500 AFF)

1 BEDROOM UNITS: 230(D)x337(H)x1115(W)



FIRE SPEAKERS

HEAT DETECTOR

APARTMENT MODULE

EDR 🔂 ANALOUGE ADDRESSABLE G. A. C.

EX2

ACCESS DOOR CCTV CAMERA EMERGENCY DR RELEASE REXE REQUEST TO EXIT INTERCOM (GT AUDIO ONLY ENTRY INTERCOM APARTMENT GALLAGHER+ AI PHONE+CCTV

EMERGENCY LIGHTING SYSTEM TYPE C EMERGENCY LIGHTING

EMERGENCY LIGHTING

SYSTEM TYPE CEM

SYSTEM TYPE EM1

SYSTEM EXIT SIGN

EMERGENCY LIGHTING

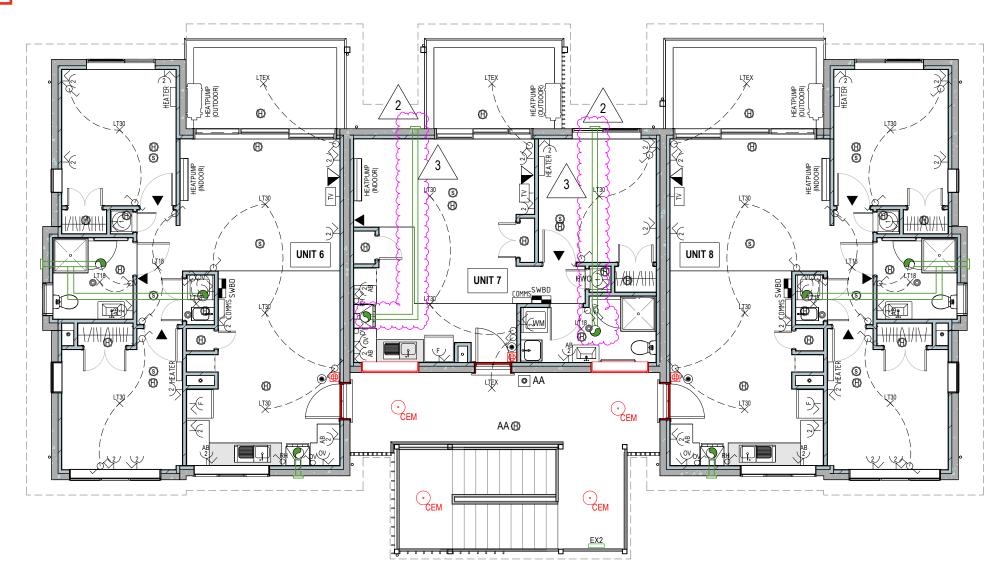
SHEET NOTES

REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01; BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223M³/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT; REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS

SELECTIONS AND FINAL SECURITY DESIGN;

EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD". INTERIOR AND EXTERIOR LED LIGHTS <5W/M2

REFER TO FIRE REPORT BY "FIREFORCE". ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE CONTRACTING LTD, DATED NOVEMBER 2020, SHEET EDMONT-001~003.



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DOMINION

8-18 EDMONTON AVENUE

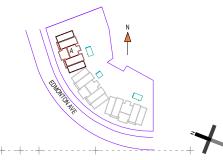
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

THE FINE PRINT

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETECT TO NZ BUILDING ACT, SECTION 40.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. CONSTRUCTION LINESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT CONSENTED DOLUMENTATION TAKES PRECEDENCE.

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PROPOSED BLOCK A SECOND FLOOR **DATA & ELECTRICAL PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

A3=100%

A5-A7742

COMMS 7701_4.3 COMMS. BOARD

7701_4.5 (7701<u>4.5</u>) DOUBLE (500 AFF)

7701 4.3) TEL. HUB

7701_4.2) SWITCH BOARD

KEY NOTES & LEGEND

7701_4.1 METER BOX

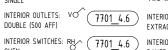
`(7701<u>4</u>.6)

INTERIOR OUTLETS: VO 7701_4.6

7701_4.5

(7701 4.6)







7701_4.5 INTERIOR OUTLETS:

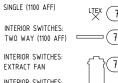




DOUBLE, ABOVE BENCH

BELOW BENCH (500 AFF)

INTERIOR SWITCHES:











7817_4.3

(7817<u>4</u>.5)

LT18 7701 4.7 INTERIOR LIGHT FITTINGS 7701 4.11 ELECTRIC APPLIANCES:



TELE/DATA OUTLET

TV/SATELLITE

(500 AFF)





EDR 🔂 ANALOUGE ADDRESSABLE G. A. C. GALLAGHER+ AI PHONE+CCTV

EX2 EMERGENCY LIGHTING SYSTEM EXIT SIGN ACCESS DOOR

EMERGENCY LIGHTING

EMERGENCY LIGHTING

EMERGENCY LIGHTING

SYSTEM TYPE CEM

SYSTEM TYPE C

SYSTEM TYPE EM1

CCTV CAMERA EMERGENCY DR RELEASE

REXE REQUEST TO EXIT INTERCOM (GT AUDIO ONLY ENTRY INTERCOM APARTMENT

SHEET NOTES

REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01; BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223M³/HR

EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON

TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR

BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT;

ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN

FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE

CONTRACTING LTD, DATED NOVEMBER 2020, SHEET EDMONT-001~003.

REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS

EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD".

TAKES PRECEDENCE FOR FIRE ALARM SYSTEM DESIGN.

SELECTIONS AND FINAL SECURITY DESIGN;

REFER TO FIRE REPORT BY "FIREFORCE".

INTERIOR AND EXTERIOR LED LIGHTS <5W/M2

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DOMINION

8-18 EDMONTON AVENUE

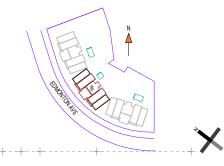
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



KEV	DATE	DESCRIPTION	Bĭ	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

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PROPOSED BLOCK B GROUND FLOOR **DATA & ELECTRICAL PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

A5-A7750



7701 4.3) TEL. HUB 7701 4.3 COMMS. BOARD

INTERIOR OUTLET: (7701<u>4</u>.5) DOUBLE (500 AFF)

7701 4.2) SWITCH BOARD

KEY NOTES & LEGEND

7701 4.1 METER BOX

INTERIOR OUTLETS: VO 7701_4.6 INTERIOR SWITCHES: RH 7701_4.6

Ø (7701_4.6)

7701 4.5

7701_4.6

7701_4.5 INTERIOR OUTLETS:

DOUBLE, ABOVE BENCH

BELOW BENCH (500 AFF)

SINGLE (1100 AFF)

INTERIOR SWITCHES: TWO WAY (1100 AFF) INTERIOR SWITCHES: EXTRACT FAN INTERIOR SWITCHES

(S) (7701_4.8) SMOKE ALARM INTERINR SWITCHES LTEX 7701 4.9 EXTERIOR LIGHT FITTINGS 7701 4.10

INTERIOR OUTLETS: DOUBLE LT30 7701 4.5 INTERIOR LIGHT FITTINGS

ELECTRIC HEATER ELECTRIC APPLIANCES: 7701_4.12 HEATPUMP OUTDOOR UNIT 2 &3 BEDROOM UNITS: 353(D)x697(H)x890(W) 1 BEDROOM UNITS: 385(D)x762(H)x920(W)

ELECTRIC APPLIANCES:

7817_4.5 OUTLET (500 AFF)

7817_4.3 TELE/DATA OUTLET

LT18 7701_4.7 INTERIOR LIGHT FITTINGS 7701_4.11 ELECTRIC APPLIANCES:

7701_4.13 ELECTRIC APPLIANCES: HEATPUMP INDOOR UNIT 2 &3 BEDROOM UNITS: 230(D)x337(H)x1115(W) 1 BEDROOM UNITS: 230(D)x337(H)x1115(W)

TV/SATFILITE

ANALOUGE ADDRESSABLE

(H)

HEAT DETECTOR



FIRE SPEAKERS

HEAT DETECTOR

APARTMENT MODULE

MANUAL CALL POINT.

EDR 6 ANALOUGE ADDRESSABLE

ACCESS DOOR CCTV CAMERA EMERGENCY DR RELEASE REQUEST TO EXIT INTERCOM | GT AUDIO ONLY ENTRY
INTERCOM APARTMENT GALLAGHER+ AI PHONE+CCTV

EMERGENCY LIGHTING

EMERGENCY LIGHTING

EMERGENCY LIGHTING

EMERGENCY LIGHTING SYSTEM EXIT SIGN

SYSTEM TYPE CEM

SYSTEM TYPE C

EMERGENCY LIGHT

CEM

EX2

SHEET NOTES

REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01; BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223M³/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR

BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT; REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS

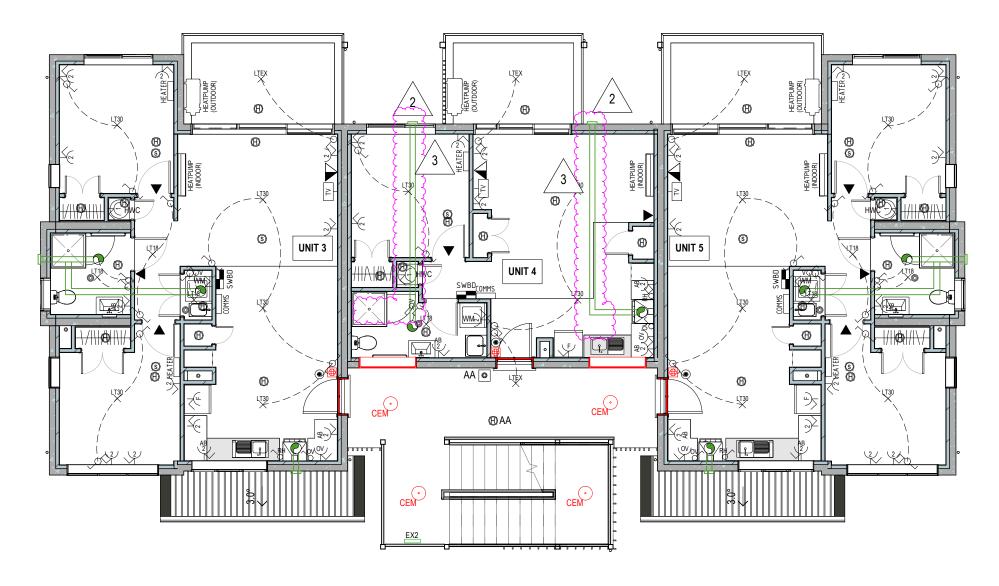
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EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD".

INTERIOR AND EXTERIOR LED LIGHTS <5W/M2. REFER TO FIRE REPORT BY "FIREFORCE".

ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE CONTRACTING LTD. DATED NOVEMBER 2020. SHEET EDMONT-001~003. TAKES PRECEDENCE FOR FIRE ALARM SYSTEM DESIGN.





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DOMINION

8-18 EDMONTON AVENUE

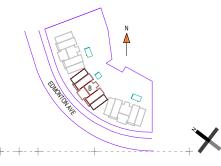
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHK
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETECT TO NZ BUILDING ACT, SECTION 40.

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 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.

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PROPOSED BLOCK B FIRST FLOOR DATA & ELECTRICAL PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100



A5-A7751

SHEET NOTES

- REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01; BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223M³/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON
- TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT; REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS
- SELECTIONS AND FINAL SECURITY DESIGN;
- EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD".
- INTERIOR AND EXTERIOR LED LIGHTS <5W/M2 REFER TO FIRE REPORT BY "FIREFORCE".
- ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE CONTRACTING LTD, DATED NOVEMBER 2020, SHEET EDMONT-001~003.

KEY NOTES & LEGEND 7701_4.1 METER BOX

COMMS

7701_4.2) SWITCH BOARD

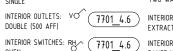
7701_4.5

(7701<u>4.5</u>)



DOUBLE (500 AFF)







7701_4.5 INTERIOR OUTLETS:



DOUBLE, ABOVE BENCH

BELOW BENCH (500 AFF)

INTERIOR SWITCHES:



1 BEDROOM UNITS: 385(D)x762(H)x920(W)

7701_4.10 ELECTRIC APPLIANCES:

LTEX 7701_4.9 EXTERIOR LIGHT FITTINGS

INTERIOR OUTLETS: DOUBLE $\[\frac{130}{7701} \]$ INTERIOR LIGHT FITTINGS

(S) (7701_4.8) SMOKE ALARM

LT18 7701 4.7 INTERIOR LIGHT FITTINGS 7701 4.11 ELECTRIC APPLIANCES:

7817_4.3

(7817<u>4</u>.5)



TELE/DATA OUTLET

TV/SATELLITE

(500 AFF)

 \oplus

SMOKE DETECTOR. ANALOUGE ADDRESSABLE HEAT DETECTOR.

FIRE SPEAKERS

HEAT DETECTOR

APARTMENT MODULE

MANUAL CALL POINT.

ANALOUGE ADDRESSABLE

ANALOUGE ADDRESSABLE G. A. C.

EX2

EMERGENCY LIGHTING

EMERGENCY LIGHTING

EMERGENCY LIGHTING

EMERGENCY LIGHTING

ACCESS DOOR

SYSTEM TYPE CEM

SYSTEM TYPE C

SYSTEM TYPE EM1

SYSTEM EXIT SIGN

CCTV CAMERA EMERGENCY DR RELEASE EDR 🔂 REXE REQUEST TO EXIT INTERCOM (GT AUDIO ONLY ENTRY INTERCOM APARTMENT GALLAGHER+ AI PHONE+CCTV

TAKES PRECEDENCE FOR FIRE ALARM SYSTEM DESIGN.

COMMS

KEY NOTES & LEGEND

7701_4.1 METER BOX

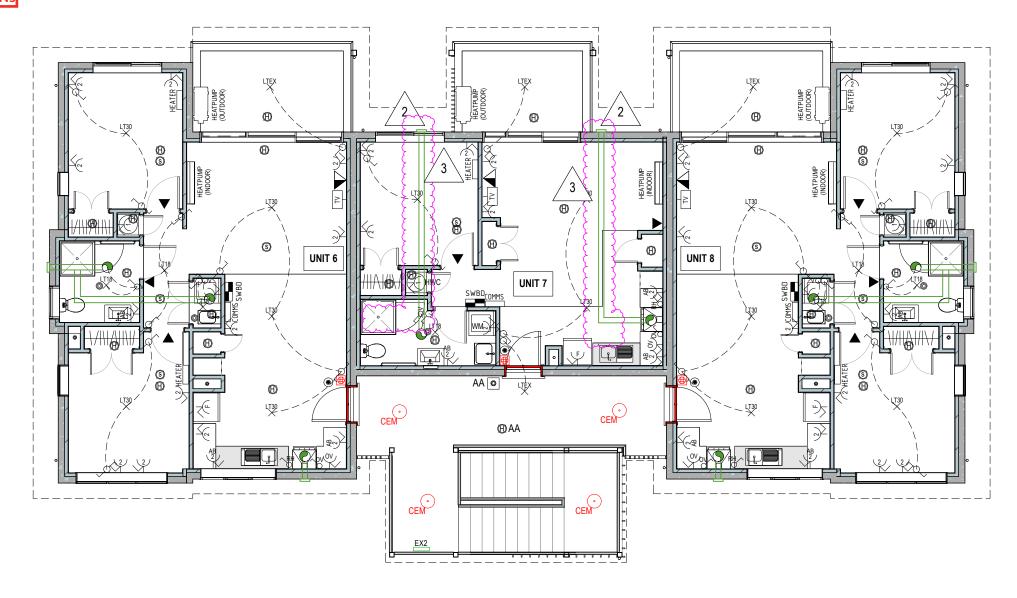
7701_4.5

(7701<u>4.5</u>)

7701_4.2) SWITCH BOARD

7701 4.3) TEL. HUB

7701 4.3 COMMS. BOARD



Young+ Richards+

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DOMINION

8-18 EDMONTON AVENUE

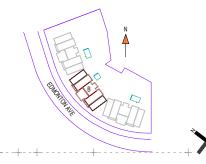
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



DATE	DESCRIPTION	BY	CHKD
20/11/20	BUILDING CONSENT STAGE 3	YR	YR
11/12/20	BC3 CONSENTIUM RFI	YR	YR
16/12/20	BC3 RFI	YR	YR
	20/11/20 11/12/20	20/11/20 BUILDING CONSENT STAGE 3 11/12/20 BC3 CONSENTIUM RFI	20/11/20 BUILDING CONSENT STAGE 3 YR 11/12/20 BC3 CONSENTIUM RFI YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETECT TO NZ BUILDING ACT, SECTION 40.

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PROPOSED BLOCK B SECOND FLOOR **DATA & ELECTRICAL PLAN**

PROJECT STATUS

SHEET SIZE

A3=100%

A5-A7752

BC-CONSTRUCTION-STAGE3 SHEET SCALE 1:100

INTERIOR OUTLETS: VO 7701_4.6 DOUBLE (500 AFF) INTERIOR SWITCHES: RH 7701_4.6 RANGE HOOD

(7701 4.6) SINGLE (1100 AFF) INTERIOR SWITCHES: 7701 4.6

7701_4.5 INTERIOR OUTLETS:

7701_4.5

INTERIOR SWITCHES: EXTRACT FAN

TWO WAY (1100 AFF)

INTERIOR SWITCHES:

DOUBLE, ABOVE BENCH

BELOW BENCH (500 AFF)

LT18 7701 4.7 INTERIOR LIGHT FITTINGS 7701 4.11 ELECTRIC APPLIANCES: INTERIOR OUTLETS: DOUBLE $\[\frac{130}{7701} \]$ INTERIOR LIGHT FITTINGS

7701_4.10 ELECTRIC APPLIANCES:

7701_4.12) ELECTRIC APPLIANCES:

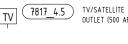
2 &3 BEDROOM UNITS: 353(D)x697(H)x890(W)

1 BEDROOM UNITS: 385(D)x762(H)x920(W)

ELECTRIC HEATER

HEATPUMP OUTDOOR UNIT

7817 4.3 (S) (7701_4.8) SMOKE ALARM LTEX 7701_4.9 EXTERIOR LIGHT FITTINGS





1 BEDROOM UNITS: 230(D)x337(H)x1115(W)

TELE/DATA OUTLET

(500 AFF)



FIRE SPEAKERS

HEAT DETECTOR

APARTMENT MODULE

MANUAL CALL POINT.

ANALOUGE ADDRESSABLE

 \oplus

EDR 🔂 ANALOUGE ADDRESSABLE G. A. C.

EX2

INTERCOM APARTMENT GALLAGHER+ AI PHONE+CCTV

SHEET NOTES

REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01; BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223M³/HR

EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON

TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR

BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT;

ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN

FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE

CONTRACTING LTD, DATED NOVEMBER 2020, SHEET EDMONT-001~003.

REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS

EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD".

TAKES PRECEDENCE FOR FIRE ALARM SYSTEM DESIGN.

SELECTIONS AND FINAL SECURITY DESIGN;

REFER TO FIRE REPORT BY "FIREFORCE".

INTERIOR AND EXTERIOR LED LIGHTS <5W/M2

REXE REQUEST TO EXIT INTERCOM (GT AUDIO ONLY ENTRY

EMERGENCY LIGHTING

EMERGENCY LIGHTING

EMERGENCY LIGHTING

EMERGENCY LIGHTING

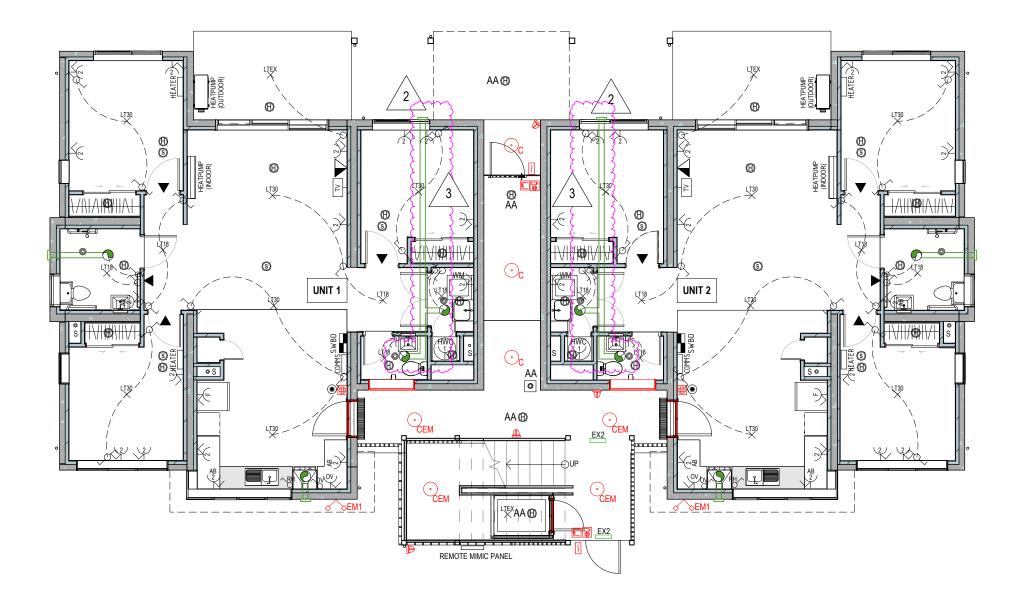
SYSTEM TYPE CEM

SYSTEM TYPE C

SYSTEM TYPE EM1

SYSTEM EXIT SIGN

ACCESS DOOR CCTV CAMERA EMERGENCY DR RELEASE



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DOMINION

8-18 EDMONTON AVENUE

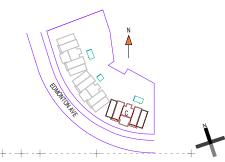
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKI
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YF
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

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PROPOSED BLOCK C GROUND FLOOR **DATA & ELECTRICAL PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100



A5-A7760

COMMS

7701 4.3 COMMS. BOARD 7701_4.5

KEY NOTES & LEGEND

7701_4.1 METER BOX

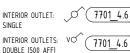
7701 4.2

7701 4.5

7701 4.3) TEL. HUB



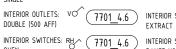
SWITCH BOARD





(7701_4.5)

(7701 4.6)







7701_4.5 INTERIOR OUTLETS:



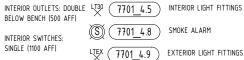
DOUBLE, ABOVE BENCH

BELOW BENCH (500 AFF)

INTERIOR SWITCHES:

SINGLE (1100 AFF)







LT18 7701_4.7 INTERIOR LIGHT FITTINGS 7701_4.11 ELECTRIC APPLIANCES:



1 BEDROOM UNITS: 385(D)x762(H)x920(W)



(500 AFF)

TV/SATELLITE

7817_4.3 TELE/DATA OUTLET

(7817_4.5)







FIRE SPEAKERS

HEAT DETECTOR

APARTMENT MODULE

ACCESS DOOR CCTV CAMERA EMERGENCY DR RELEASE EDR 6 REQUEST TO EXIT INTERCOM (GT AUDIO ONLY ENTRY INTERCOM APARTMENT GALLAGHER+ AI PHONE+CCTV

EMERGENCY LIGHTING

EMERGENCY LIGHTING

EMERGENCY LIGHTING

SYSTEM TYPE EM1

SYSTEM EXIT SIGN

EX2

SYSTEM TYPE C

EMERGENCY LIGHTING SYSTEM TYPE CEM

SHEET NOTES

REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01; BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223M³/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT;

REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS

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COMMS

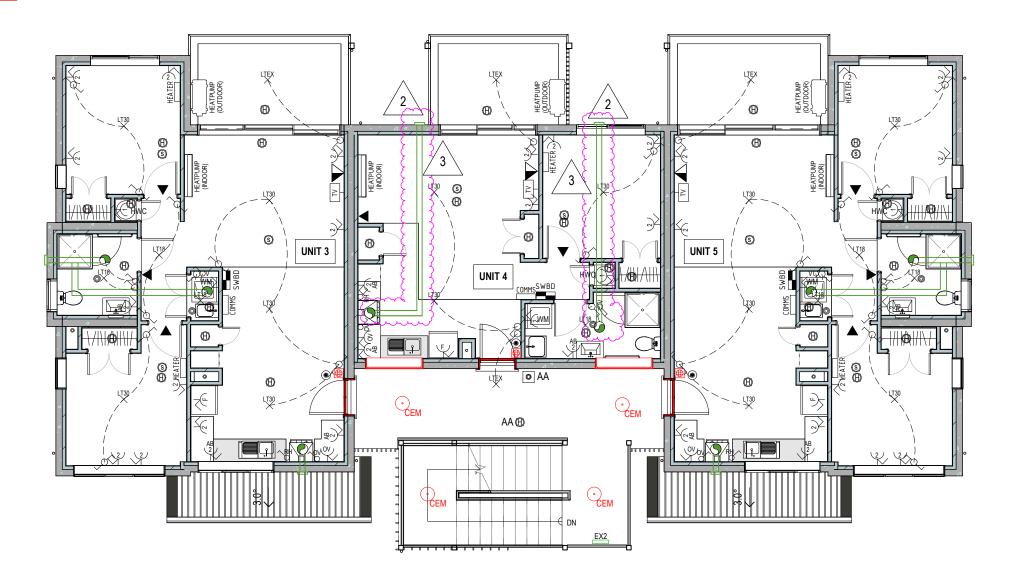
7701 4.3) TEL. HUB

7701_4.5

(7701<u>4.5</u>)

7701_4.3 COMMS. BOARD

DOUBLE (500 AFF)



Young+ Richards+

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DOMINION

8-18 EDMONTON AVENUE

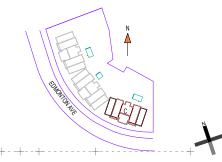
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
3	16/12/20	BC3 RFI	YR	YR

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PROPOSED BLOCK C FIRST FLOOR DATA & ELECTRICAL PLAN

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

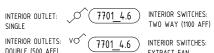
A3=100%

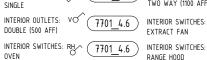
A5-A7761

KEY NOTES & LEGEND 7701_4.5 INTERIOR OUTLETS: 7701_4.1 METER BOX 7701_4.2) SWITCH BOARD

DOUBLE, ABOVE BENCH 7701_4.5 BELOW BENCH (500 AFF) INTERIOR SWITCHES: (7701 4.6)











1 BEDROOM UNITS: 385(D)x762(H)x920(W)









TELE/DATA OUTLET

TV/SATELLITE

(500 AFF)

1 BEDROOM UNITS: 230(D)x337(H)x1115(W)

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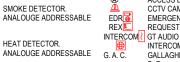
FIRE SPEAKERS

HEAT DETECTOR

APARTMENT MODULE

MANUAL CALL POINT.

ANALOUGE ADDRESSABLE



EX2

ACCESS DOOR CCTV CAMERA EMERGENCY DR RELEASE REXE REQUEST TO EXIT INTERCOM (GT AUDIO ONLY ENTRY INTERCOM APARTMENT GALLAGHER+ AI PHONE+CCTV

EMERGENCY LIGHTING

EMERGENCY LIGHTING

EMERGENCY LIGHTING

EMERGENCY LIGHTING

SYSTEM TYPE CEM

SYSTEM TYPE C

SYSTEM TYPE EM1

SYSTEM EXIT SIGN

SHEET NOTES

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DOMINION

8-18 EDMONTON AVENUE

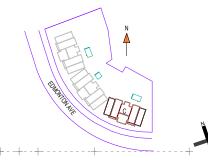
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



DATE	DESCRIPTION	BY	CHKD
20/11/20	BUILDING CONSENT STAGE 3	YR	YR
11/12/20	BC3 CONSENTIUM RFI	YR	YR
16/12/20	BC3 RFI	YR	YR
	20/11/20 11/12/20	20/11/20 BUILDING CONSENT STAGE 3 11/12/20 BC3 CONSENTIUM RFI	20/11/20 BUILDING CONSENT STAGE 3 YR 11/12/20 BC3 CONSENTIUM RFI YR

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PROPOSED BLOCK C SECOND FLOOR **DATA & ELECTRICAL PLAN**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:100

A3=100%

A5-A7762

KEY NOTES & LEGEND 7701_4.1 METER BOX

7701_4.5

(7701<u>4.5</u>)

7701_4.2) SWITCH BOARD

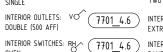


DOUBLE (500 AFF)





7701_4.5





7701_4.5 INTERIOR OUTLETS:

DOUBLE, ABOVE BENCH

BELOW BENCH (500 AFF)

INTERIOR SWITCHES:







1 BEDROOM UNITS: 385(D)x762(H)x920(W)



LT18 7701 4.7 INTERIOR LIGHT FITTINGS 7701 4.11 ELECTRIC APPLIANCES:

7817_4.3

(7817<u>4</u>.5)



TELE/DATA OUTLET

TV/SATELLITE

(500 AFF)



HEAT DETECTOR.

FIRE SPEAKERS





ACCESS DOOR CCTV CAMERA EMERGENCY DR RELEASE REXE REQUEST TO EXIT INTERCOM (GT AUDIO ONLY ENTRY INTERCOM APARTMENT GALLAGHER+ AI PHONE+CCTV

EMERGENCY LIGHTING

EMERGENCY LIGHTING

SYSTEM TYPE CEM

SYSTEM TYPE C

SHEET NOTES

REFER TO DATA AND ELECTRICAL NOTES, SHEET A90.01; BATHROOM / LAUNDRY EXTRACT VENTILATION SYSTEM MIN 223M³/HR EXTRACTION RATE, HAS SEPARATE ISOLATING SWITCH CONTROL ON TIME DELAY AUTO SHUT OFF; CONNECTED TO LIGHT SWITCH FOR

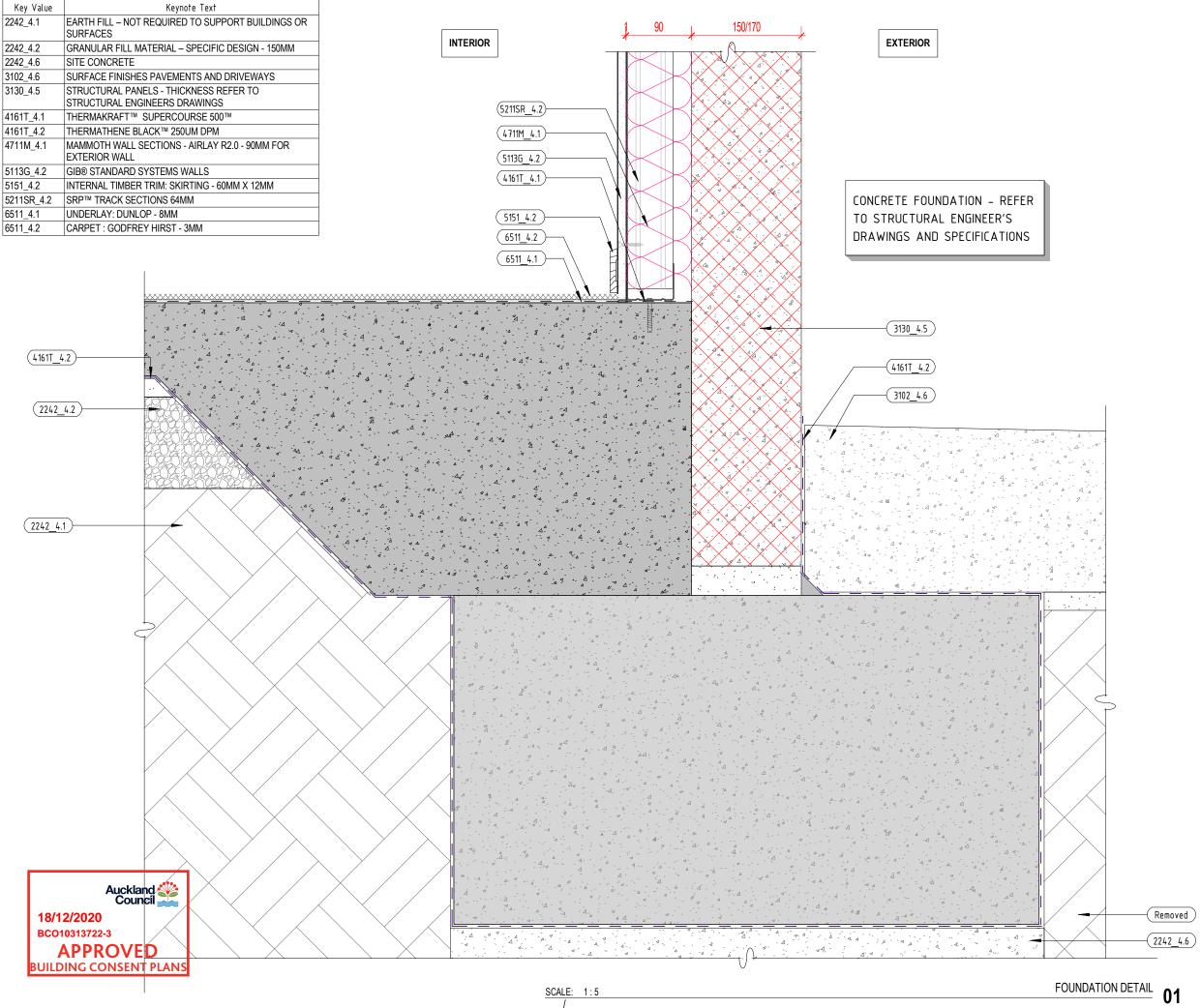
BATHROOM / PROVIDE SEPARATE SWITCH FOR LAUNDRY EXTRACT; REFER TO VENTUER LIMITED FOR ELECTRICAL COMPONENTS

SELECTIONS AND FINAL SECURITY DESIGN; EMERGENCY LIGHTING SYSTEM REFER TO "J.A. RUSSELL LTD".

INTERIOR AND EXTERIOR LED LIGHTS <5W/M2 REFER TO FIRE REPORT BY "FIREFORCE".

ALL TYPE 5 FIRE ALARM SYSTEM COMPONENTS HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY. DRAWINGS BY AFS TOTAL FIRE CONTRACTING LTD, DATED NOVEMBER 2020, SHEET EDMONT-001~003. TAKES PRECEDENCE FOR FIRE ALARM SYSTEM DESIGN.

COMMS



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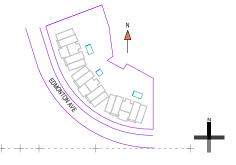
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK, REFER TO NZ BUILDING ACT, SECTION 17.

 BUILDINGS NOT TO BE CONSTRUCTED AL TERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDINGS ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT. BOTALL PROPERTY OF A PROPOVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDINGS ACT, SECTION 14E.

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 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

DETAILS - FOUNDATION

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5



18/12/2020
BCO10313722-3
APPROVED
BUILDING CONSENT PLANS

Auckland 👑

Key Value Keynote Text 2242_4.1 EARTH FILL - NOT REQUIRED TO SUPPORT BUILDINGS OR SURFACES 4161T_4.2 THERMATHENE BLACK™ 250UM DPM 4711M_4.1 MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL 5113G_4.2 GIB® STANDARD SYSTEMS WALLS 5211SR_4.2 SRP™ TRACK SECTIONS 64MM 6511_4.2 CARPET: GODFREY HIRST - 3MM

INTERIOR **EXTERIOR** CONCRETE FOUNDATION - REFER TO STRUCTURAL ENGINEER'S 5113G_4.2 DRAWINGS AND SPECIFICATIONS (4711M 4.1 5113G_4.2 5211SR_4.2 (4161T_4.2) (Removed) 6511_4.2 2242_4.1 (4161T 4.2)

SCALE: 1:10

02 / A5-A4270

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8-18 EDMONTON AVENUE

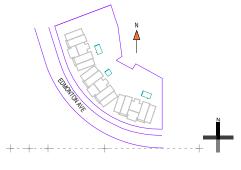
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CH
1	20/11/20	BUILDING CONSENT STAGE 3	YR	Y

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
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SHEET NAME

DETAILS - FOUNDATION

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

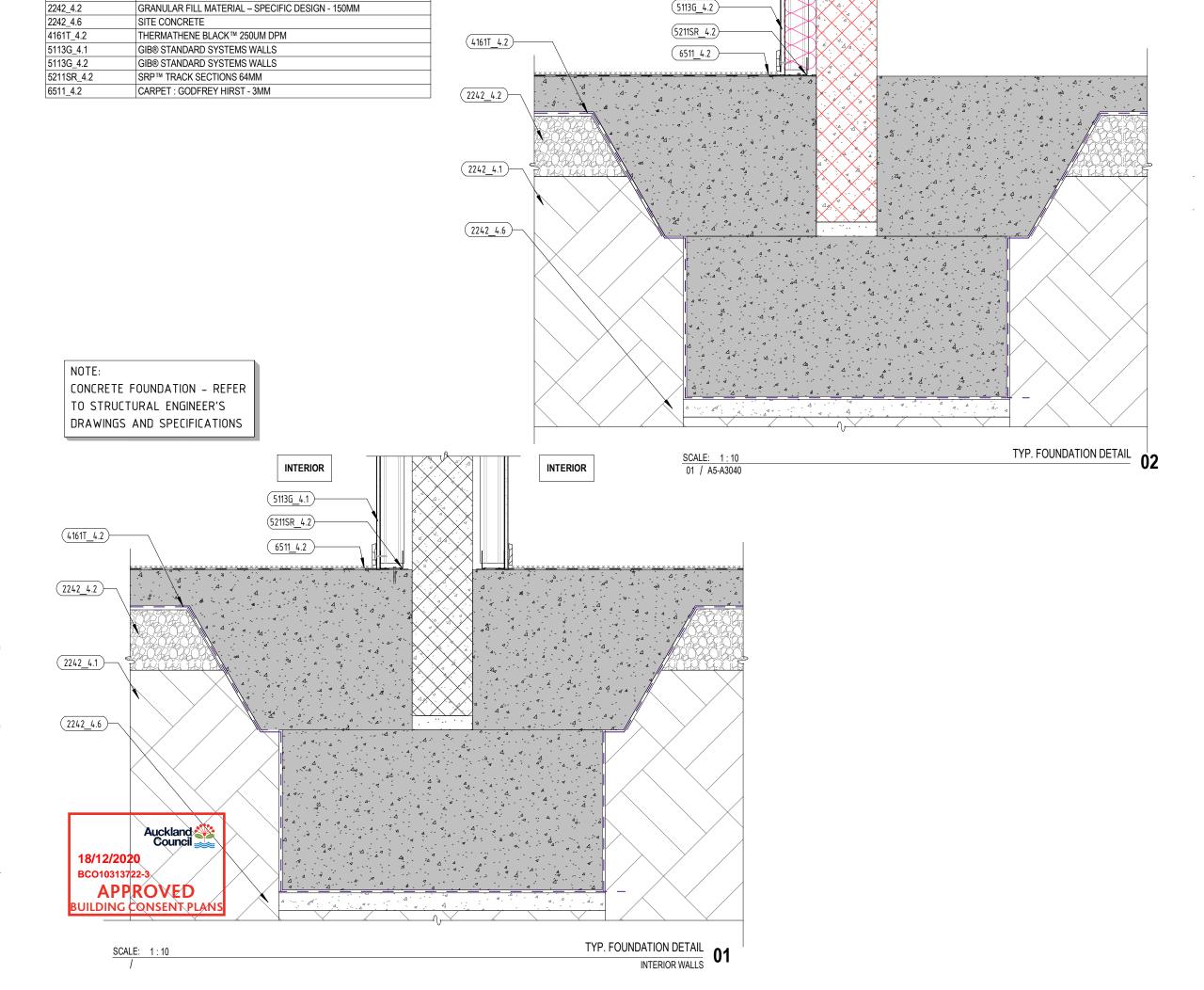
1:10

Key Value

2242_4.1

Keynote Text

EARTH FILL - NOT REQUIRED TO SUPPORT BUILDINGS OR SURFACES



INTERIOR

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EXTERIOR

DOMINION

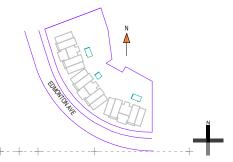
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKI
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

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SHEET NAME

DETAILS - FOUNDATION

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:10

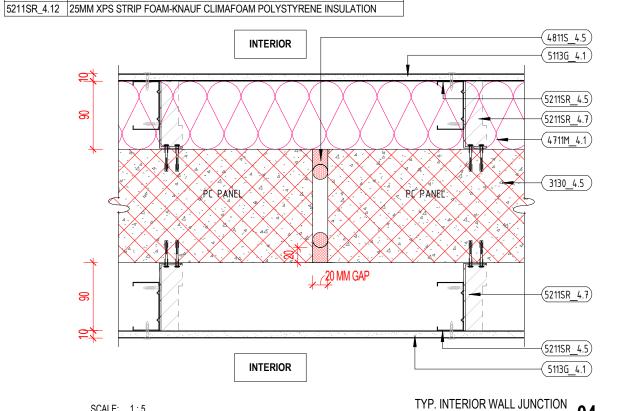


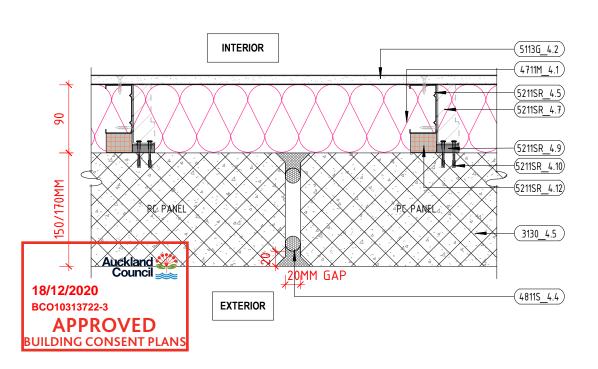
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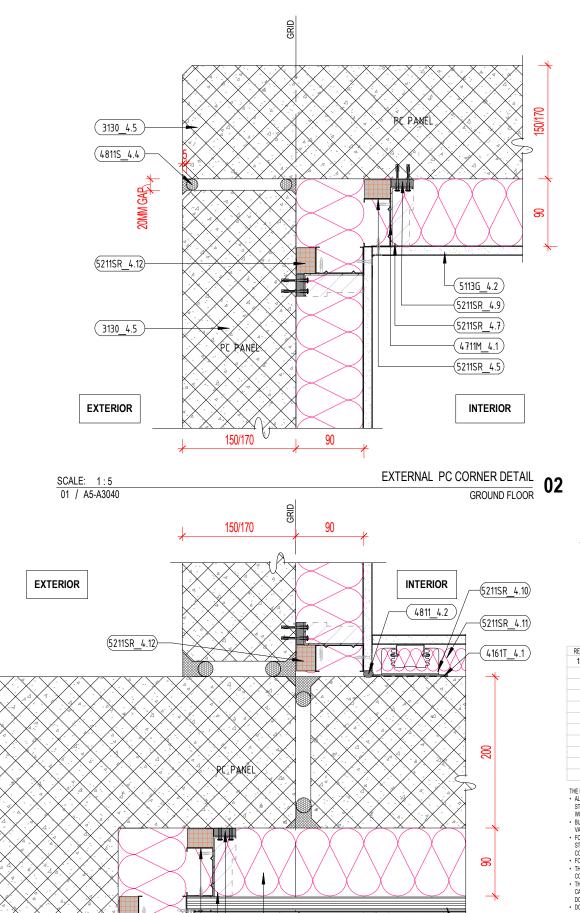
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Key Value	Keynote Text
3130_4.5	STRUCTURAL PANELS - THICKNESS REFER TO STRUCTURAL ENGINEERS DRAWINGS
3821_4.13	17MM H3.2 PLYWOOD BEHIND LINING FOR FIXTURE FIXING
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4811_4.2	JOINTING SEALANT, INTERNAL
4811S_4.4	SIKAFLEX® CONSTRUCTION AP - WEATHER AND AIR SEAL
4811S_4.5	SIKAFLEX® - 400 FIRE - WEATHER AND AIR SEAL
5113G_4.1	GIB® STANDARD SYSTEMS WALLS
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5211SR_4.5	SRP™ STUD SECTIONS 64MM, CRS 600MM MAX.
5211SR_4.7	SRP EXTENDED STRAPPING BRACKET
5211SR_4.9	THERMAL BREAKER 10MM, THERMAX B
5211SR_4.10	SRP ADJ CLIP/WALL BRACKET WITH 16MM FURRING CHANNEL
5211SR_4.11	INSULATION-KNAUF RIGID POLYSTYRENE BOARD







-(5113G_4.2)

4711M 4.1

(5211SR 4.9)

5211SR 4.7)

(5211SR 4.5)

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8-18 EDMONTON AVENUE

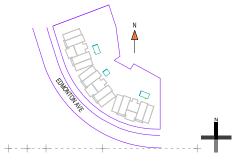
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHŁ
1	20/11/20	BUILDING CONSENT STAGE 3	YR	Y

- THE FINE PRINT

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SHEET NAME

3821_4.13

GROUND FLOOR

ACC

BATHROOM

EXTERNAL PC JUCTION DETAIL

DETAILS - EXTERIOR WALLS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

SHEET SIZE

SCALE: 1:5

TYP. VERTICAL CONTROL JOINT DETAIL 01

PCRANEK

SCALE: 1:5

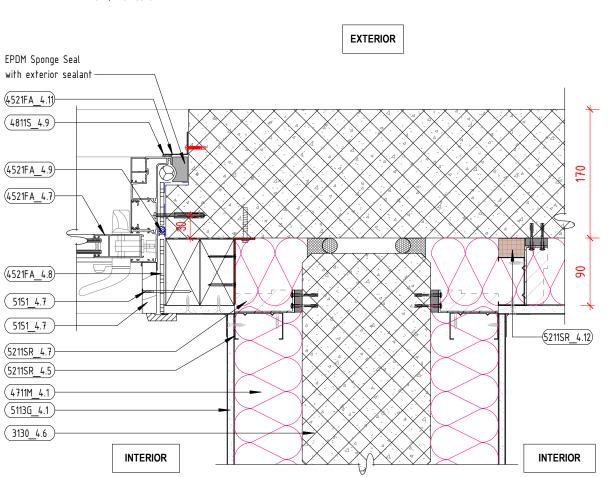
01 / A5-A3040

90

170

SCALE: 1:5 01 / A5-A3040

TYP. INTERIOR WALL TO EXT. PC PANEL DETAIL 02 02



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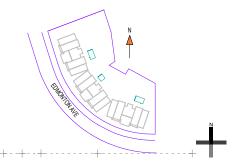
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKE
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK FER TO NZ BUILDING ACT, SECTION 40.

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DETAILS - EXTERIOR WALLS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

A5-D3101

SCALE: 1:5 01 / A5-A3040

18/12/2020

BCO10313722-3

APPROVED BUILDING CONSENT PLANS

Auckland 👑

Council

INTERNAL CORNER DETAIL 02

3130_4.5

4521FA_4.11

(4811S 4.9)

5151 4.7

(4521FA_4.9)

5151 4.1

(5113G_4.2)

(4711M 4.1)

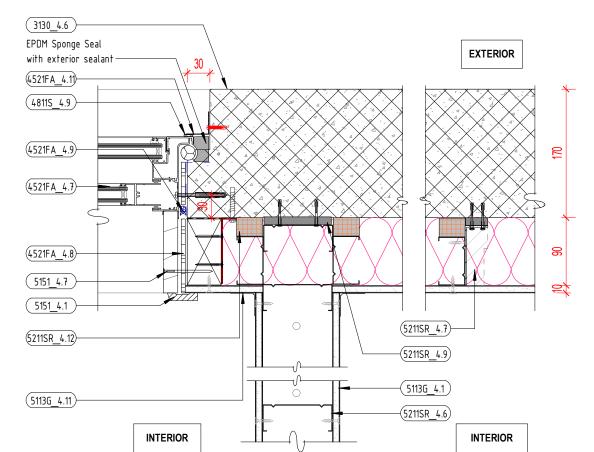
EXTERIOR

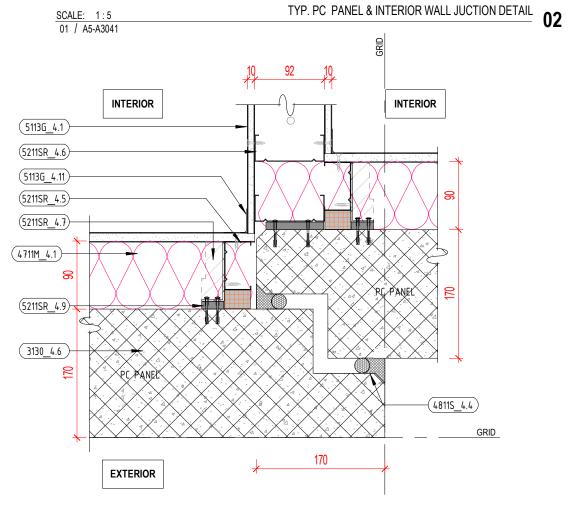
INTERIOR

PE PANEL

SCALE: 1:5 01 / A5-A3040

TYP. INTERIOR WALL TO EXT. PC PANEL DETAIL





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DOMINION

8-18 EDMONTON AVENUE

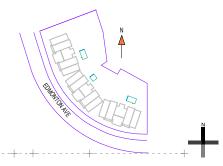
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKE
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANDES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETER TO NZ BUILDING ACT, SECTION 40.

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DETAILS - EXTERIOR WALLS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

A5-D3102

TYP. EXTERNAL PC CORNER DETAIL SCALE: 1:5 2DN FLOOR 01 / A5-A3042

SCALE: 1:5 01 / A5-A3041

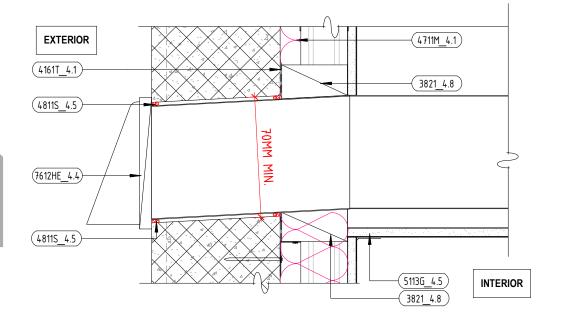
TYP. EXTERNAL PC JUCTION DETAIL GROUND FLOOR

Keynote Text
NTERIOR FRAMING PACKERS - H1.2
THERMAKRAFT™ SUPERCOURSE 500™
MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR NALL
BEAD OF SEALANT, FIX ALL 220LM MS POLYMER
SIKAFLEX® - 400 FIRE - WEATHER AND AIR SEAL
GIB® STANDARD SYSTEMS CEILINGS
SRP™ TRACK SECTIONS 64MM
THERMAL BREAKER 10MM, THERMAX B
CEILING BATTEN SYSTEM - SUSPENSION - TOP CROSS RAIL SYSTEM
JNDERLAY: DUNLOP - 8MM
CARPET : GODFREY HIRST - 3MM
HOMETECH™ WALL MOUNTED FAN, DUCTED THROUGH EXTERIOR WALL

Auckland ******Council

18/12/2020

NOTE: FIRE COLLARS REQUIRED WHERE PENETRATION OCCURS WITHIN SPANDREL AREA- REFER TO EXTERIOR ELEVATIONS.

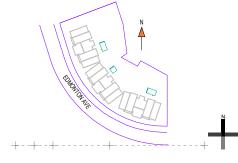


SCALE: 1:5

4161T_4.1

TYP. EXTRACT FAN PENETRATION DETAIL PC PANEL

KEY PLAN



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8-18 EDMONTON AVENUE

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

DOMINION CONSTRUCTORS LTD

PROJECT ADDRESS

PROJECT NUMBER

200003

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REV	DATE	DESCRIPTION
1	20/11/20	BUILDING CONSENT STAGE
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		LY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BU ES. RULES. AND REGULATIONS OF THE TERRITORIAL A
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		ONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED IT. REFER TO NZ BUILDING ACT, SECTION 40.
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		ANT BUILDING CONSENT AUTHORITY AS PART OF AN A DOCUMENTATION TAKES PRECEDENCE.
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		ED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AT AS DETAILED. REPORT OMISSIONS AND CONFLICTS WI
		SIGNER PRIOR TO PERFORMING ANY WORK IN QUESTI

- BUILDING ACT, RELEVANT D WITHOUT AN APPROVED AND

- DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

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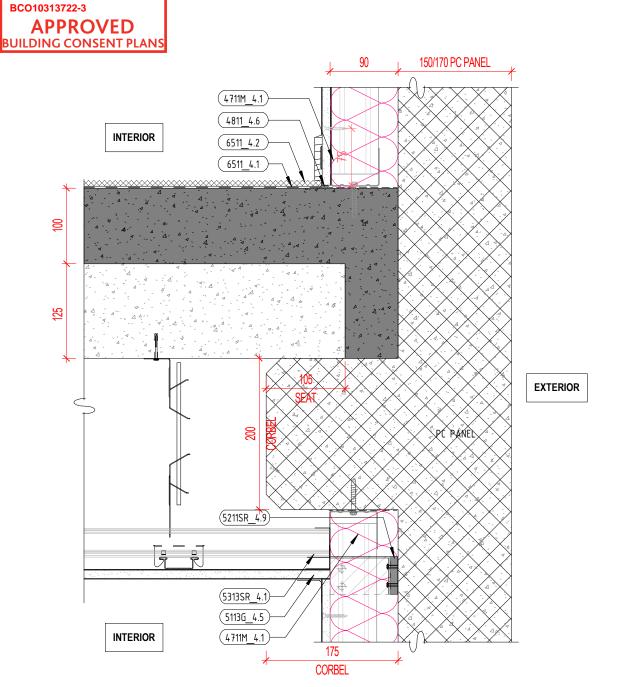
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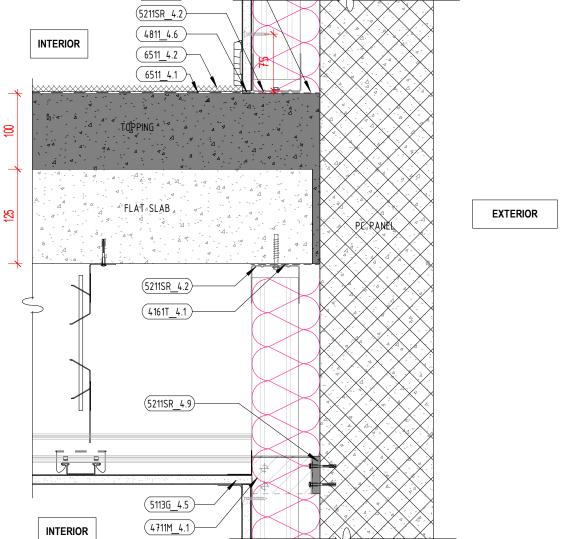
DETAILS - EXTERIOR WALLS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5





CONCRETE SLAB & SIDE PC PANEL JUNCTION DETAIL

SCALE: 1:5 01 / A5-A3042 EXTERIOR WALL TO CONCRETE SLAB JUNCTION DETAIL

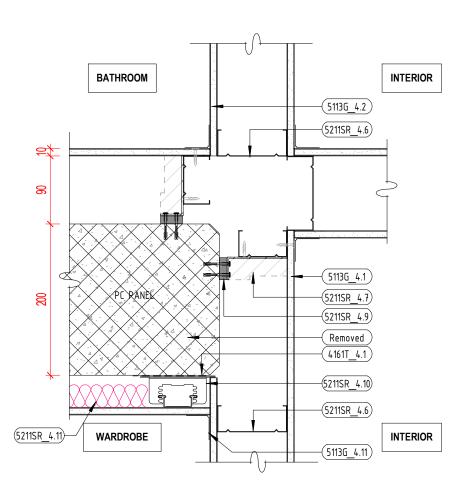
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Key Value	Keynote Text
3130_4.6	CONCRETE COLOUR
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
5113G_4.1	GIB® STANDARD SYSTEMS WALLS
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5113G_4.11	GIB® TAPE ON EDGE OR CORNER TRIMS
5211SR_4.5	SRP™ STUD SECTIONS 64MM, CRS 600MM MAX.
5211SR_4.6	SRP™ STUD SECTIONS 92MM, CRS 600MM MAX.
5211SR_4.7	SRP EXTENDED STRAPPING BRACKET
5211SR_4.9	THERMAL BREAKER 10MM, THERMAX B
5211SR_4.10	SRP ADJ CLIP/WALL BRACKET WITH 16MM FURRING CHANNEL
5211SR_4.11	INSULATION-KNAUF RIGID POLYSTYRENE BOARD



SCALE: 1:5

01 / A5-A3040



INTERIOR -DOOR DETAIL REFER TO D5230 -(5211SR_4.5) -(5113G_4.1) (5211SR_4.9) (5211SR_4.10) (5211SR_4.7) INTERIOR (3130_4.6) 170 90

TYP. INTERNAL CORNER DETAIL PC PANELS 01

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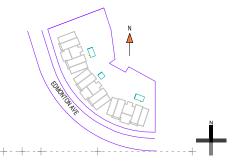
PROJECT ADDRESS

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PROJECT NUMBER

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KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKI
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
 STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE
 WORK. REFER TO AZ BUILDING ACT, SECTION 17.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND
 VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.
 FOR ALL RESTRICTED BUILDING WORK, (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS
 STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING
 CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.

 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND
 CONSULT ANTS DOCUMENTATION. DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK
 CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFILITS WITHIN THE CONSENTED
 DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - INTERIOR WALLS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

SHEET SIZE A3=100%

A5-D3110

TYP. INTERNAL CORNER DETAIL PC PANELS 02

SHEET NOTES

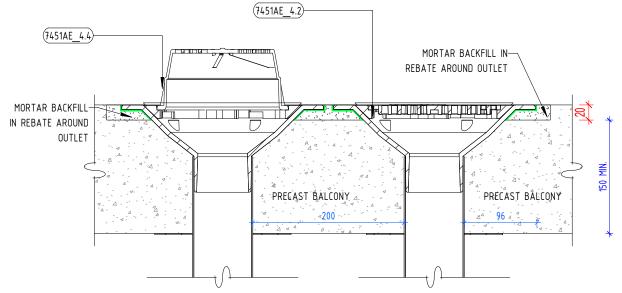
- CONCRETE FOUNDATIONS REFER TO STRUCTURAL ENGINEERS DOCUMENTATIONS.
- STRUCTURE REFER TO DOCUMENTATION BY STRUCTURAL ENGINEER & FIRE CONSULTANT
- STEEL STRUCTURE APPLY INTUMESCENT **PAINT** - REFER TO NOTES ON STRUCTURAL

NOTE:

FOR WATERPROOFING MEMBRANE MINIMUM 10MM RADIUS TO ALL EXTERNAL CORNERS.

PRECAST CONCRETE WALLS TO BE WATERPROOFED & FINISHED IN ACCORDANCE WITH CCHNZ CP 01:2004.

FIRE RATED PIPE LAGGING AND FIRE COLLARS. REFER TO FIRE REPORT & PASSIVE FIRE INSTALLERS DOCUMENTATION.



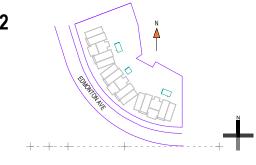
SCALE: 1:5

SCALE: 1:5

01 / A5-A3042

TYP. BALCONY & SLIDING DOOR SILL DETAIL

TYP. DRAINAGE OUTLET DETAIL 04



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4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444

8-18 EDMONTON AVENUE

8-18 EDMONTON AVENUE,

ONEHUNGA, AUCKLAND 1061

DOMINION

PROJECT ADDRESS

200003 KEY PLAN

REV	DATE	DESCRIPTION	BY	CHK
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YF

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETECT TO NZ BUILDING ACT, SECTION 40.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. CONSTRUCTION LINESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT CONSENTED DOLUMENTATION TAKES PRECEDENCE.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 148.

 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULT AUTHORITY.

 THE BUILDERS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

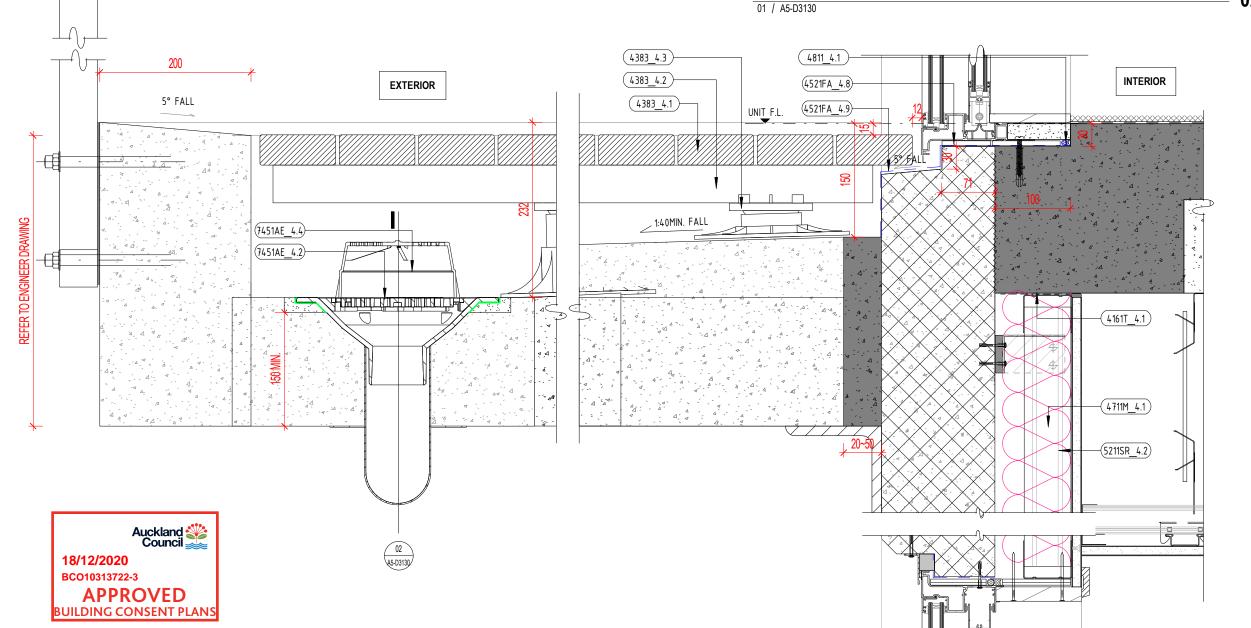
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

DETAILS - PRECAST BALCONY

PROJECT STATUS

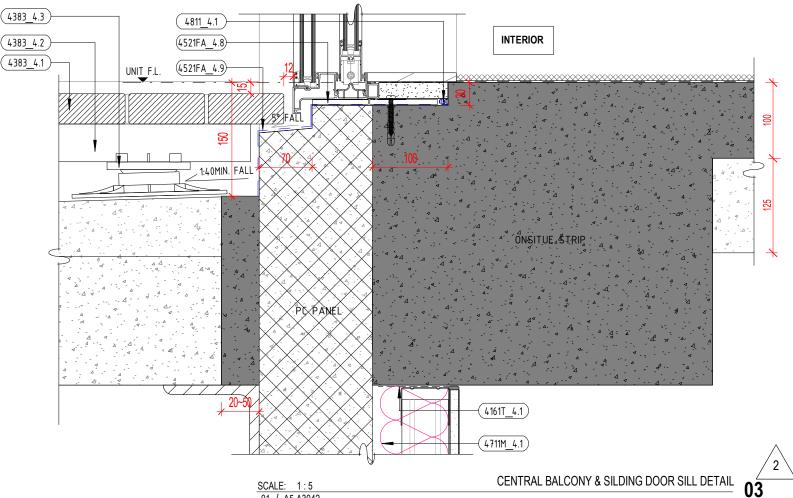
BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5



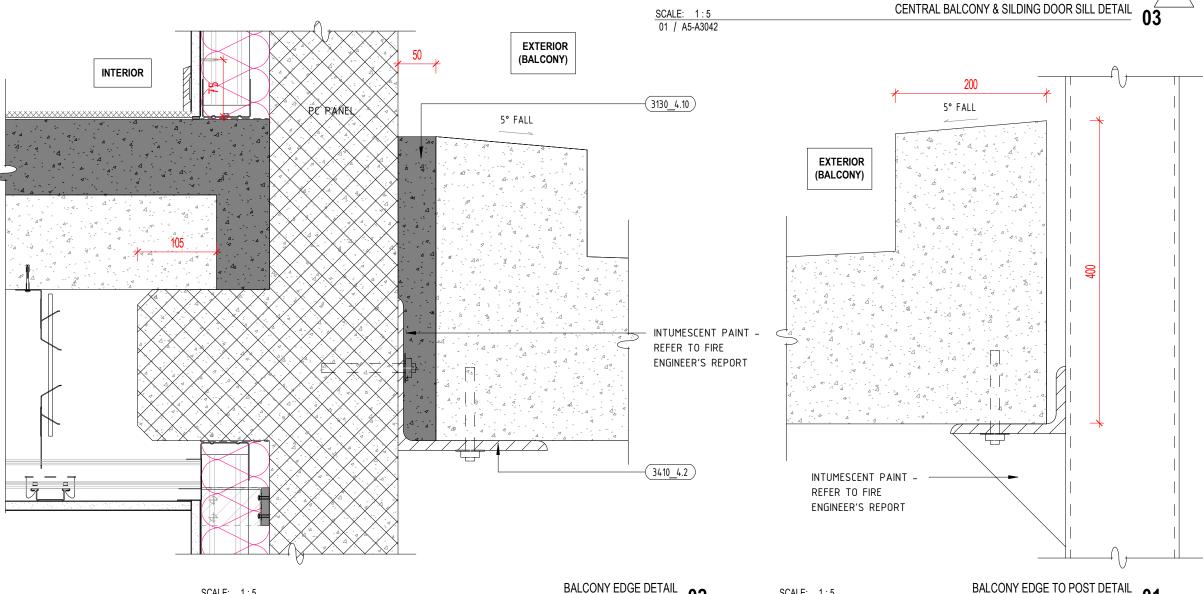
01 / A5-A2341





SCALE: 1:5

01 / A5-A2341



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DOMINION

8-18 EDMONTON AVENUE

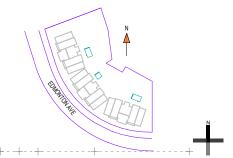
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CH
1	20/11/20	BUILDING CONSENT STAGE 3	YR	Υ
2	11/12/20	BC3 CONSENTIUM RFI	YR	Υ

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REQULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK, REFER TO NZ BUILDING ACT, SECTION 17.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK, (RBW) THIS DRAWNIS IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.

 THIS DRAWING SHALL BE READ IN COMJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTATION.

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 DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN, IN CASE OF CONFLICT, CONSULT THE DESIGNER.

DETAILS - PRECAST BALCONY

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

BALCONY EDGE TO POST DETAIL

Keynote Text

6614GE_4.1 | GILT EDGE - GILTGRIP ECOGLO EGRP1 ALUMINIUM STAIR NOSING - SINGLE INSERT



TYP. METAL BALUSTRADE HANDRAIL SCALE: 1:5

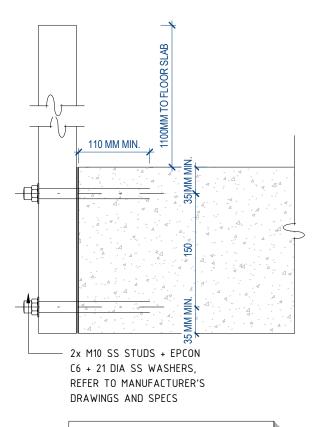
IMPORTANT NOTES:

A DESIGN ENGINEER MUST ENSURE THE STRUCTURE CAN SUPPORT THE APPROPRIATE LOADINGING AT EACH POST

03 / A5-D4272

- ALL FIXINGS MUST ENGAGE INTO THE STRUCTURAL SLAB
- AN EPDM, RUBBER OR FOAM TAPE LAYER MUST BE INSTALLED BETWEEN THE GUTTER BRACKET AND CONCRETE
- ALL FIXINGS MUST BE STAINLESS STEEL

PRECAST CONCRETE WALLS TO BE WATERPROOFED & FINISHED IN ACCORDANCE WITH CCHNZ CP 01:2004

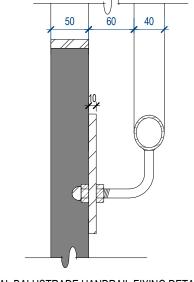


REFER TO MANUFACTURER'S DRAWINGS AND SPECIFICATIONS

SHEET NOTES

- CONCRETE FOUNDATIONS REFER TO STRUCTURAL ENGINEERS DOCUMENTATIONS.
- STRUCTURE REFER TO DOCUMENTATION BY STRUCTURAL ENGINEER & FIRE CONSULTANT
- STEEL STRUCTURE APPLY INTUMESCENT PAINT - REFER TO NOTES ON STRUCTURAL DRAWINGS.

PRECAST CONCRETE WALLS TO BE WATERPROOFED & FINISHED IN ACCORDANCE WITH CCHNZ CP 01:2004



TYP. METAL BALUSTRADE HANDRAIL FIXING DETAIL SCALE: 1:5 OPTIONAL 01 / A5-D4271

310

290

STAIR BALUSTRADE & HANDRAIL DETAIL

MAX 100

Ø150 MAX.

150

_03

DIA. LESS

THAN 150

SCALE: 1:10

•

EQEQ

REFER TO MANUFACTURER'S

FOR INSTALLATION

DRAWINGS AND SPECIFICATIONS

02

A5-D427

HANDRAIL

(6614GE_4.1)

PROJECT NUMBER 200003



4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444

8-18 EDMONTON AVENUE

8-18 EDMONTON AVENUE,

ONEHUNGA, AUCKLAND 1061

DOMINION

PROJECT ADDRESS



Young+ Richards+

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR
			_	
			_	
			_	-

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANDES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETER TO NZ BUILDING ACT, SECTION 40.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. CONSENTED TO NZ BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK, (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT ACTORNATION TO A TERRE PRECEDENCE.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.

 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANTS DOCUMENTATION.

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 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFILCT, CONSULT THE DESIGNER.

SHEET NAME **DETAILS - BALUSTRADE**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE As indicated

A3=100%

TYP. METAL BALUSTRADE & FIXING DETAIL (BREEZEWAYS) 01 / A5-D4271

02 A5-D4272

100

000

Ø150 MAX.

SCALE: 1:10

310

290

02

A4-D4272

DIA. LESS

THAN 150

STAIR BALUSTRADE & HANDRAIL DETAIL - SIDE SIDE BALUSTRADE

REFER TO MANUFACTURER'S

04

A5-D4271

FOR INSTALLATION

DRAWINGS AND SPECIFICATIONS

HANDRAIL

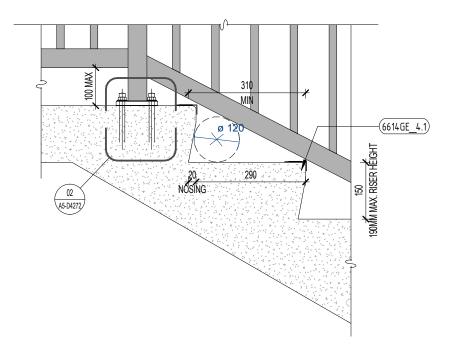
-(6614GE 4.1)

IMPORTANT NOTES:

- A DESIGN ENGINEER MUST ENSURE THE STRUCTURE CAN SUPPORT THE APPROPRIATE LOADINGING AT EACH POST
- ALL FIXINGS MUST ENGAGE INTO THE STRUCTURAL SLAB
- AN EPDM, RUBBER OR FOAM TAPE LAYER MUST BE INSTALLED BETWEEN THE GUTTER BRACKET AND CONCRETE
- ALL FIXINGS MUST BE STAINLESS STEEL

BALUSTRADE POST-BASEPLATE. REFER TO 35 MANUFACTURER'S DOCUMENTATION & SPECS FOR FIXING 4X M10 X 90 CHEMSET ANCHORS, STAINLESS STEEL + CHEMSET CAPSULE (35MM MIN TO EDGE), REFER TO MANUFACTURER'S DRAWINGS AND SPECS Δ \triangleleft 1 4X M10 X 90 CHEMSET ANCHORS, STAINLESS STEEL + CHEMSET CAPSULE (35MM MIN TO EDGE), REFER TO MANUFACTURER'S DRAWINGS AND SPECS EPDM OR FOAM TAPE — REFER TO MANUFACTURER'S DRAWINGS AND SPECIFICATIONS





STAIR MID-BALUSTRADE

Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444



DOMINION

8-18 EDMONTON AVENUE

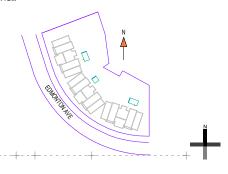
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



BUILDING CONSENT STAGE 3 YR 20/11/20 11/12/20 BC3 CONSENTIUM RFI

- THE FINE PRINT

 1. ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO AZ BUILDING ACT, SECTION 10.

 1. BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALOD BUILDING CONSENT. REFER TO AZ BUILDING ACT, SECTION 40.

 1. FOR ALL RESTRICTED BUILDING WORK, RBBY THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT ACTIONS THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT ADDRESSED AND AVERDARD AND A

DETAILS - BALUSTRADE

PROJECT STATUS

SHEET NAME

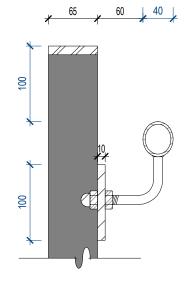
BC-CONSTRUCTION-STAGE3

SHEET SCALE As indicated

A5-D4272

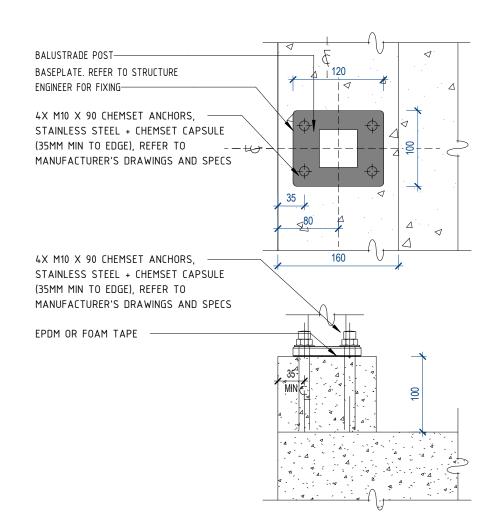
SCALE: 1:10 BREEZEWAY & STAIR CENTRE 02 / A5-A5042

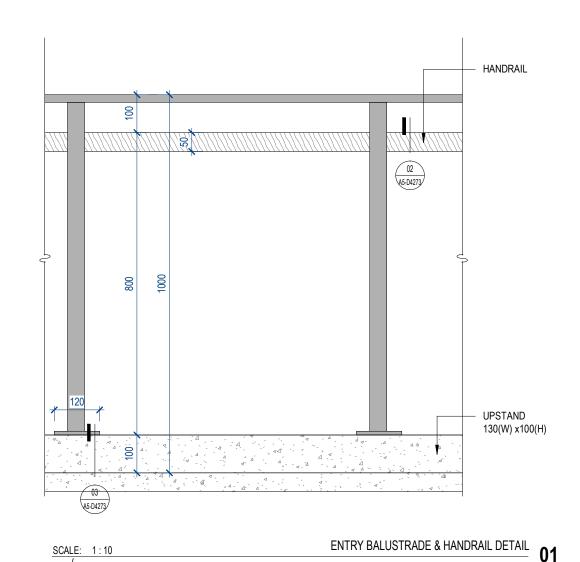




METAL HANDRAIL TO BALUSTRADE SCALE: 1:5 01 / A5-D4273

> REFER TO MANUFACTURER'S DRAWINGS AND SPECIFICATIONS FOR INSTALLATION





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DOMINION

8-18 EDMONTON AVENUE

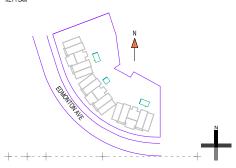
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
				-

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
 STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE
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 STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING
 CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.

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 CONSULTANTS DOCUMENTATION.

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 CAM BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFICITS WITHIN THE CONSENTED
 DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

DETAILS - ENTRY BALUSTRADE

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE As indicated

A3=100%

A5-D4273

ENTRY BALUSTRADE TOP FIXING DETAIL

01 / A5-A4240

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FALL 170

TYP. ROOF RIDGE DETAIL 01

Available lengths

400 mm

300 mm

DOMINION

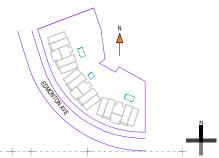
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CH
1	20/11/20	BUILDING CONSENT STAGE 3	YR	Y
2	11/12/20	BC3 CONSENTIUM RFI	YR	Υ

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETECT TO NZ BUILDING ACT, SECTION 40.

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SHEET NAME

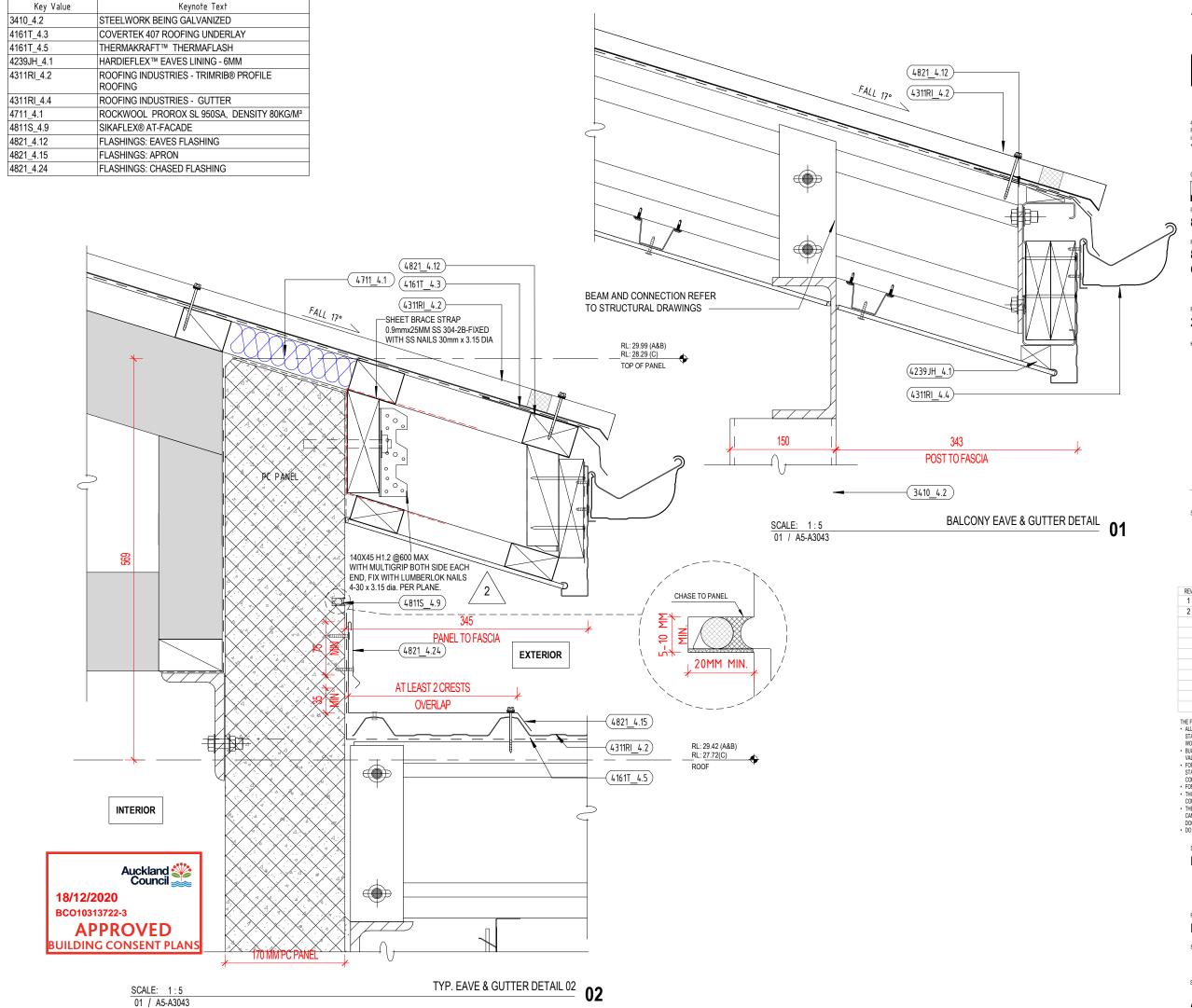
DETAILS - ROOF

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5





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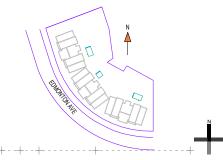
DOMINION CONSTRUCTORS LTD

8-18 EDMONTON AVENUE

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CH
1	20/11/20	BUILDING CONSENT STAGE 3	YR	Y
2	11/12/20	BC3 CONSENTIUM RFI	YR	Υ

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK, REFER TO NZ BUILDING ACT, SECTION 17.

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SHEET NAME

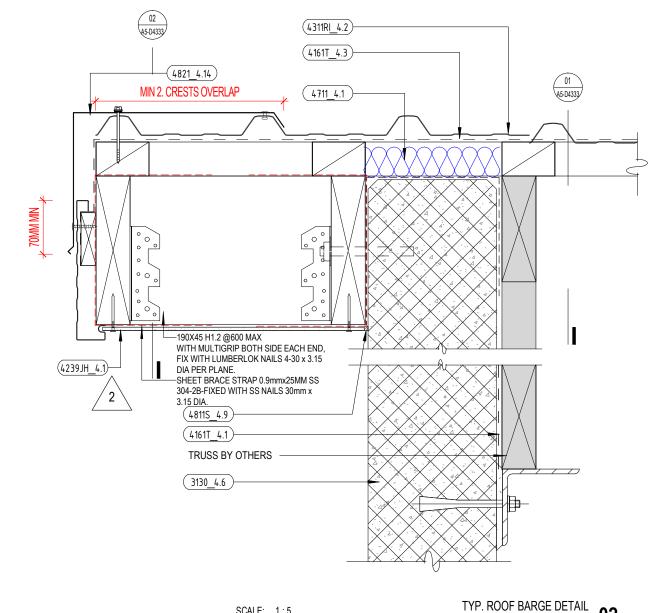
DETAILS - ROOF

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5





SCALE: 1:5

01 / A5-A3063

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DOMINION

8-18 EDMONTON AVENUE

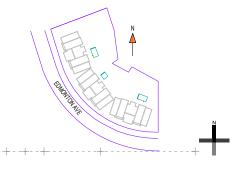
PROJECT ADDRESS

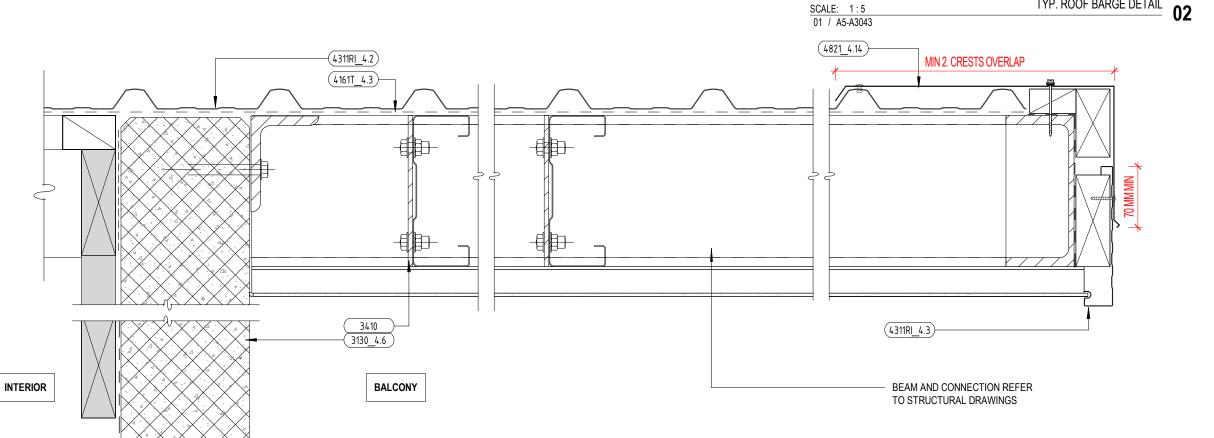
8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN





REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
2	11/12/20	BC3 CONSENTIUM RFI	YR	YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 40.

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SHEET NAME

DETAILS - ROOF

PROJECT STATUS

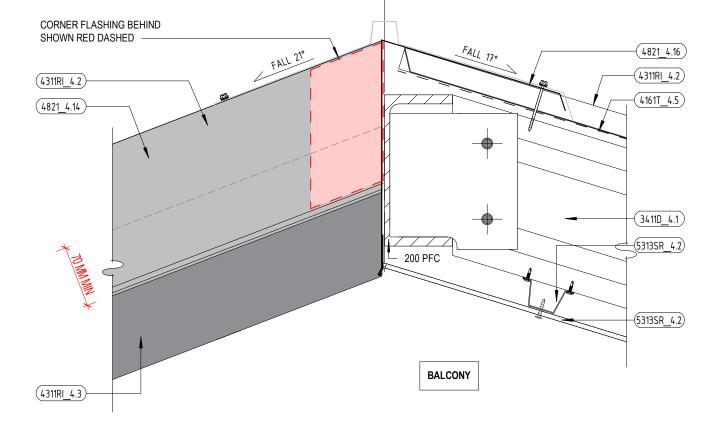
BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

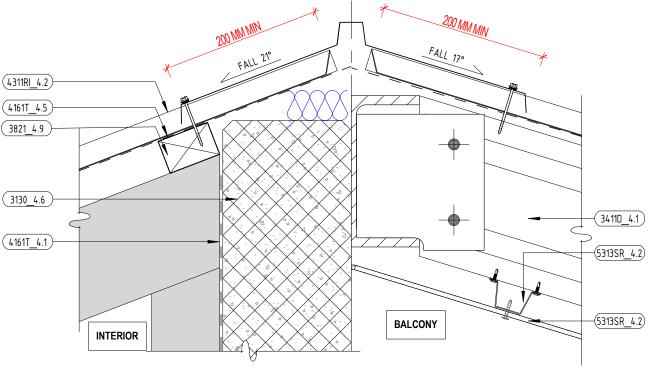
SIDE BALCONY ROOF BARGE DETAIL

SHEET SIZE

LOWER ROOF BARGE DETAIL 03



TYP. ROOF RIDGE DETAIL 04 SCALE: 1:5 02 / A5-D4332



SCALE: 1:5

02 / A5-D4332

TYP. ROOF RIDGE DETAIL 03

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DOMINION

8-18 EDMONTON AVENUE

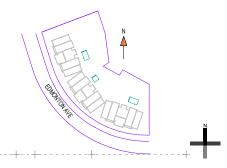
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
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 CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.

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SHEET NAME

DETAILS - ROOF

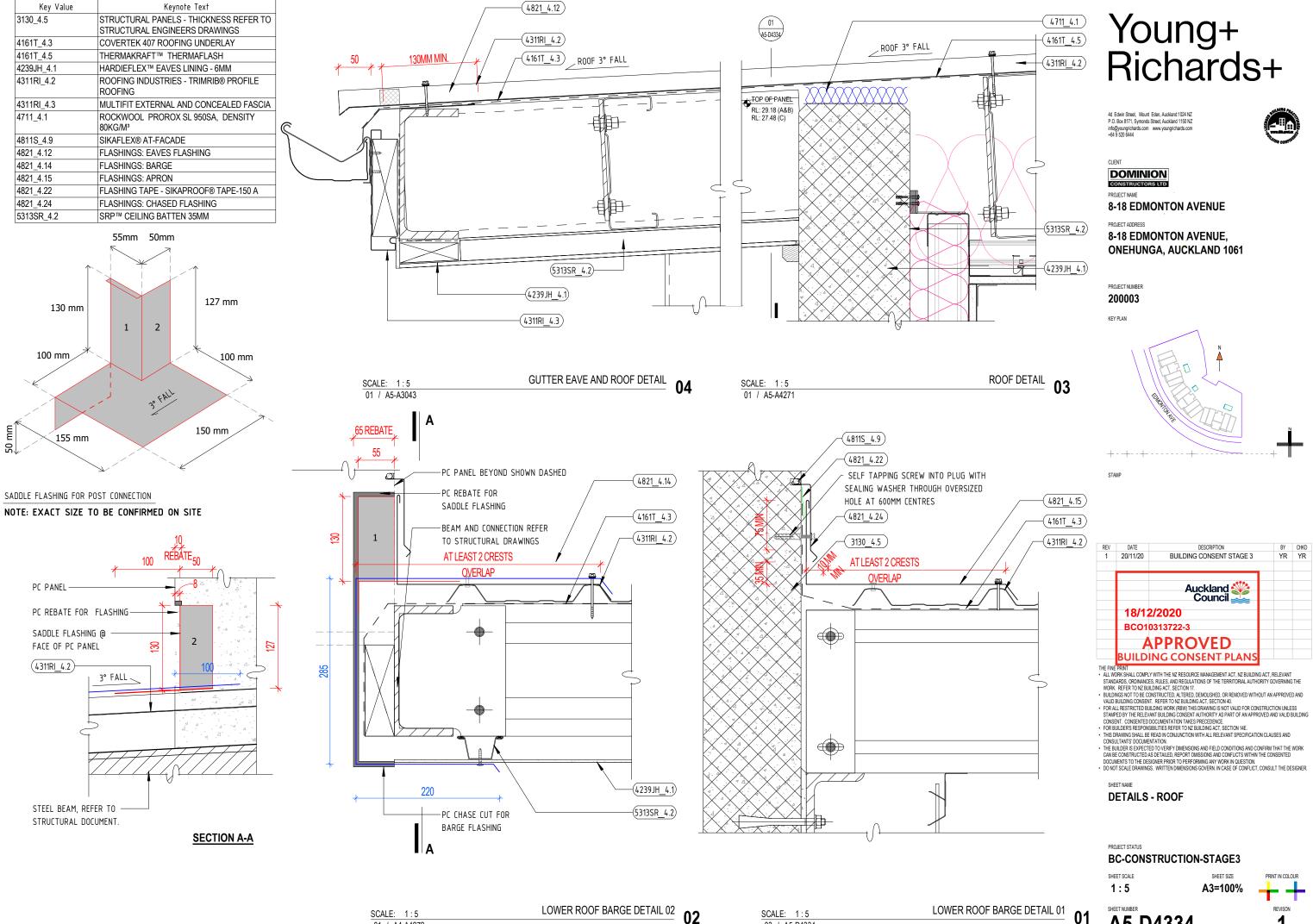
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

SCALE: 1:5

01 / A5-A3043



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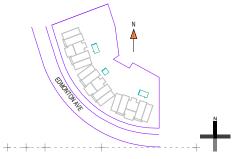


DOMINION

8-18 EDMONTON AVENUE

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003





- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT

DETAILS - ROOF

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

A5-D4334

01 / A4-A4272

Key Value

3130 4.6

3821_4.9

3821 4.10

4161T 4.3

4239JH 4.1

4311RI_4.2

Keynote Text

INTERIOR ROOF PURLINS - 45X 70MM @900 MAX.

CONCRETE COLOUR

RAFTERS - 45X140MM @600 MAX.

COVERTEK 407 ROOFING UNDERLAY

HARDIEFLEX™ EAVES LINING - 6MM ROOFING INDUSTRIES - TRIMRIB® PROFILE

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DOMINION

8-18 EDMONTON AVENUE

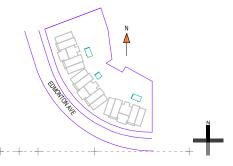
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



BUILDING CONSENT STAGE 3 20/11/20

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANDES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETER TO NZ BUILDING ACT, SECTION 40.

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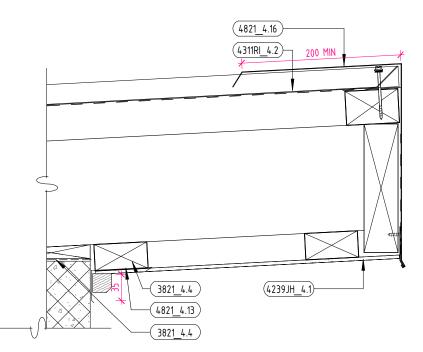
SHEET NAME

DETAILS - ROOF

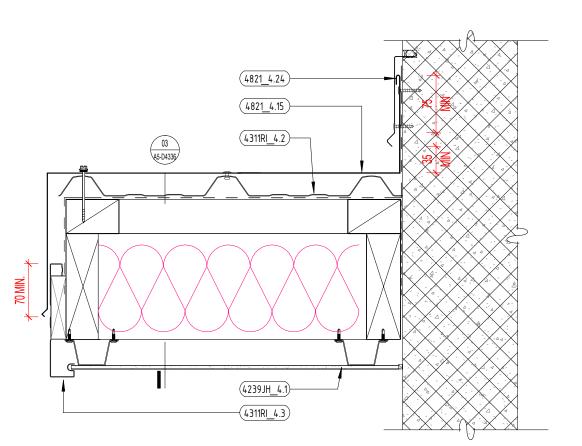
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

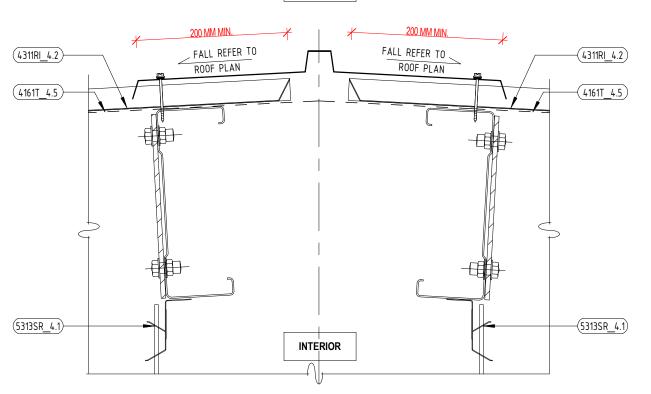
SHEET SCALE 1:5



LOWER ROOF APEX DETAIL 03 SCALE: 1:5 02 / A5-D4336



LOWER ROOF BARGE DETAIL 04 02



EXTERIOR

TYP. ROOF RIDGE DETAIL 02 SCALE: 1:5 01 / A5-A3043



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8-18 EDMONTON AVENUE

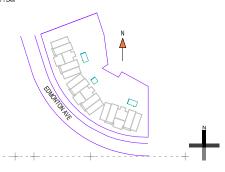
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

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SHEET NAME

DETAILS - ROOF

PROJECT STATUS

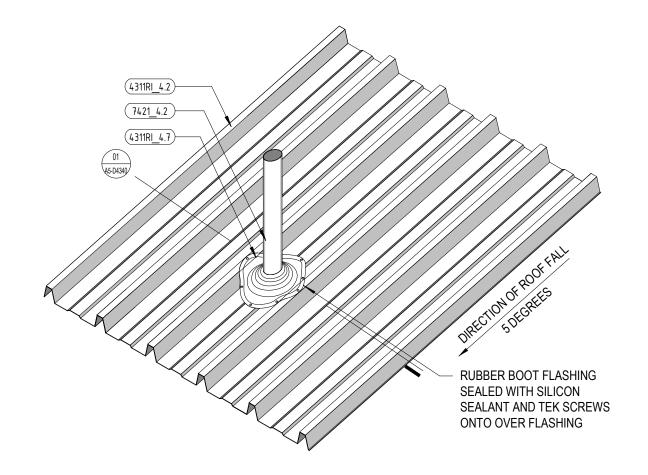
BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

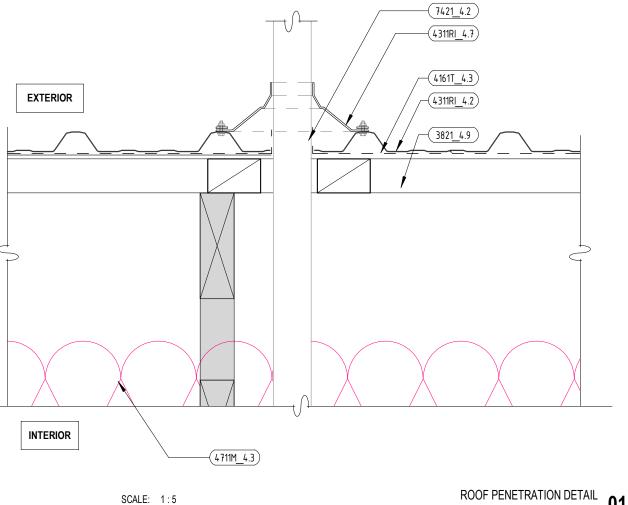
A5-D4336

SCALE: 1:5 01 / A4-D4335

TYP. SOFFIT & FAN EXIT DETAIL



ROOF PENETRATION DETAIL SCALE: 1:10 01 / A5-A3043



02 / A5-D4340

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8-18 EDMONTON AVENUE

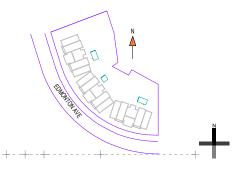
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



BY	CHKD
YR	YR
YR	YR
YR	YR
	YR YR

- THE FINE PRINT

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SHEET NAME

DETAILS - ROOF

PROJECT STATUS

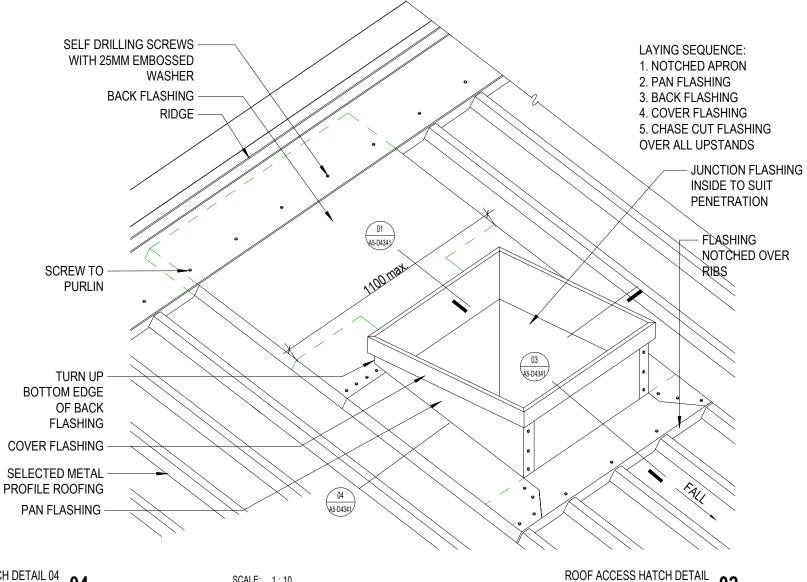
BC-CONSTRUCTION-STAGE3

SHEET SCALE As indicated

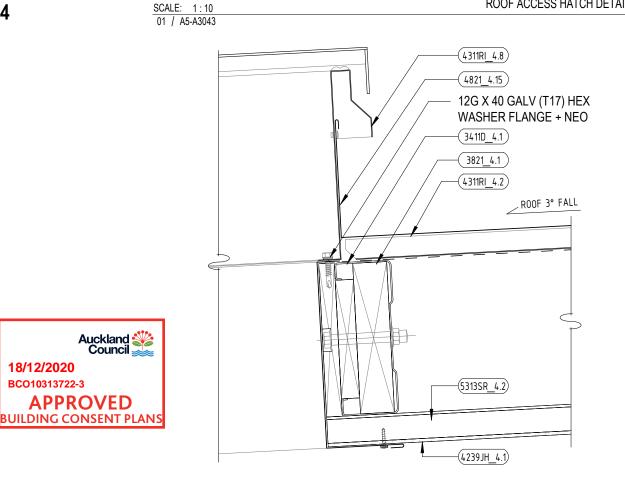
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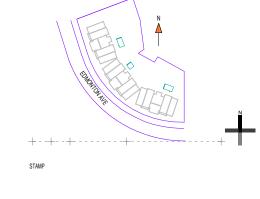
SCALE: 1:5

01 / A5-A3043



ROOF ACCESS HATCH DETAIL 04 (4311RI 4.8) 4821_4.15 12G X 40 GALV (T17) HEX WASHER FLANGE + NEO 3821 4.1 (3411D_4.1) (4311RI 4.2) ROOF 3° FALL (5313SR 4.2)





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8-18 EDMONTON AVENUE

8-18 EDMONTON AVENUE,

ONEHUNGA, AUCKLAND 1061

DOMINION

PROJECT ADDRESS

PROJECT NUMBER 200003 KEY PLAN

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

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SHEET NAME

DETAILS - ROOF

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE As indicated

A5-D4341

SCALE: 1:5 02 / A5-D4341 (4239JH 4.1)

SCALE: 1:5

02 / A5-D4341

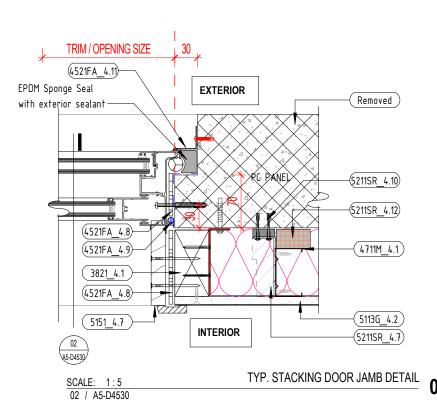
ROOF ACCESS HATCH DETAIL 03

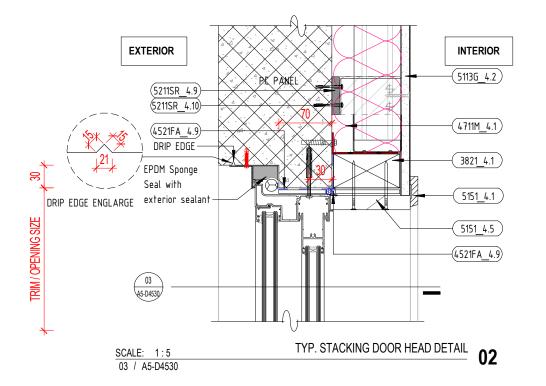
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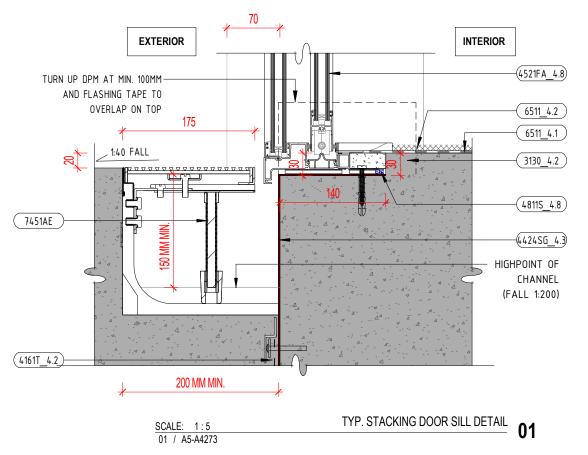
ROOF ACCESS HATCH DETAIL 01

Key Value	Keynote Text
3130_4.2	STRUCTURAL PANELS 125MM - REFER TO STRUCTURAL ENGINEERS DRAWINGS
3821_4.1	INTERIOR FRAMING - NOG H1.2
4161T_4.2	THERMATHENE BLACK™ 250UM DPM
4424SG_4.3	SIKA SARNAFIL G410 L
4521FA_4.8	PLASTIC PACKER
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4521FA_4.11	ALUMINIUM ANGLE 30 X 30MM
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4811S_4.8	SIKAHYFLEX®-250 FACADE- WEATHER AND AIR SEAL
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5151_4.1	INTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM
5151_4.5	INTERNAL TIMBER TRIM: HEAD LINER
5151_4.7	INTERNAL TIMBER TRIM: JAMB LINER
5211SR_4.7	SRP EXTENDED STRAPPING BRACKET
5211SR_4.9	THERMAL BREAKER 10MM, THERMAX B
5211SR_4.10	SRP ADJ CLIP/WALL BRACKET WITH 16MM FURRING CHANNEL
5211SR_4.12	25MM XPS STRIP FOAM-KNAUF CLIMAFOAM POLYSTYRENE INSULATION
6511_4.1	UNDERLAY: DUNLOP - 8MM
6511_4.2	CARPET : GODFREY HIRST - 3MM
7451AE	ALLPROOF EXTERIOR SURFACE DRAINAGE SOLUTIONS









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8-18 EDMONTON AVENUE

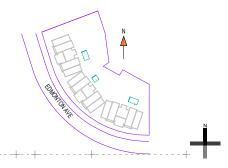
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

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SHEET NAME

DETAILS - EXTERIOR DOORS

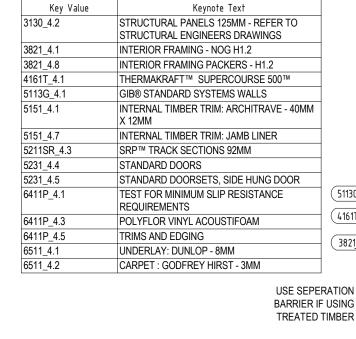
PROJECT STATUS

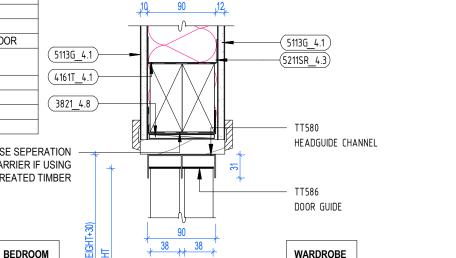
BC-CONSTRUCTION-STAGE3

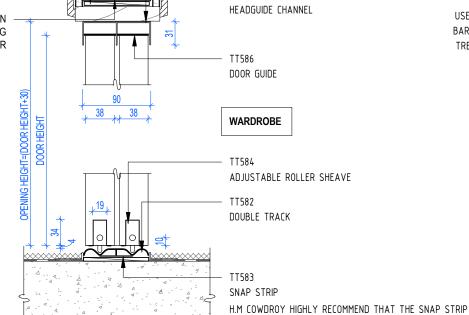
SHEET SCALE 1:5

SHEET SIZE











TYP. INTERNAL TIMBER DOOR HEAD/SILL DETAIL SCALE: 1:5

SCALE: 1:5

3821 4.1

5113G 4.1

3821_4.8

4161T 4.1

BEDROOM

6411P 4.5

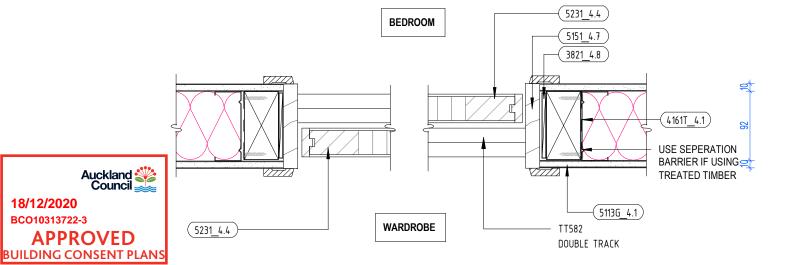
6511_4.2

6511 4.1

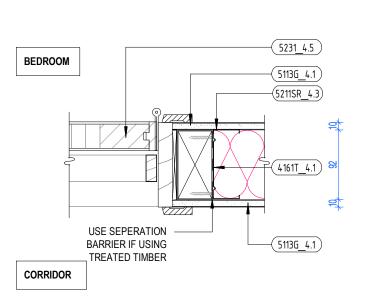
USE SEPARATION

BARRIER IF USING

TREATED TIMBER



SCALE: 1:5



TYP. INTERNAL TIMBER DOOR - JAMB DETAIL

5113G 4.1

4161T 4.1

(5211SR_4.3)

5151_4.1

[5151 4.7]

CORRIDOR

6411P 4.1

6411P 4.3

3130_4.2

* NOTE: TO THE UPPER PARTS

INSTALL REGUPOL ACOUSTIC MATT THROUGHOUT THE FLOOR TO THE GROUND FLOOR ALLOW

FOR 69 KG/M RED UNDERLAY

REQUIRED BY M-255 E.G. 8MM

UNDERNEATH CARPET AS

DUNLOP (6511_4.1)

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8-18 EDMONTON AVENUE

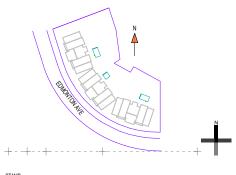
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CH
1	20/11/20	BUILDING CONSENT STAGE 3	YR	Y

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK FER TO NZ BUILDING ACT, SECTION 40.

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DETAILS - INTERIOR DOORS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

SHEET SIZE A3=100%

A5-D4531

18/12/2020

BCO10313722-3

BE FIXED TO A SOLID SURFACE AND NOT DIRECTLY ON

CARPETED OR OTHER SUCH SURFACES.

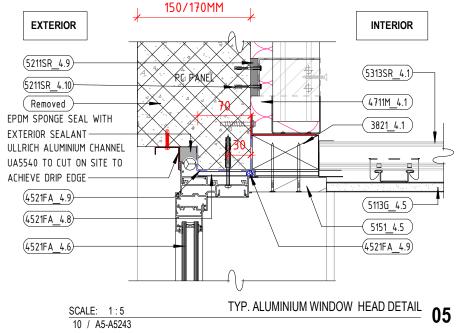


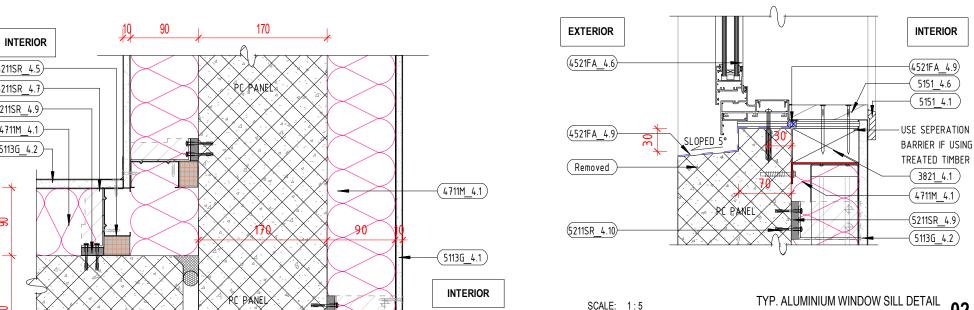
3821_4.1

5151_4.1

5151_4.5

5151_4.6





EXTERIOR

(5211SR 4.9)

(5211SR 4.10)

Removed

EPDM SPONGE SEAL WITH

ULLRICH ALUMINIUM CHANNEL

UA5540 TO CUT ON SITE TO

(4521FA 4.9)

(4521FA 4.8)

(4521FA 4.6)

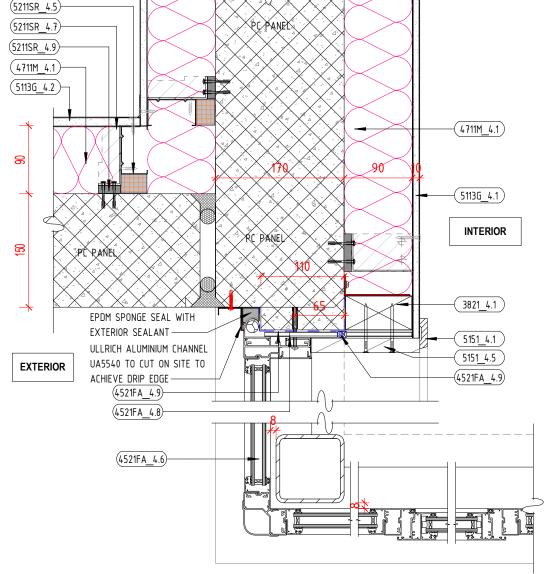
SCALE: 1:5

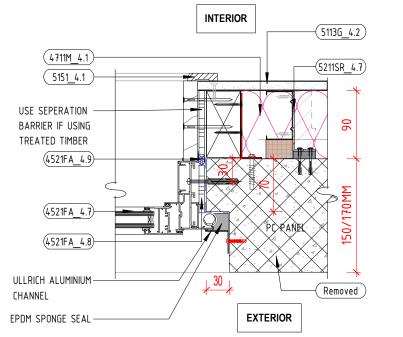
02 / A5-A4272

02 / A5-A4272

EXTERIOR SEALANT

ACHIEVE DRIP EDGE





TYP. ALUMINUM WINDOW JAMB DETAIL

Young+ Richards+

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DOMINION

INTERIOR

4711M 4.1

5113G_4.2

3821 4.1

5151 4.1

5151 4.5

(4521FA 4.9)

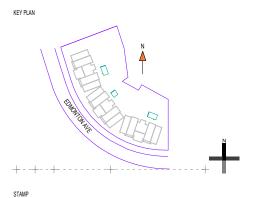
TYP. ALUMINIUM WINDOW HEAD DETAIL

8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

200003



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION 140.

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DETAILS - EXTERIOR WINDOWS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

SHEET SIZE A3=100%

A5-D4540

SCALE: 1:5 01 / A5-A3040

ALUMINIUM WINDOW JAMB DETAIL

SCALE: 1:5 02 / A5-A4270

E
3:43:14
12/2020
1/

Key Value	Keynote Text
5113G_4.3	GIB® WATER RESISTANT SYSTEMS WALLS
5113G_4.5	GIB® STANDARD SYSTEMS CEILINGS
5211SR_4.3	SRP™ TRACK SECTIONS 92MM
5313SR_4.1	CEILING BATTEN SYSTEM - SUSPENSION - TOP CROSS RAIL SYSTEM
6411P_4.1	TEST FOR MINIMUM SLIP RESISTANCE REQUIREMENTS
6411P_4.2	POLYFLOR VINYL FLOORING - XL PUR/FOREST FX PUR
6411P_4.3	POLYFLOR VINYL ACOUSTIFOAM
7151_4.20	ACRYLIC SHOWER LINER

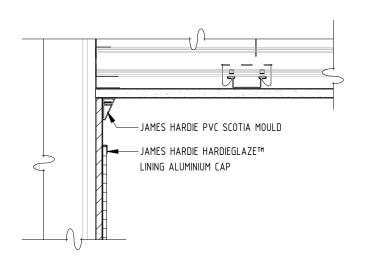
Auckland ******Council

18/12/2020

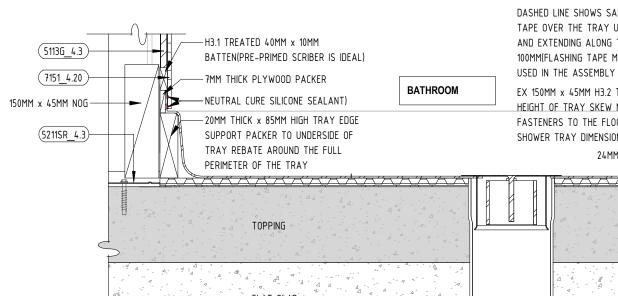
BCO10313722-3

APPROVED BUILDING CONSENT PLANS

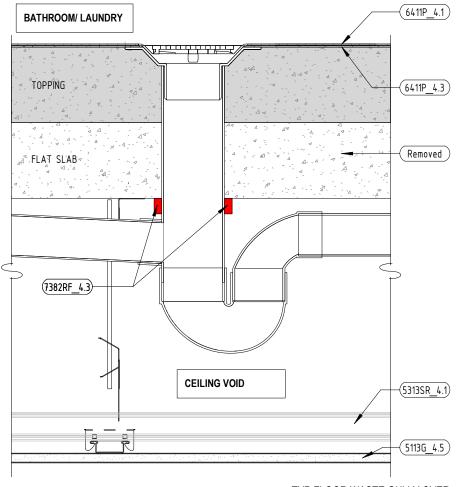
7382RF_4.3 FIRETHERM INTUCOLLAR FIRE COLLAR



TYP. BATHROOM CEILING DETAIL SCALE: 1:5 02 / A5-A5242



FLAT SLAB MIN. 1:40 FALL TO FWG. (5313SR_4.1) (7382RF 4.3) **CEILING VOID** (5313SR 4.1)



TYP.FLOOR WASTE GULLY OVER SCALE: 1:5 06 / A5-A5242

DASHED LINE SHOWS SADDLE FLASHING WITH FLEXIBLE FLASHING TAPE OVER THE TRAY UPSTAND AND OVER THE VINYL COVING AND EXTENDING ALONG THE THRESHOLDS BY A MIN. OF -SHOWER CURTAIN 100MM(FLASHING TAPE MUST BE COMPATIBLE WITH SEALANTS

EX 150MM x 45MM H3.2 TREATED THRESHOLD SUPPORT TO HEIGHT OF TRAY SKEW NAILED OR SCREWED WITH GALVANISED FASTENERS TO THE FLOOR AND WALL FRAMING TO DVERALL SHOWER TRAY DIMENSION

SCALE: 1:5

06 / A5-A5243

24MM THICK POLYSTYRENE SUPPORT(SUPPLIED)

(6411P_4.3) Removed)

(6411P_4.2)

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DOMINION

8-18 EDMONTON AVENUE

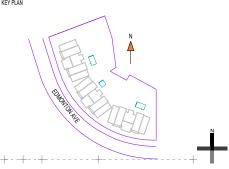
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKI
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
				-

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK, REFER TO NZ BUILDING ACT, SECTION 17.

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 1 HE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FELID CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OF REFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

DETAILS - INTERIOR WATERPROOFING

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

SHEET SIZE A3=100%

TYP. SHOWER TRAY OVER CONCRETE DETAIL

Key Value	Keynote Text
2242_4.2	GRANULAR FILL MATERIAL - SPECIFIC DESIGN - 150MM
2242_4.3	BLINDING LAYER - SPECIFIC DESIGN - 25MM
3821_4.13	17MM H3.2 PLYWOOD BEHIND LINING FOR FIXTURE FIXING
4161T_4.2	THERMATHENE BLACK™ 250UM DPM
4811_4.7	SANITARY FIXTURES SEALANT
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
6411P_4.3	POLYFLOR VINYL ACOUSTIFOAM
7151_4.20	ACRYLIC SHOWER LINER
7421_4.1	SANITARY SYSTEMS - PVC-U WASTE PIPES AND TRAPS

(3821_4.13) BETWEEN 300 & 1800MM FROM FFL. INSTALL BETWEEN STUDS USING 50X50 GIB ANGLES **UNIT 1-3** — SHOWER CURTAIN BATHROOM 7151_4.20 4811_4.7 (5113G_4.2) 7421_4.1 (6411P_4.3) (6411P_4.3) 1:60 FALL ___1:60 FALL 4161T_4.2 (2242_4.3) (2242_4.2)

SCALE: 1:5

01 / A5-A5242



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8-18 EDMONTON AVENUE

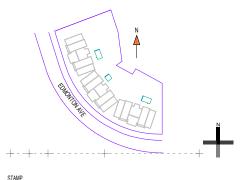
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
KEV				
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
			_	

- THE FINE PRINT

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DETAILS - INTERIOR WATERPROOFING

PROJECT STATUS

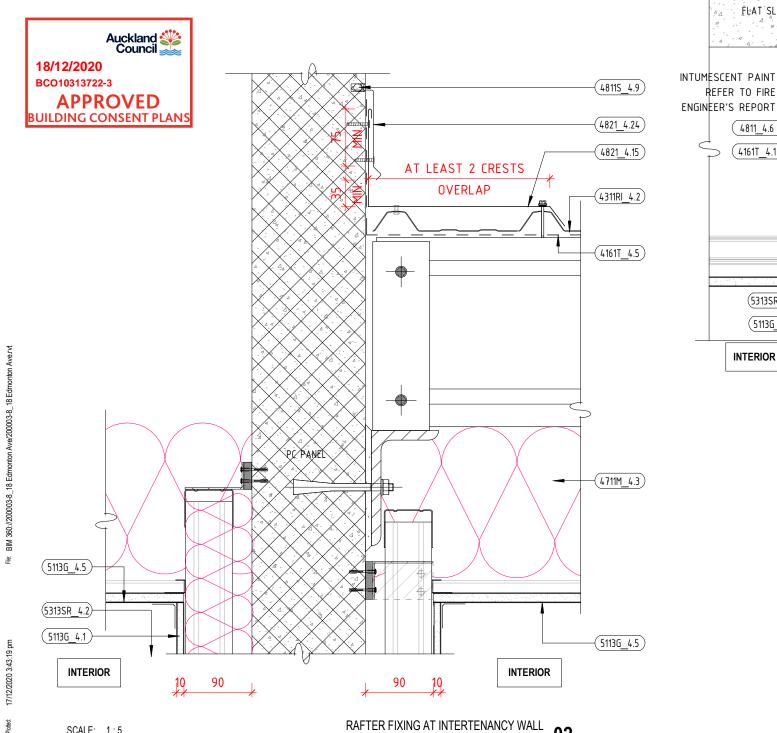
BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

TYP. SHOWER (WITHOUT TRAY) DETAIL

A3=100%

Key Value	Keynote Text
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4161T_4.5	THERMAKRAFT™ THERMAFLASH
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4711M_4.3	MAMMOTH CEILING BLANKET - R3.6 - 225MM THICK
4811_4.6	BEAD OF SEALANT, FIX ALL 220LM MS POLYMER
4811S_4.9	SIKAFLEX® AT-FACADE
4821_4.15	FLASHINGS: APRON
4821_4.24	FLASHINGS: CHASED FLASHING
5113G_4.1	GIB® STANDARD SYSTEMS WALLS
5113G_4.5	GIB® STANDARD SYSTEMS CEILINGS
5113G_4.11	GIB® TAPE ON EDGE OR CORNER TRIMS
5151_4.2	INTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM
5211SR_4.2	SRP™ TRACK SECTIONS 64MM
5313SR_4.1	CEILING BATTEN SYSTEM - SUSPENSION - TOP CROSS RAIL SYSTEM
5313SR_4.2	SRP™ CEILING BATTEN 35MM
6511_4.1	UNDERLAY: DUNLOP - 8MM
6511_4.2	CARPET : GODFREY HIRST - 3MM



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(5211SR_4.2)

4811 4.6

(651<u>1</u>4.2) 6511_4.1

TOPPING

FLAT SLAB

INTERIOR

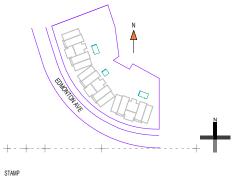
DOMINION CONSTRUCTORS LTD

8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

200003



BUILDING CONSENT STAGE 3 20/11/20

SCALE: 1:5 01 / A5-A4240

INTERIOR

(4161T_4.1)

5151_4.2

ÈĿAT SLAB

REFER TO FIRE

4811 4.6

4161T 4.1

(5313SR 4.1)—

(5113G_4.11)

INTERIOR

80

INTERTENANCY WALL TO CONCRETE SLAB JUNCTION DETAIL

175 CORBEL (5113G 4.5)

INTERIOR

- THE FINE PRINT

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DETAILS - FIRE/INTERTENANCY WALLS

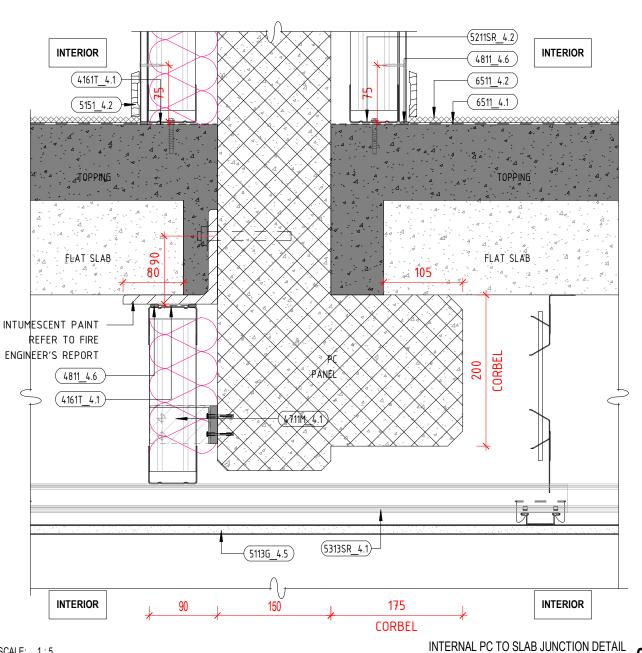
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

A5-D5630

SCALE: 1:5 01 / A5-A4270



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DOMINION

8-18 EDMONTON AVENUE

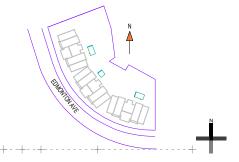
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CH
1	20/11/20	BUILDING CONSENT STAGE 3	YR	Υ

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION 140.

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DETAILS - INTERNAL WALLS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

SHEET SIZE

EXTERIOR WALL TO SLAB JUCTION

SCALE: 1:5 01 / A5-A4270

SCALE: 1:5

01 / A5-A4240

	Auckland ** Council **
	18/12/2020
<u>.</u>	BCO10313722-3
	APPROVED
	BUILDING CONSENT PLANS

Key Value

3130_4.2

4161T_4.1

4811_4.2

5113G_4.1 5113G_4.5

5113G 4.10

5113G_4.12

5151 4.2

6511 4.1

6511_4.2

7382RF_4.3

Keynote Text

INTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM

STRUCTURAL PANELS 125MM - REFER TO STRUCTURAL ENGINEERS DRAWINGS

THERMAKRAFT™ SUPERCOURSE 500™

GIB® STANDARD SYSTEMS CEILINGS

GIB® RONDO® CEILING BATTENS

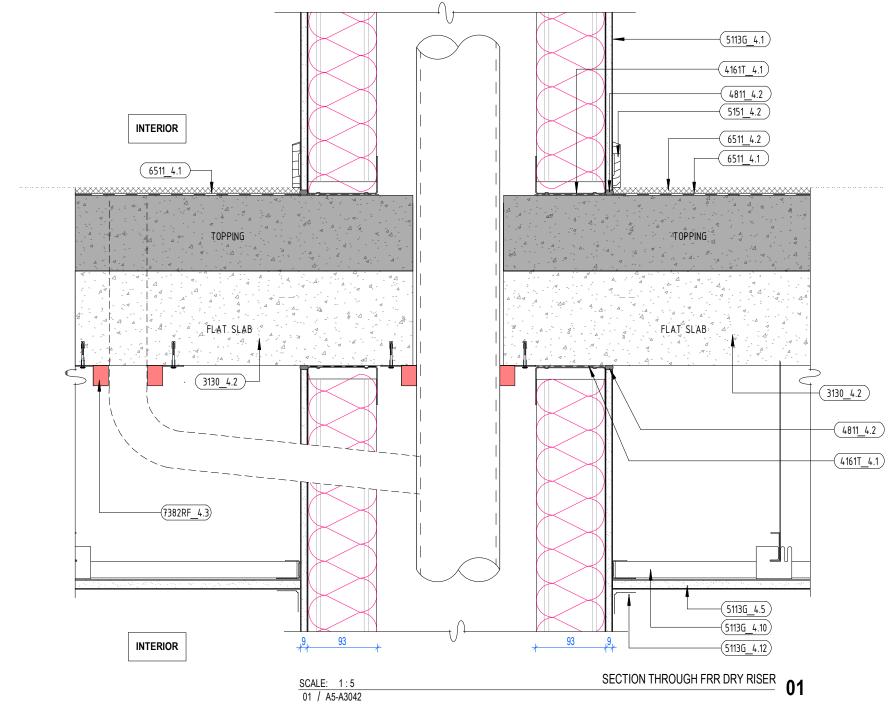
CARPET: GODFREY HIRST - 3MM

FIRETHERM INTUCOLLAR FIRE COLLAR

GIB® EDGE PROFILES

UNDERLAY: DUNLOP - 8MM

JOINTING SEALANT, INTERNAL GIB® STANDARD SYSTEMS WALLS



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8-18 EDMONTON AVENUE

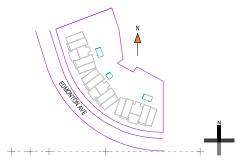
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
			_	

- THE FINE PRINT

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DETAILS - INTERNAL WALLS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

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18/12/2020 BCO10313722-3

APPROVED

BUILDING CONSENT PLANS

Key Value

3821 4.1

4582 4.1 4711M_4.1

5113G 4.2

5151 4.1

5151 4.5

5151 4.6

5211SR 4.5

4521FA 4.9

Keynote Text

MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR

INTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM

WEATHERING SEALANT - SIKAFLEX AT FACADE

SRP™ STUD SECTIONS 64MM, CRS 600MM MAX.

PACIFIC PFW60 FIRE WINDOW, FRR -60/30

INTERIOR FRAMING - NOG H1.2

GIB® STANDARD SYSTEMS WALLS

INTERNAL TIMBER TRIM: HEAD LINER

| 5211SR_4.10 | SRP ADJ CLIP/WALL BRACKET WITH 16MM FURRING

INTERNAL TIMBER TRIM: SILL LINER

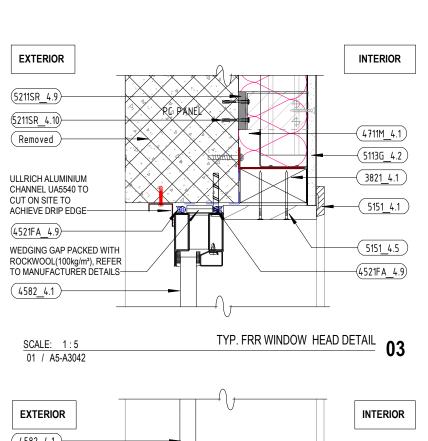
5211SR_4.9 THERMAL BREAKER 10MM, THERMAX B

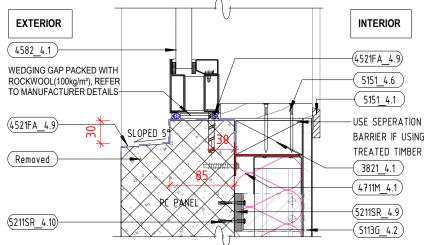
5211SR_4.12 25MM XPS STRIP FOAM-KNAUF CLIMAFOAM

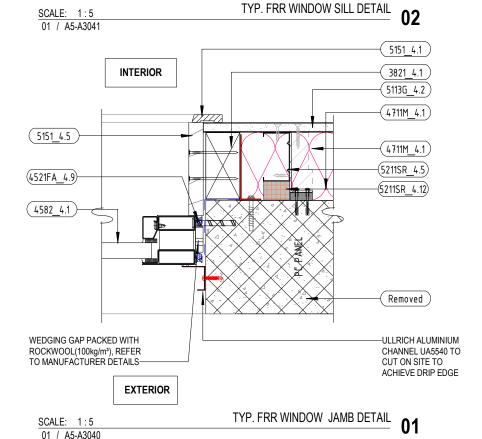
POLYSTYRENE INSULATION

EXTERIOR WALL

CHANNEL







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DOMINION

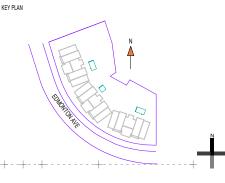
8-18 EDMONTON AVENUE

PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

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SHEET NAME **DETAILS - FIRE WINDOW**

PROJECT STATUS **BC-CONSTRUCTION-STAGE3**

SHEET SCALE 1:5

SHEET SIZE A3=100%

5
3.43.96
0000
17/12

Key Value	Keynote Text
3130_4.5	STRUCTURAL PANELS - THICKNESS REFER TO STRUCTURAL ENGINEERS DRAWINGS
3130_4.10	WATERPROOFING FOR EXTERNAL OPENINGS
3821_4.1	INTERIOR FRAMING - NOG H1.2
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4224_4.1	TIMBER TRIM, H3.1 SG8
4521FA_4.8	PLASTIC PACKER
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4581NZ_4.2	NZ FIRE DOORS DOORSET - UTILITY ROOM
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4811S_4.8	SIKAHYFLEX®-250 FACADE- WEATHER AND AIR SEAL
4821_4.24	FLASHINGS: CHASED FLASHING
5113G_4.2	GIB® STANDARD SYSTEMS WALLS
5151_4.1	INTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM
5151_4.5	INTERNAL TIMBER TRIM: HEAD LINER
5211SR_4.2	SRP™ TRACK SECTIONS 64MM
5211SR_4.5	SRP™ STUD SECTIONS 64MM, CRS 600MM MAX.
5211SR_4.12	25MM XPS STRIP FOAM-KNAUF CLIMAFOAM POLYSTYRENE INSULATION
6411P_4.2	POLYFLOR VINYL FLOORING - XL PUR/FOREST FX PUR
6411P_4.3	POLYFLOR VINYL ACOUSTIFOAM

(5211SR 4.12)

(3130_4.5)

(4711M_4.1)

5113G_4.2

(5211SR_4.5) 3821 4.1

4161T 4.1

Auckland **W**

18/12/2020 BCO10313722-3

SCALE: 1:5

02 / A5-D5635

APPROVED

BUILDING CONSENT PLANS

EXTERIOR

(BREEZEWAY)

A5-D5635/

-HEAD FLASHING

(4224_4.1)

(4521FA_4.8)

4521FA_4.9) 48115 4.8

FIRE SEALS -SMOKE SEAL

4581NZ_4.2

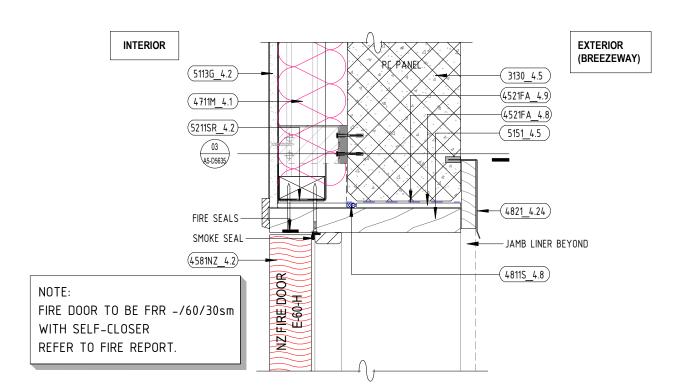
5151_4.1

NZ FIRE DOOR E-60-H

INTERIOR

TYP. FIRE ENTRY DOOR JAMB DETAIL

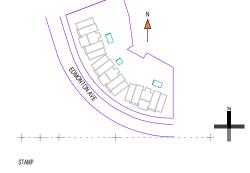
BEYOND



SCALE: 1:5 03 / A5-D5635

TYP. FIRE ENTRY DOOR HEAD DETAIL

TYP. FIRE ENTRY DOOR SILL DETAIL



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8-18 EDMONTON AVENUE

8-18 EDMONTON AVENUE,

ONEHUNGA, AUCKLAND 1061

DOMINION

PROJECT ADDRESS

PROJECT NUMBER

200003 KEY PLAN

4521FA_4.8) INTERIOR **EXTERIOR** DOOR (4811S 4.8) (BREEZEWAY) (4521FA 4.9) 4521FA_4.9 REBATE FOR FRONT DOOR SILL (6411P 4.2) NZ E-6 JAMB LINER BEYOND (6411P_4.3) (4811S<u>4</u>.8) UNIT F.L. 8 (3130 4.10)

SCALE: 1:5

01 / A5-A3041

CHKD BUILDING CONSENT STAGE 3 20/11/20 11/12/20 BC3 CONSENTIUM RFI YR YR

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANDES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETER TO NZ BUILDING ACT, SECTION 40.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. CONSENTED TO NZ BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK, (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT ACTORNATION TO A TERRE PRECEDENCE.

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SHEET NAME

DETAILS - FIRE DOOR

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

01

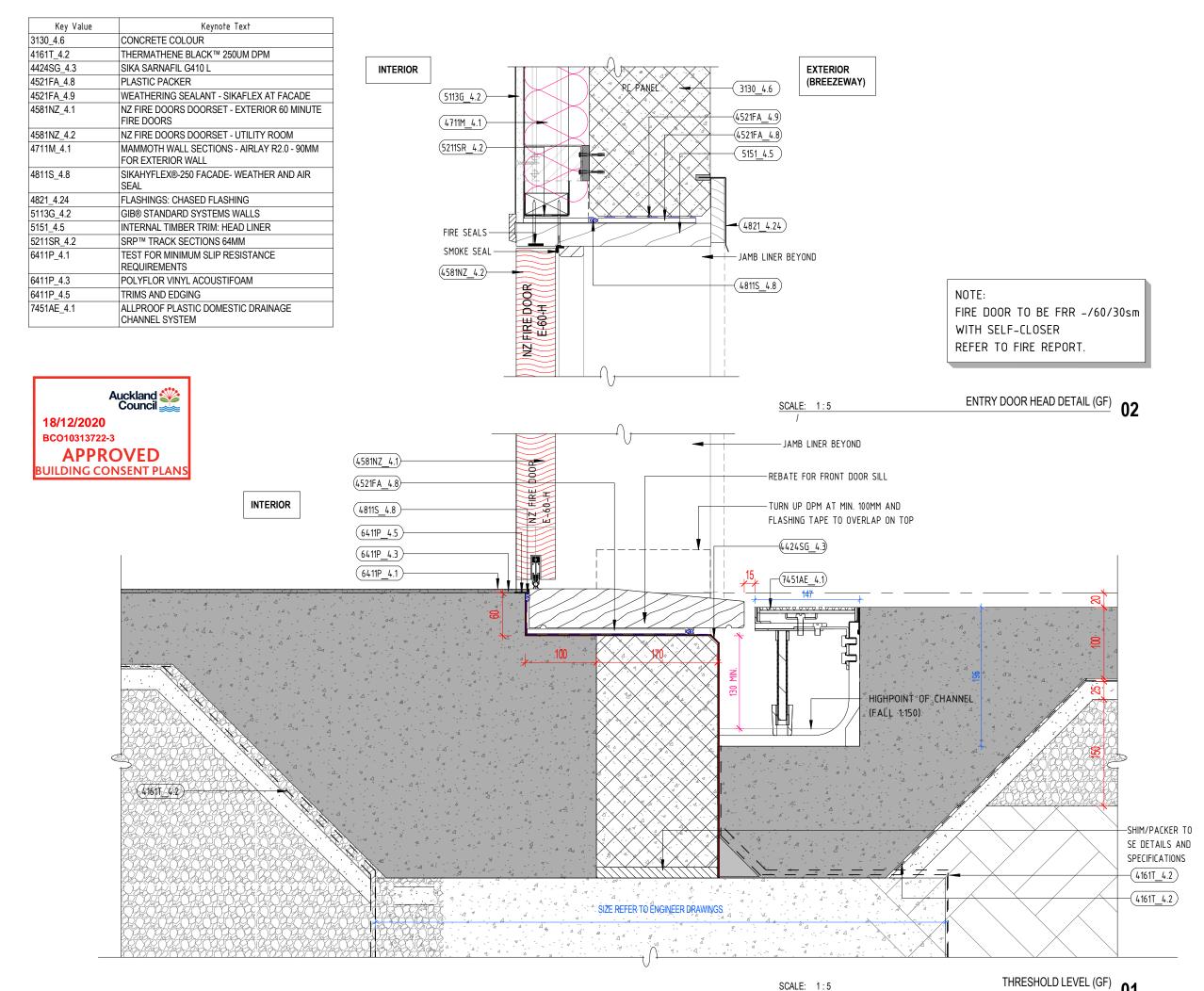
SECOND FLOOR

SHEET SIZE

A3=100%

2





01 / A5-A3040

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DOMINION

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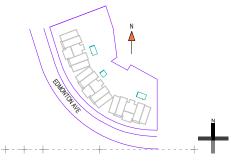
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



BUILDING CONSENT STAGE 3

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANDES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION THE TERRITORIAL AUTHORITY GOVERNING THE WORK. DETER TO NZ BUILDING ACT, SECTION 40.

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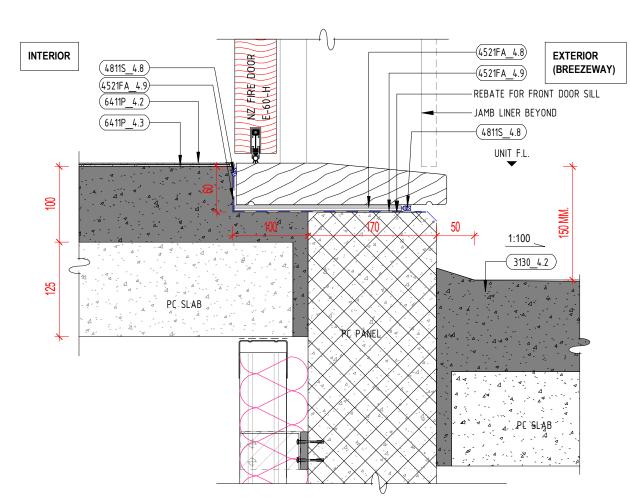
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFILCT, CONSULT THE DESIGNER.

DETAILS - FIRE DOOR

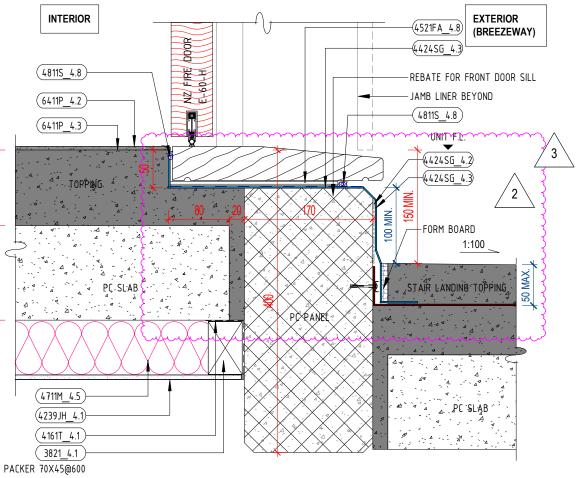
PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5



SECOND FLOOR FIRE ENTRY DOOR SILL DETAIL SCALE: 1:5



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DOMINION

8-18 EDMONTON AVENUE

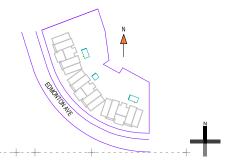
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CH
1	20/11/20	BUILDING CONSENT STAGE 3	YR	Υ
2	11/12/20	BC3 CONSENTIUM RFI	YR	Υ
3	16/12/20	BC3 RFI	YR	Y

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TON ZBUILDING ACT, SECTION 140.

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SHEET NAME

DETAILS - FIRE DOOR

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

SHEET SIZE

TYP. BALCONY - FIRST FLOOR SCALE: 1:5 01 / A5-A4271

20~50

SCALE: 1:5 01 / A5-A4272

PACKER 70X45@600

FIRST FLOOR FIRE ENTRY DOOR STILL DETAIL

Key Value	Keynote Text
3821_4.1	INTERIOR FRAMING - NOG H1.2
4131AL_4.1	ALLCO VOLCLAY WATERSTOP RX
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4424SG_4.1	SIKA SARNAFIL® G 476-20 LOOSE-LAID MEMBRANE
4424SG_4.2	SIKA ADHESIVE SARNACOL
4424SG_4.3	SIKA SARNAFIL G410 L
4521FA_4.8	PLASTIC PACKER
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4811S_4.8	SIKAHYFLEX®-250 FACADE- WEATHER AND AIR SEAL
6411P_4.2	POLYFLOR VINYL FLOORING - XL PUR/FOREST FX PUR
6411P_4.3	POLYFLOR VINYL ACOUSTIFOAM

Auckland Council

18/12/2020

BCO10313722-3

APPROVED

BUILDING CONSENT PLANS

INTERIOR

4161T 4.1

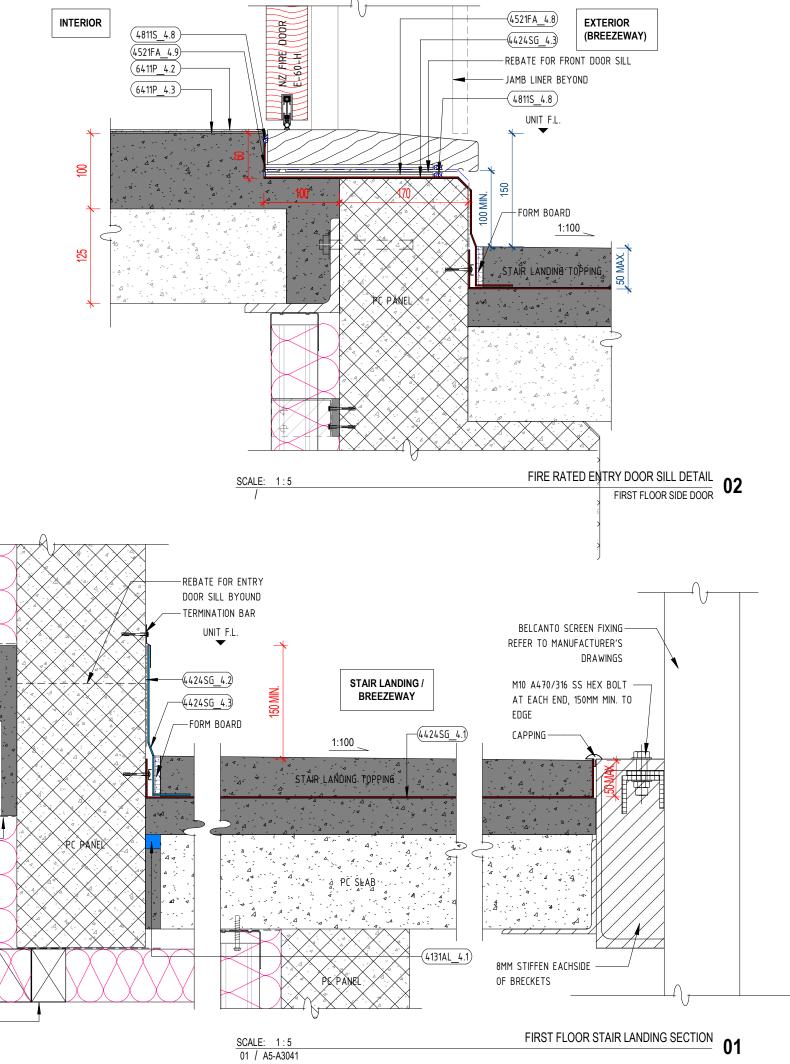
4711M 4.1

3821_4.1

INTERIOR

(6411P_4.2)

(6411P 4.3)



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8-18 EDMONTON AVENUE

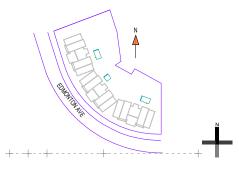
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKE
1	11/12/20	BC3 CONSENTIUM RFI	YR	YR
2	16/12/20	BC3 RFI	YR	YR

- THE FINE PRINT

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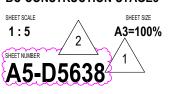
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

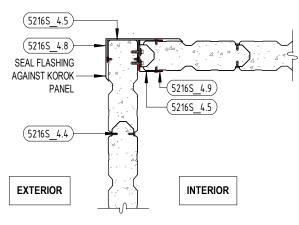
SHEET NAME

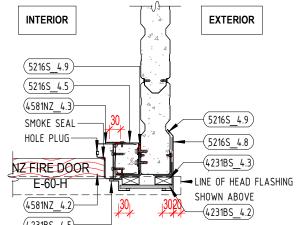
DETAILS - BREEZEWAY

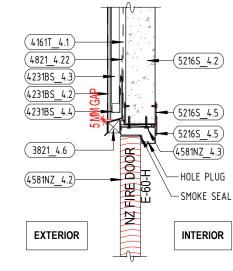
PROJECT STATUS

BC-CONSTRUCTION-STAGE3









INTERIOR

LINE OF KOROK PANEL FACE

FIXED TO CONCRETE NIB.

FIRE DOOR SILL DETAIL

CONRETE NIB AS PER

4383 4.1

3821 4.3

3821 4.6 4161T 4.1

ENGINEER DETAIL

INTERIOR

5216S 4.6

5216S 4.7

5216S_4.9

CONCRETE NIB



DOMINION

8-18 EDMONTON AVENUE

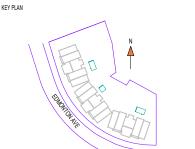
4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444

PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

Young+ Richards+

200003



- SPEEDWALL JAMB SEEN BEYOND. 4161T 4.1 4383_4.1 3821 4.3

20/11/20 BUILDING CONSENT STAGE 3

- ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT ALL WORK SHALL COMPLY WITH THE NZ RESQUINCE MANAGEMENT ACT, NZ BULDING ACT, RELEVANT
 STANDARDS, GONDWANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE
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 STAMPED BY THE RELEVANT BULDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING
 CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.
 FOR BULDER'S RESPONSIBILITIES REFER TO NZ BULDING ACT, SECTION 14E.
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 CONSULTANTS DOCUMENTATION.
 THE BULDER IS EXPECTED TO VERREY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK.

- CONSULTANT'S DOCUMENTATION. THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED
- DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNED

SHEET NAME **DETAILS - SERVICE ROOM**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

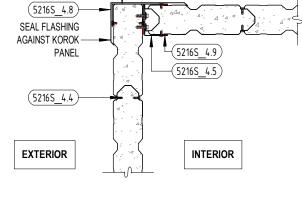
SHEET SCALE 1:10

A3=100%

SHEET SIZE



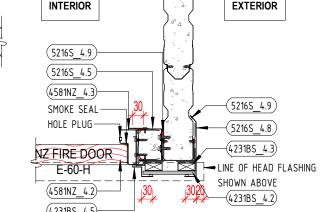
Auckland Council

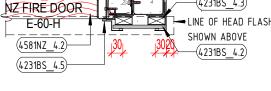


CONCRETE STAIRS.

REFER STRUCTURAL

EXTERNAL CORNER DETAIL





FIRE DOOR JAMB DETAIL 06 SCALE: 1:10 04 / A5-A5050

SCALE: 1:10 03 / A5-A5050

EXTERIOR

(4581NZ 4.2)

OVER 20MM CAVITY

STEEL ANGLE.

MM CLADDIN OVERLAP

S

3102 4.4

LINE OF AXON CLADDING -

BATTENS SEEN BEYOND.

100X100X6 INTUMESCENT

CONNECTION BY ENGINEER

CONCRETE NIB 5 MM GAP

150-200MM HIGH

FIRE DOOR HEAD DETAIL

NZ FIR FRR

STEEL & CONCRETE STRUCTURE -REFER TO STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATIONS KOROK PANELS REFER TO SUPPLIER DRAWINGS AND SPECIFICATIONS

CONCRETE STAIRS.

INTERIOR

REFER STRUCTURAL

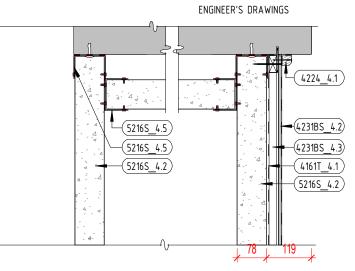
ENGINEER'S DRAWINGS

APPROVED

BUILDING CONSENT PLANS

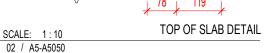
18/12/2020

BCO10313722-3



SCALE: 1:10

04 / A5-A5050





ALLOW FOR VERMIN-

PROOFING MESH WIRE

EXTERIOR

CONCRETE STAIRS.

REFER STRUCTURAL

ENGINEER'S DRAWINGS

TOP OF SLAB DETAIL

(5216S 4.2)

(5216S 4.2)

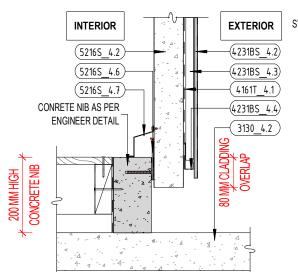
INTERIOR







INTERIOR **EXTERIOR** STEEL ANGLE (GALV) AS PER ENGINEER DETAIL (5216S_4.9) - M10 GALVANISED BOLT CONRETE NIB AS PER WITH 50X50 WASHERS & ENGINEER DETAIL NEOPRENE WASHERS (M10X12X10). 2 X M10 4161T_4.1 BOLTS PER PANEL. 4383 4.1 3821 4.3 3821_4.6



SCALE: 1:10

KOROK & AXON BASE DETAIL

KOROK-CUSTOM BASE DETAIL SCALE: 1:10

03 / A5-A5050

KOROK-PROPRIETARY BASE DETAIL

SCALE: 1:10

A5-D5640

SCALE: 1:10

TOP OF SLAB DETAIL 10

ALLOW FOR VERMIN-

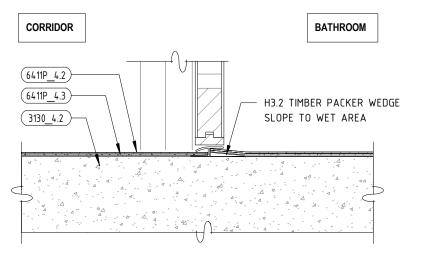
PROOFING MESH WIRE

EXTERIOR

Keynote Text

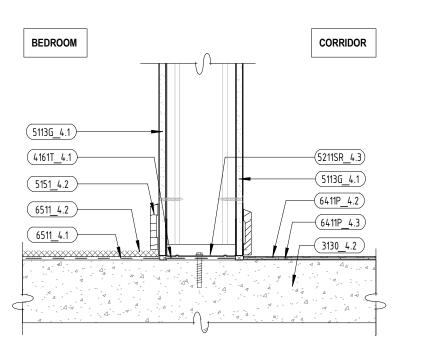
Key Value

TYP. FLOORING TRANSITION SCALE: 1:5



BATHROOM / LAUNDRY (5211SR 4.3) (5113G 4.3) (7151<u>4</u>.20) 6411P 4.5 (6411P 4.2) 9 (6411P_4.3) 3130_4.2

TYP. SKIRTING DETAIL_OVER CONCRETE FLOOR SCALE: 1:5



TYP. SKIRTING DETAIL_OVER CONCRETE FLOOR SCALE: 1:5

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DOMINION

8-18 EDMONTON AVENUE

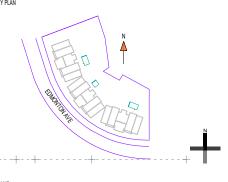
PROJECT ADDRESS

8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

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DETAILS - FINISH/ TRANSITION

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

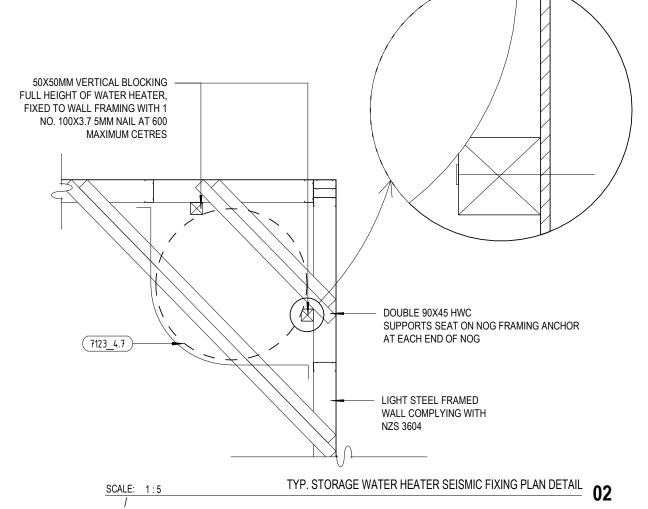
A3=100%

Key Value Keynote Text 7123_4.7 PIPEWORK INSULATION

STORAGE

WATER

HEATER



STORAGE WATER HEATERS TO BE RESTRAINED WITH 25X1 MM GALVANISED STEEL STRIPS TENSIONED WHEN FIXED IN PLACE. STRAPS TO BE -1 NO. 8MM COACH SCREW WITH 30X2MM THICK -2 NO. 20X@.5MM THICK WASHERS, SCREWS TO BE PENETRATE TIMBER FRAMING A MINIMUM OF 50MM

> N.O STRAPS REQUIRED: UP TO 200L =2 201L TO 360L =3 361L TO 500L =4 500L TO 600L =5 601L TO 700L =6

FIXED TO WALL FRAMING WITH:

WASHER, OR

HNZ APPROVED

TRAY WITH

DRAIN

ANY HWC INSTALLED MORE THAN 12M ABOVE GROUND REQUIRES AN ADDITIONAL STRAP TO WHAT IS SHOWN ABOVE

TEMPERATURE/PRESSURE HOT WATER OUTLET RELIEF VALVE WITH OR WITHOUT VACUUM RELIEF VALVE EXPANSION CONTROL VALVE CONTROLLED DRAINPIPE PRESSURE DRAINPIPE STORAGE WATER TO DRAIN HEATER COLD WATER TO TUNDISH INLET

BACKFLOW PREVENTION DEVICE

PRESSURE-REDUCING VALVE

Young+ Richards+

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8-18 EDMONTON AVENUE

PROJECT ADDRESS

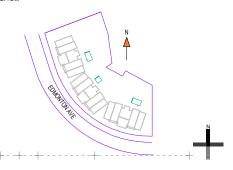
8-18 EDMONTON AVENUE, **ONEHUNGA, AUCKLAND 1061**

PROJECT NUMBER

200003

STAMP

KEY PLAN



REV	DATE	DESCRIPTION	BY	CHKE
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
				-

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK, REFER TO NZ BUILDING ACT, SECTION 17.

 BUILDINGS NOT TO SE CONSTRUCTED, AL TERED DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING ONSENT. REFER TO NZ BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK, RRW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS TAMPED BY THE RELEVANT BUILDING CONSENT. AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE.

 FOR BUILDER'S RESPONSIBILITY ER FERE TO NZ BUILDING ACT, SECTION 14E.

 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTANT DOCUMENTATION.

 THE BUILDER IS EXPECTED TO VERRY DIMENSIONS AND FELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFILOTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

DETAILS - HWC

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:5

LINE STRAINER

(WHERE FITTED)

APPROVED

BUILDING CONSENT PLANS

18/12/2020 BCO10313722-3

Auckland Council

2
3-43-45
7/12/2020
1

Key Value	Keynote Text
2242_4.1	EARTH FILL – NOT REQUIRED TO SUPPORT BUILDINGS OR SURFACES
2242_4.2	GRANULAR FILL MATERIAL - SPECIFIC DESIGN - 150MM
2242_4.3	BLINDING LAYER - SPECIFIC DESIGN - 25MM
2242_4.6	SITE CONCRETE
3102_4.4	NORMAL CONCRETE
3102_4.6	SURFACE FINISHES PAVEMENTS AND DRIVEWAYS
3130_4.2	STRUCTURAL PANELS 125MM - REFER TO STRUCTURAL ENGINEERS
_	DRAWINGS
3130_4.5	STRUCTURAL PANELS - THICKNESS REFER TO STRUCTURAL
	ENGINEERS DRAWINGS
3130_4.6	CONCRETE COLOUR
3130_4.10	WATERPROOFING FOR EXTERNAL OPENINGS
3410	STRUCTURAL STEEL
3410_4.2	STEELWORK BEING GALVANIZED
3411D_4.1	DIMOND DHS PURLINS
 3821 4.1	INTERIOR FRAMING - NOG H1.2
3821 4.3	EXTERIOR FRAMING - BLOCKING H3.2
3821 4.4	SOFFIT FRAMING - H3.1
3821 4.6	EXTERIOR FRAMING PACKERS/FILLETS - H3.1
3821_4.0	TIMBER SILL - H3.1
3821_4.7	INTERIOR FRAMING PACKERS - H1.2
3821_4.0 3821_4.9	INTERIOR FRAMING PACKERS - H1.2 INTERIOR ROOF PURLINS - 45X 70MM @900 MAX.
3821_4.10	RAFTERS - 45X140MM @600 MAX.
3821_4.13	17MM H3.2 PLYWOOD BEHIND LINING FOR FIXTURE FIXING
3821_4.14	NAILS
4131AL_4.1	ALLCO VOLCLAY WATERSTOP RX
4161T_4.1	THERMAKRAFT™ SUPERCOURSE 500™
4161T_4.2	THERMATHENE BLACK™ 250UM DPM
4161T_4.3	COVERTEK 407 ROOFING UNDERLAY
4224_4.1	TIMBER TRIM, H3.1 SG8
4239JH_4.1	HARDIEFLEX™ EAVES LINING - 6MM
4311RI_4.2	ROOFING INDUSTRIES - TRIMRIB® PROFILE ROOFING
4311RI_4.3	MULTIFIT EXTERNAL AND CONCEALED FASCIA
4311RI_4.4	ROOFING INDUSTRIES - GUTTER
4311RI_4.7	DEKTITE PIPE FLASHING
4311RI_4.8	SELLWOOD ROOF ACCESS HATCH - SRH800800
4383_4.1	EXTERIOR DECKING - 100 X 40 RAD PREMIUM GRIP TREAD H 3.2
4383_4.2	50 X 50 RADIATA PREMIUM GRADE H 3.2 M GAUGED 1.2 M
4383_4.3	ADJUSTABLE UPVC PEDESTALS - NURAJACK OR EQUIVALENT
4424SG_4.1	SIKA SARNAFIL® G 476-20 LOOSE-LAID MEMBRANE
4424SG_4.2	SIKA ADHESIVE SARNACOL
4424SG_4.3	SIKA SARNAFIL G410 L
4432_4.1	1.5MM GRIPSET 2P - WATERPROOFING MEMBRANE
 4521FA 4.6	FAIRVIEW ARCHITECTURAL CUBIC AC35 SERIES WINDOW
4521FA 4.7	FAIRVIEW ARCHITECTURAL CUBIC AC35 SERIES - EXTERNAL STACKING
	DOOR, 35MM PLATFORM
4521FA_4.8	PLASTIC PACKER
4521FA_4.9	WEATHERING SEALANT - SIKAFLEX AT FACADE
4521FA_4.11	ALUMINIUM ANGLE 30 X 30MM
4581NZ 4.1	NZ FIRE DOORS DOORSET - EXTERIOR 60 MINUTE FIRE DOORS
4581NZ 4.2	NZ FIRE DOORS DOORSET - UTILITY ROOM
4581NZ 4.3	NZ FIRE DOORS DOORSET - SPEEDWALL JAMB
4582_4.1	PACIFIC PFW60 FIRE WINDOW, FRR -60/30
4711_4.1	ROCKWOOL PROROX SL 950SA, DENSITY 80KG/M³
4711 <u>4.1</u> 4711M_4.1	MAMMOTH WALL SECTIONS - AIRLAY R2.0 - 90MM FOR EXTERIOR WALL
4711M_4.1 4711M_4.3	MAMMOTH CEILING BLANKET - R3.6 - 225MM THICK
4711M_4.4	MAMMOTH CARDADIC DANIEL - R1.7 - 70MM THICK
4711M_4.5	MAMMOTH CARPARK PANEL - R1.7 - 70MM THICK
4811_4.1	AIR SEAL AND JOINT FILLER
4811_4.2	JOINTING SEALANT, INTERNAL
1011 : 2	BEAD OF SEALANT, FIX ALL 220LM MS POLYMER
4811_4.6 4811_4.7 4811S 4.4	SANITARY FIXTURES SEALANT SIKAFLEX® CONSTRUCTION AP - WEATHER AND AIR SEAL

4811S_4.8 \$ 4811S_4.9 \$ 4821_4.3 F 4821_4.12 F 4821_4.13 F 4821_4.14 F 4821_4.15 F 4821_4.16 F 4821_4.22 F 4821_4.23 F 4821_4.24 F 5113G_4.1 C 5113G_4	SIKAFLEX® - 400 FIRE - WEATHER AND AIR SEAL SIKAHYFLEX®-250 FACADE- WEATHER AND AIR SEAL SIKAHYFLEX®-250 FACADE- WEATHER AND AIR SEAL SIKAFLEX® AT-FACADE FLASHINGS: WINDOW / DOOR JAMB FLASHINGS: EAVES FLASHING FLASHINGS: SOFFIT BACKFLASHING FLASHINGS: SAFGE FLASHINGS: APRON FLASHINGS: APRON FLASHINGS: APEX FLASHINGS: CAPPING FLASHINGS: CAPPING FLASHINGS: CHASED FLASHING SIB® STANDARD SYSTEMS WALLS SIB® STANDARD SYSTEMS WALLS SIB® WATER RESISTANT SYSTEMS WALLS SIB® WATER RESISTANT SYSTEMS WALLS SIB® STANDARD SYSTEMS CEILINGS SIB® STANDARD SYSTEMS CEILINGS SIB® SOUND RATED SYSTEMS SIB® SOUND RATED SYSTEMS SIB® TAPE ON EDGE OR CORNER TRIMS SIB® TAPE ON EDGE OR CORNER TRIMS SIB® EDGE PROFILES NTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM NTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM NTERNAL TIMBER TRIM: HEAD LINER NTERNAL TIMBER TRIM: SILL LINER NTERNAL TIMBER TRIM: SILL LINER NTERNAL TIMBER TRIM: SOUND SAMM SRP™ TRACK SECTIONS 64MM SRP™ TRACK SECTIONS 64MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B SRP ADJ CLIP/WALL BRACKET WITH 16MM FURRING CHANNEL
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5113G_4.3 (C. 5113G_4.4 (C. 5113G_4.5 (C. 5113G_4.1 (C. 5113G_4.1 (C. 5113G_4.1 (C. 5151_4.1 (C. 5151_4.5 (C. 5151_4.7 (C. 5115R_4.3 (C. 5115R_4.3 (C. 5115R_4.1 (C. 5115	GIB® WATER RESISTANT SYSTEMS WALLS GIB® WATER RESISTANT SYSTEMS WALLS GIB® STANDARD SYSTEMS CEILINGS GIB® SOUND RATED SYSTEMS GIB® SOUND RATED SYSTEMS GIB® RONDO® CEILING BATTENS GIB® TAPE ON EDGE OR CORNER TRIMS GIB® TAPE ON EDGE OR CORNER TRIMS GIB® EDGE PROFILES NTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM NTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM NTERNAL TIMBER TRIM: HEAD LINER NTERNAL TIMBER TRIM: SILL LINER NTERNAL TIMBER TRIM: JAMB LINER SRP™ TRACK SECTIONS 64MM SRP™ TRACK SECTIONS 64MM SRP™ TRACK SECTIONS 92MM SRP™ STUD SECTIONS 64MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
5113G_4.4 C 5113G_4.5 C 5113G_4.7 C 5113G_4.10 C 5113G_4.11 C 5113G_4.12 C 5151_4.1 II 5151_4.2 III 5151_4.5 III 5151_4.6 III 5151_4.7 S 5211SR_4.2 S 5211SR_4.3 S 5211SR_4.9 T 5211SR_4.1 II 5211SR_4.1 II 5211SR_4.1 II 5211SR_4.1 S 5211SR_4.1 II 5211SR_4.1 II 5211SR_4.1 S 5211SR_4.1 II 5211SR_4.3 II 5211SR_4.1 II 5211SR_4.3 II 5211SR_4.1 II 5211SR_4.3 II 5211SR_4.3 II 5211SR_4.3 II 5211SR_4.3 II 5211SR_4.3 II 5211SR_4.4 II 5211SR_4.3 II 5211SR_4.4	GIB® WATER RESISTANT SYSTEMS WALLS GIB® STANDARD SYSTEMS CEILINGS GIB® SOUND RATED SYSTEMS GIB® RONDO® CEILING BATTENS GIB® RONDO® CEILING BATTENS GIB® TAPE ON EDGE OR CORNER TRIMS GIB® EDGE PROFILES NTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM NTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM NTERNAL TIMBER TRIM: HEAD LINER NTERNAL TIMBER TRIM: SILL LINER NTERNAL TIMBER TRIM: JAMB LINER NTERNAL TIMBER TRIM: JAMB LINER SRP™ TRACK SECTIONS 64MM SRP™ TRACK SECTIONS 64MM, CRS 600MM MAX. GRP™ STUD SECTIONS 92MM, CRS 600MM MAX. GRP™ STUD SECTIONS 92MM, CRS 600MM MAX. GRP™ STUD SECTIONS 92MM, CRS 600MM MAX. GRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
5113G_4.5 C	GIB® STANDARD SYSTEMS CEILINGS GIB® SOUND RATED SYSTEMS GIB® RONDO® CEILING BATTENS GIB® TAPE ON EDGE OR CORNER TRIMS GIB® TAPE ON EDGE OR CORNER TRIMS GIB® EDGE PROFILES NTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM NTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM NTERNAL TIMBER TRIM: HEAD LINER NTERNAL TIMBER TRIM: SILL LINER NTERNAL TIMBER TRIM: JAMB LINER SRP™ TRACK SECTIONS 64MM SRP™ TRACK SECTIONS 92MM SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. GRP™ STUD SECTIONS 92MM, CRS 600MM MAX. GRP™ STUD SECTIONS 92MM, CRS 600MM MAX. GRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
5113G_4.7 (C) 5113G_4.10 (C) 5113G_4.11 (C) 5113G_4.12 (C) 5151_4.1 (II) 5151_4.2 (III) 5151_4.5 (III) 5151_4.6 (III) 5151_4.7 (III) 5151_4.7 (III) 5151_4.8 (III) 5151_4.8 (III) 5151_4.8 (III) 5151_4.8 (III) 5151_4.8 (III) 5151_4.8 (III) 5211SR_4.9 (III) 5211SR_4.1 (III) 5211SR	GIB® SOUND RATED SYSTEMS GIB® RONDO® CEILING BATTENS GIB® TAPE ON EDGE OR CORNER TRIMS GIB® EDGE PROFILES NTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM NTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM NTERNAL TIMBER TRIM: HEAD LINER NTERNAL TIMBER TRIM: SILL LINER NTERNAL TIMBER TRIM: JAMB LINER NTERNAL TIMBER TRIM: JAMB LINER SRP™ TRACK SECTIONS 64MM SRP™ TRACK SECTIONS 92MM SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
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5113G_4.11 C	GIB® TAPE ON EDGE OR CORNER TRIMS GIB® EDGE PROFILES NTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM NTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM NTERNAL TIMBER TRIM: HEAD LINER NTERNAL TIMBER TRIM: SILL LINER NTERNAL TIMBER TRIM: JAMB LINER SRP™ TRACK SECTIONS 64MM SRP™ TRACK SECTIONS 92MM SRP™ STUD SECTIONS 94MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
5113G_4.12 (C) 5151_4.1 15151_4.2 15151_4.5 15151_4.6 15151_4.7 15151_4.7 15151_4.7 15211SR_4.2 15211SR_4.5 15211SR_4.9 15211SR_4.10 15211SR_4.10 15211SR_4.11 15211SR_4.10 15211SR_4.10 15211SR_4.1 1	GIB® EDGE PROFILES NTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM NTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM NTERNAL TIMBER TRIM: HEAD LINER NTERNAL TIMBER TRIM: SILL LINER NTERNAL TIMBER TRIM: JAMB LINER SRP™ TRACK SECTIONS 64MM SRP™ TRACK SECTIONS 92MM SRP™ STUD SECTIONS 64MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, TRACK SECTIONS 92MM, CRS 600MM MAX. SRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
5151_4.1	NTERNAL TIMBER TRIM: ARCHITRAVE - 40MM X 12MM NTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM NTERNAL TIMBER TRIM: HEAD LINER NTERNAL TIMBER TRIM: SILL LINER NTERNAL TIMBER TRIM: JAMB LINER SRP™ TRACK SECTIONS 64MM SRP™ TRACK SECTIONS 92MM SRP™ STUD SECTIONS 64MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, TRACK SECTIONS 92MM, CRS 600MM MAX. SRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
5151_4.2	NTERNAL TIMBER TRIM: SKIRTING - 60MM X 12MM NTERNAL TIMBER TRIM: HEAD LINER NTERNAL TIMBER TRIM: SILL LINER NTERNAL TIMBER TRIM: JAMB LINER SRP™ TRACK SECTIONS 64MM SRP™ TRACK SECTIONS 92MM SRP™ STUD SECTIONS 64MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, TRACK SECTIONS 92MM, CRS 600MM MAX. SRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
5151_4.5	NTERNAL TIMBER TRIM: HEAD LINER NTERNAL TIMBER TRIM: SILL LINER NTERNAL TIMBER TRIM: JAMB LINER SRP™ TRACK SECTIONS 64MM SRP™ TRACK SECTIONS 92MM SRP™ STUD SECTIONS 64MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
5151_4.6	NTERNAL TIMBER TRIM: SILL LINER NTERNAL TIMBER TRIM: JAMB LINER SRP™ TRACK SECTIONS 64MM SRP™ TRACK SECTIONS 92MM SRP™ STUD SECTIONS 64MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
5151_4.7	NTERNAL TIMBER TRIM: JAMB LINER SRP™ TRACK SECTIONS 64MM SRP™ TRACK SECTIONS 92MM SRP™ STUD SECTIONS 64MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
5211SR_4.2 S 5211SR_4.3 S 5211SR_4.5 S 5211SR_4.6 S 5211SR_4.7 S 5211SR_4.7 S 5211SR_4.1 S 5211SR_4.1 S 5211SR_4.1 S 5211SR_4.1 S 5211SR_4.1 S 5211SR_4.1 S 5216S_4.2 S 5216S_4.2 S 5216S_4.4 S 5216S_4.4 S 5216S_4.4 S 5216S_4.6 E 5216S_4.7 S 5216S_4.8 S 5216S_4.9 S 5231_4.4 S 5231_4.5 S 5313SR_4.1 C	SRP™ TRACK SECTIONS 64MM SRP™ TRACK SECTIONS 92MM SRP™ STUD SECTIONS 64MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
5211SR_4.3 S 5211SR_4.5 S 5211SR_4.6 S 5211SR_4.7 S 5211SR_4.7 S 5211SR_4.9 T 5211SR_4.10 S 5211SR_4.11 II 5211SR_4.12 2 5216S_4.2 K 5216S_4.3 K 5216S_4.4 K 5216S_4.6 E 5216S_4.7 K 5216S_4.8 K 5216S_4.9 S 5231_4.4 S 5231_4.5 S 5313SR_4.1 C	SRP™ TRACK SECTIONS 92MM SRP™ STUD SECTIONS 64MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
5211SR_4.5 S 5211SR_4.6 S 5211SR_4.7 S 5211SR_4.9 T 5211SR_4.10 S 5211SR_4.11 II 5211SR_4.12 2 5216S_4.2	SRP™ STUD SECTIONS 64MM, CRS 600MM MAX. SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
5211SR_4.6 S 5211SR_4.7 S 5211SR_4.9 T 5211SR_4.10 S 5211SR_4.11 II 5211SR_4.12 2 5216S_4.2	SRP™ STUD SECTIONS 92MM, CRS 600MM MAX. SRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
5211SR_4.7 S 5211SR_4.9 T 5211SR_4.10 S 5211SR_4.11 II 5211SR_4.12 2 5216S_4.2 K 5216S_4.3 K 5216S_4.4 K 5216S_4.5 K 5216S_4.6 E 5216S_4.8 K 5216S_4.9 S 5231_4.4 S 5231_4.5 S 5313SR_4.1 C	SRP EXTENDED STRAPPING BRACKET THERMAL BREAKER 10MM, THERMAX B
5211SR_4.10 S 5211SR_4.11 II 5211SR_4.12 2 5216S_4.2 F 5216S_4.3 F 5216S_4.4 F 5216S_4.5 F 5216S_4.6 E 5216S_4.8 F 5216S_4.9 S 5231_4.4 S 5231_4.5 S 5313SR_4.1 C	·
5211SR_4.11 II 5211SR_4.12 2 5216S_4.2 F 5216S_4.3 F 5216S_4.5 F 5216S_4.6 E 5216S_4.8 F 5216S_4.8 F 5216S_4.9 S 5231_4.4 S 5231_4.5 S 5313SR_4.1 C 5313SR_4.1 C 5311SR_4.1 C 5311SR_5.1 C	SPD AD LCLIDAWALL BRACKET WITH 16MM ELIPPING CHANNEL
5211SR_4.12 2 5216S_4.2	SIN ADS CEIL/WALL DIVACILE WITH TOWNS TO CITATING CHAINNEL
5216S_4.2	NSULATION-KNAUF RIGID POLYSTYRENE BOARD
5216S_4.4	25MM XPS STRIP FOAM-KNAUF CLIMAFOAM POLYSTYRENE INSULATION
5216S_4.4	KOROK PANELS
5216S_4.5	KOROK PANELS FIXING -14G X 115 STEELTITE SCREW
5216S_4.6 E 5216S_4.7 W 5216S_4.8 W 5216S_4.9 S 5231_4.4 S 5231_4.5 S 5313SR_4.1 C	KOROK PANELS FIXING -10G X 16 SCREW
5216S_4.7	KOROK® C TRACK
5216S_4.8 k 5216S_4.9 S 5231_4.4 S 5231_4.5 S 5313SR_4.1 C	EXTERNAL STEEL BASE ANGLE
5216S_4.9 S 5231_4.4 S 5231_4.5 S 5313SR_4.1 C	KOROK® EX1 BASE COVER FLASHING
5231_4.4 S 5231_4.5 S 5313SR_4.1 C	KOROK® EXTERNAL FLASHING
5231_4.5 S 5313SR_4.1 C	SIKAFLEX - 400 FIRE RATED SEALANT
5313SR_4.1 C	STANDARD DOORS
	STANDARD DOORSETS, SIDE HUNG DOOR
	CEILING BATTEN SYSTEM - SUSPENSION - TOP CROSS RAIL SYSTEM
_	SRP™ CEILING BATTEN 35MM
	TEST FOR MINIMUM SLIP RESISTANCE REQUIREMENTS
	POLYFLOR VINYL FLOORING - XL PUR/FOREST FX PUR
_	POLYFLOR VINYL ACOUSTIFOAM
_	FRIMS AND EDGING
	JNDERLAY: DUNLOP - 8MM
_	CARPET : GODFREY HIRST - 3MM
	DIVIDER STRIPS - ALUMINIUM
_	GILT EDGE - GILTGRIP ECOGLO EGRP1 ALUMINIUM STAIR NOSING - SINGLE INSERT
	SINOLL INOLIN
	DVC_I I DIDE
	PVC-U PIPE PIPEWORK INSULATION
	PIPEWORK INSULATION
_	PIPEWORK INSULATION FOILET
	PIPEWORK INSULATION TOILET NC BASINS
7151_4.6 K	PIPEWORK INSULATION FOILET

Key Value	Keynote Text
7151_4.7	KITCHEN SINK MIXER
7151_4.8	LAUNDRY TUB
7151_4.11	MEDICINE CABINET/MIRROR
7151_4.13	ACCESSORIES: ROLL HOLDER
7151_4.15	ACCESSORIES: TOWEL RAIL
7151_4.17	ACCESSIBLE TOILET
7151_4.20	ACRYLIC SHOWER LINER
7382RF_4.3	FIRETHERM INTUCOLLAR FIRE COLLAR
7421_4.1	SANITARY SYSTEMS - PVC-U WASTE PIPES AND TRAPS
7421_4.2	SANITARY SYSTEMS - PVC-U VENT PIPE
7451AE	ALLPROOF EXTERIOR SURFACE DRAINAGE SOLUTIONS
7451AE_4.1	ALLPROOF PLASTIC DOMESTIC DRAINAGE CHANNEL SYSTEM
7451AE_4.2	ALLPROOF PLASTIC DRAINAGE PIT
7451AE_4.4	ALLPROOF SUREFLOW80 OVERFLOW
7451AE_4.5	ALLPROOF ALLTHROUGH
7612HE_4.3	HOMETECH™ CEILING MOUNTED FAN, DUCTED THROUGH EXTERIOR WALL
7612HE_4.4	HOMETECH™ WALL MOUNTED FAN, DUCTED THROUGH EXTERIOR WALL
7701_4.10	OVEN
7701_4.11	RANGE HOOD
7701_4.12	HEATPUMP INDOOR & OUTDOOR UNITS
7701_4.13	REFRIGERATOR



Young+ Richards+

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DOMINION CONSTRUCTORS LTD

8-18 EDMONTON AVENUE

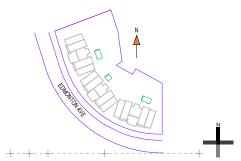
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR
-				

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
 STANDARDS, ORDINANCES, RILLES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE
 WORK, REFER TO NZ BUILDING ACT, SECTION 17.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND
 VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS
 STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING
 CONSENT, COOSENTED DOCUMENTATION TAKES PRECEDENCE.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.

 1 HIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND
 CONSULT ANTS DOCUMENTATION.

 1 HE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK
 CAN BE CONSTRUCTED AS DETAILED, REPORT FOR MISSIONS AND CONFICITS WITHIN THE CONSENTED
 DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

SHEET NAME

SPECIFICATION KEY NOTES

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE None



GUTTERS

COLOUR: THUNDER GREY

PRECAST PANEL COLOUR: RESENE STACK

PRECAST PANEL

PRECAST PANEL

PRECAST PANEL

COLOUR: RESENE QUILL GREY

COLOUR: DULUX FRANZ JOSEF

COLOUR: RESENE QUILL GREY

FASCIAS AND SOFFITS

COLOUR: RESENE DOUBLE SEA FOG

COLOUR: IRONSAND

JOINERY

ALUMINIUM FENCING

COLOUR: GREY FRIARS

BALUSTRADES AND HANDRAILS

COLOUR: MATT DESERT SAND

STAIRWELL LOUVRES

COLOUR: MATT IRONSAND

WINDOWS / DOOR PANELS

COLOUR: WAX WAY

TIMBER FENCING

COLOUR: LEAVE AS PLAIN





Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444



DOMINION CONSTRUCTORS LTD

8-18 EDMONTON AVENUE

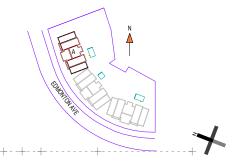
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO A PULLIDING ACT, SECTION 19.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSIST. REFER TO A VERY BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK, RRBY THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSIST AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSIST ACTION 14E.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.

 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSIST AND SOCIAL PROPERTY. DIRECTOR OF THE MORE CONSULTANTS DOCUMENTATION.

 THE BUILDER IS EXPECTED TO VERRY DIMENSIONS AND FIELD CONFIDINGS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PROR TO PERFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

COLOUR SCHEME BLOCK A

PROJECT STATUS

NON-SLIP VINYL FLOOR

VINYL FLOOR

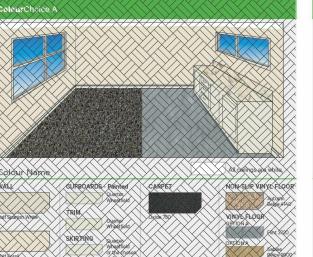
BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:1

SHEET SIZE A3=100%

A5-X0010





Colour Name

CUPBOARDS - Painted

TRIM

SKIRTING

CARPET

WALL



ROOFING

PRODUCT: XX COLOUR: THUNDER GREY



GUTTERS

COLOUR: THUNDER GREY



PRECAST PANEL

COLOUR: RESENE STACK



PRECAST PANEL

COLOUR: RESENE QUILL GREY



PRECAST PANEL

COLOUR: RESENE DOUBLE CANTERBURY CLAY



PRECAST PANEL

COLOUR: RESENE QUILL GREY



FASCIAS AND SOFFITS





JOINERY



ALUMINIUM FENCING

COLOUR: IRONSAND



COLOUR: GREY FRIARS



BALUSTRADES AND HANDRAILS



COLOUR: MATT DESERT SAND



STAIRWELL LOUVRES



COLOUR: MATT IRONSAND



WINDOWS / DOORS PANELS

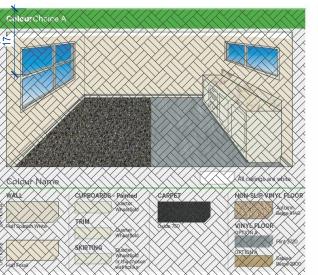
COLOUR: RESENE PEWTER

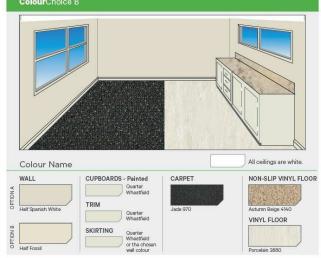


TIMBER FENCING

COLOUR: LEAVE AS PLAIN









Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444





8-18 EDMONTON AVENUE

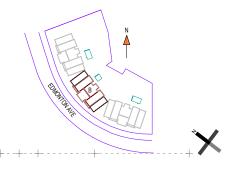
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT
 STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE
 WORK. REFER TO NZ BUILDING ACT, SECTION 17.

 BUILDINGS NOTTO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND
 VALID BUILDING CONSENT. REFER TO NZ BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK, RBBY THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS
 STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING
 CONSENT. CONSENTED DOCUMENTATION TAKES PERCEIDENCE.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.

 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND
 CONSULTANTS DOCUMENTATION.

 THE BUILDER IS EXPECTED TO VERRY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK
 CAM BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFILITS WITHIN THE CONSENTED
 DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

COLOUR SCHEME BLOCK B

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:1

SHEET SIZE A3=100%



A5-X0011

ROOFING

PRODUCT: XX COLOUR: THUNDER GREY



GUTTERS

COLOUR: THUNDER GREY



PRECAST PANEL

COLOUR: RESENE STACK



PRECAST PANEL

COLOUR: RESENE QUILL GREY



PRECAST PANEL

COLOUR: RESENE JUDGE GREY



PRECAST PANEL

COLOUR: RESENE QUILL GREY



FASCIAS AND SOFFITS





COLOUR: IRONSAND

JOINERY



ALUMINIUM FENCING





BALUSTRADES AND HANDRAILS



COLOUR: MATT DESERT SAND



STAIRWELL LOUVRES

COLOUR: MATT IRONSAND



WINDOWS / DOORS PANELS



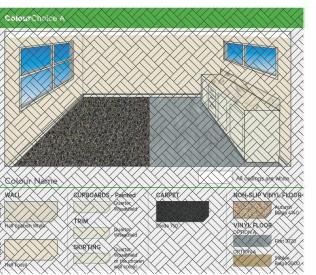
COLOUR: RESENE BLUE BAYOUX



TIMBER FENCING

COLOUR: LEAVE AS PLAIN







Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444



Auckland Council

18/12/2020

BCO10313722-3

APPROVED

BUILDING CONSENT PLANS

DOMINION CONSTRUCTORS LTD

8-18 EDMONTON AVENUE

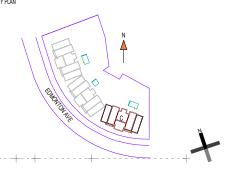
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



STAMP

REV	DATE	DESCRIPTION	BY	CHKD
1	20/11/20	BUILDING CONSENT STAGE 3	YR	YR

- THE FINE PRINT

 ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO A PULLIDING ACT, SECTION 19.

 BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOLISHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSIST. REFER TO A VERY BUILDING ACT, SECTION 40.

 FOR ALL RESTRICTED BUILDING WORK, RRBY THIS DRAWING IS NOT VALID FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSIST AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSIST ACTION 14E.

 FOR BUILDERS RESPONSIBILITIES REFER TO NZ BUILDING ACT, SECTION 14E.

 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSIST AND SOCIAL PROPERTY. DIRECTOR OF THE MORE CONSULTANTS DOCUMENTATION.

 THE BUILDER IS EXPECTED TO VERRY DIMENSIONS AND FIELD CONFIDINGS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFLICTS WITHIN THE CONSENTED DOCUMENTS TO THE DESIGNER PROR TO PERFORMING ANY WORK IN QUESTION.

 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.

COLOUR SCHEME BLOCK C

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:1

SHEET SIZE A3=100%

A5-X0012

REMARKS

FRR-/60/30SM

FRR-/60/30SM

FRAME FINISH

POWDER COATING

PAINT

POWDER COATING

FRAME

MATERIAL

ALUMINIUM

TIMBER

TIMBER

TIMBER

TIMRER

TIMRER

TIMBER

ALUMINIUM

WIDTH HEIGHT

1480

1480

1480

1470

1000

1480

2200

2030

2030

2030

2030

2030

2030

2030

2030

2030

2030

2200

2030

2030

2030

2030

2030

2030

2025

1730

1410

TIMBER

ALUMINIUM

PAINT

POWDER COATING

FRR -/30/-SM

FINISH

POWDER COATING 3000

POWDER COATING 3000

YR

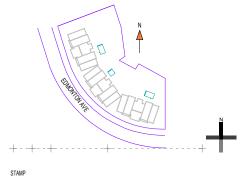
YR YR

8-18 EDMONTON AVENUE

PROJECT ADDRESS 8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

200003

KEY PLAN



BUILDING CONSENT STAGE 3 20/11/20 2 11/12/20 BC3 CONSENTIUM RF

ALL WORK SHALL COMPLY WITH THE NZ RESOURCE MANAGEMENT ACT, NZ BUILDING ACT, RELEVANT STANDARDS, ORDINANCES, RULES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE

STANDARDS, CROWANCS, RILES, AND REGULATIONS OF THE TERRITORIAL AUTHORITY GOVERNING THE WORK. REFER TO NZ BUILDING ACT, SECTION 17.

BUILDINGS NOT TO BE CONSTRUCTED, ALTERED, DEMOUSHED, OR REMOVED WITHOUT AN APPROVED AND VALID BUILDING CONSENT. REFER TO NZ BUILDINGS ACT, SECTION 40.

FOR ALL RESTRICTED BUILDING WORK (RBW) THIS DRAWING IS NOT YALD FOR CONSTRUCTION UNLESS STAMPED BY THE RELEVANT BUILDING CONSENT AUTHORITY AS PART OF AN APPROVED AND VALID BUILDING CONSENT. CONSENTED DOCUMENTATION TAKES PRECEDENCE:

THIS DRAWING SHALL BE READ IN COMJUNCTION WITH ALL RELEVANT SPECIFICATION CLAUSES AND CONSULTATIST DOCUMENTATION.

THE BUILDER IS EXPECTED TO VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED AS DETAILED, REPORT OMISSIONS AND CONFIRM THAT THE WORK CAN BE CONSTRUCTED.

DOCUMENTS TO THE DESIGNER PRIOR TO PERFORMING ANY WORK IN QUESTION.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER

DOOR SCHEDULES. ASSEMBLY TYPES. HARDWARE GROUPS

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

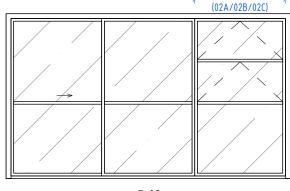
SHEET SCALE 1:50

SHEET SIZE A3=100%

2

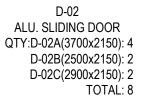
A5-X4501

D-03 INT. HINGED DOOR QTY:D-03A(860x1980): 24 D-03B(760x1980): 2 D-03C(610x1980): 4 D-03D(510x1980): 8 D-03E(460x1980): 4 TOTAL: 42

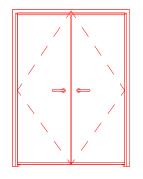


1200/600/900

D-02 ALU. SLIDING DOOR D-02B(2500x2150): 2 D-02C(2900x2150): 2 TOTAL: 8





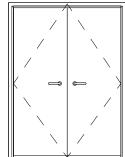




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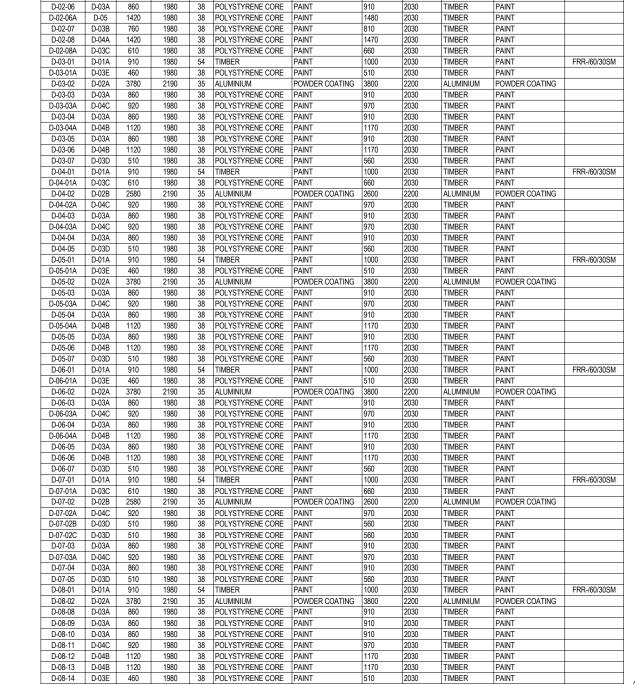


D-05 D-04 INT. DOUBLE SLIDING DOOR INT. DOUBLE HINGED DOOR

QTY:D-04A(1420x1980): 2 D-04B(1120x1980): 8 D-04C(910x1980): 8 TOTAL: 18

WINDOW AND DOOR MANUFACTURER IS RESPONSIBLE FOR THE PERFORMANCE, COMPLIANCE, CERTIFICATION, WARRANTIES AND ANY NECESSARY SHOP DRAWINGS OF PROPRIETARY UNITS - REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION





TYPE WIDTH HEIGHT THK

1980

1980

1980

D-02C 2980 2190 35 ALUMINIUM

910

860

860

860

1420

D-01-01

D-01-03

D-01-03A

D-01-04

D-01-06

D-01-06A

D-01-07

D-02-01

D-02-04A

D-02-05

D-01-04A

D-01-05 D-03A

D-01A

D-03A

D-03A

D-01-08 D-04A 1420

D-01A 910

MATERIAL

38 POLYSTYRENE CORE PAINT

38 POLYSTYRENE CORE PAINT

1980 38 POLYSTYRENE CORE PAINT

54 TIMBER

D-05 1420 1980 38 POLYSTYRENE CORE PAINT

D-05 1420 1980 38 POLYSTYRENE CORE PAINT

D-03A 860 1980 38 POLYSTYRENE CORE PAINT

D-05 1420 1980 38 POLYSTYRENE CORE PAINT

D-03B 760 1980 38 POLYSTYRENE CORE PAINT

1980 54 TIMBER

D-03A 860 1980 38 POLYSTYRENE CORE PAINT

D-03A 860 1980 38 POLYSTYRENE CORE PAINT

D-01-08A D-03C 610 1980 38 POLYSTYRENE CORE PAINT

D-02-03 D-03A 860 1980 38 POLYSTYRENE CORE PAINT

D-02C 2980 2190 35 ALUMINIUM

D-08-15 D-03D 510 1980 38 POLYSTYRENE CORE PAINT D-BS D-06 1320 1980 38 TIMBER PAINT D-01B 810 1680 54 TIMBER

W-05-03 W-03

600

1400

Ε	
9 9	
43	
203	
7202	
7/12	
_	

	Туре	WINDOW		SILL	TF	RIM	FRAME		
NUM	Mark	WIDTH	HEIGHT	HEIGHT	WIDTH	HEIGHT	MATERIAL	FRAME FINISH	REMARKS
W-01-01	W-10	2800	1000	1210	2820	1020	ALUMINIUM	POWDER COATING	CORNER WINDOW, DEEP 750mm
W-01-03	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-01-03A	W-03	600	1400	800	620	1420	ALUMINIUM	POWDER COATING	
W-01-04	W-05	800	1400	800	820	1420	ALUMINIUM	POWDER COATING	
W-01-04A	W-02	2400	1500	710	2420	1520	ALUMINIUM	POWDER COATING	
W-01-05	W-04	850	600	1610	870	620	ALUMINIUM	POWDER COATING	
W-01-06	W-09	1500	1300	910	1520	1320	ALUMINIUM	POWDER COATING	
W-01-07	W-07	1200	300	2110	1220	320	ALUMINIUM	POWDER COATING	-/60/-sm FRR
W-02-01	W-10	2800	1000	1210	2820	1020	ALUMINIUM	POWDER COATING	CORNER WINDOW, DEEP 750mm
W-02-03	W-03	600	1400	800	620	1420	ALUMINIUM	POWDER COATING	
W-02-03A	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-02-04	W-05	800	1400	800	820	1420	ALUMINIUM	POWDER COATING	
W-02-04A	W-02	2400	1500	710	2420	1520	ALUMINIUM	POWDER COATING	
W-02-05	W-04	850	600	1610	870	620	ALUMINIUM	POWDER COATING	
W-02-06	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-02-07	W-07	1200	300	2110	1220	320	ALUMINIUM	POWDER COATING	-/60/-sm FRR
W-03-01	W-01	2000	1000	1210	2020	1020	ALUMINIUM	POWDER COATING	
W-03-03	W-03	600	1400	810	620	1420	ALUMINIUM	POWDER COATING	
W-03-03A	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-03-04	W-05	800	1400	810	820	1420	ALUMINIUM	POWDER COATING	
W-03-04A	W-02	2400	1500	710	2420	1520	ALUMINIUM	POWDER COATING	
W-03-05	W-04	850	600	1610	870	620	ALUMINIUM	POWDER COATING	
W-03-06	W-05	800	1400	800	820	1420	ALUMINIUM	POWDER COATING	
W-04-01	W-08	1500	300	2110	1520	320	ALUMINIUM	POWDER COATING	-/60/-sm FRR
W-04-03	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-04-04	W-08	1500	300	2110	1520	320	ALUMINIUM	POWDER COATING	-/60/-sm FRR

620 1420 ALUMINIUM POWDER COATING

W-05-01 W-01 2000 1000 1210 2020 1020 ALUMINIUM POWDER COATING

810

	Туре	WINDOW		SILL	TRIM		FRAME		
NUM	Mark	WIDTH	HEIGHT	HEIGHT	WIDTH	HEIGHT	MATERIAL	FRAME FINISH	REMARKS
W-05-03A	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-05-04A	W-02	2400	1500	710	2420	1520	ALUMINIUM	POWDER COATING	
W-05-05	W-04	850	600	1610	870	620	ALUMINIUM	POWDER COATING	
W-06-01	W-01	2000	1000	1210	2020	1020	ALUMINIUM	POWDER COATING	
W-06-03	W-03	600	1400	810	620	1420	ALUMINIUM	POWDER COATING	
W-06-03A	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-06-04	W-05	800	1400	810	820	1420	ALUMINIUM	POWDER COATING	
W-06-04A	W-02	2400	1500	710	2420	1520	ALUMINIUM	POWDER COATING	
W-06-05	W-04	850	600	1610	870	620	ALUMINIUM	POWDER COATING	
W-07-01	W-08	1500	300	2110	1520	320	ALUMINIUM	POWDER COATING	-/60/-sm FRR
W-07-03	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-07-04	W-08	1500	300	2110	1520	320	ALUMINIUM	POWDER COATING	-/60/-sm FRR
W-08-01	W-01	2000	1000	1210	2020	1020	ALUMINIUM	POWDER COATING	
W-08-03	W-03	600	1400	810	620	1420	ALUMINIUM	POWDER COATING	
W-08-03A	W-06	1800	1300	910	1820	1320	ALUMINIUM	POWDER COATING	
W-08-04	W-05	800	1400	810	820	1420	ALUMINIUM	POWDER COATING	
W-08-04A	W-02	2400	1500	710	2420	1520	ALUMINIUM	POWDER COATING	
W-08-05	W-04	850	600	1610	870	620	ALUMINIUM	POWDER COATING	

Grand total: 46

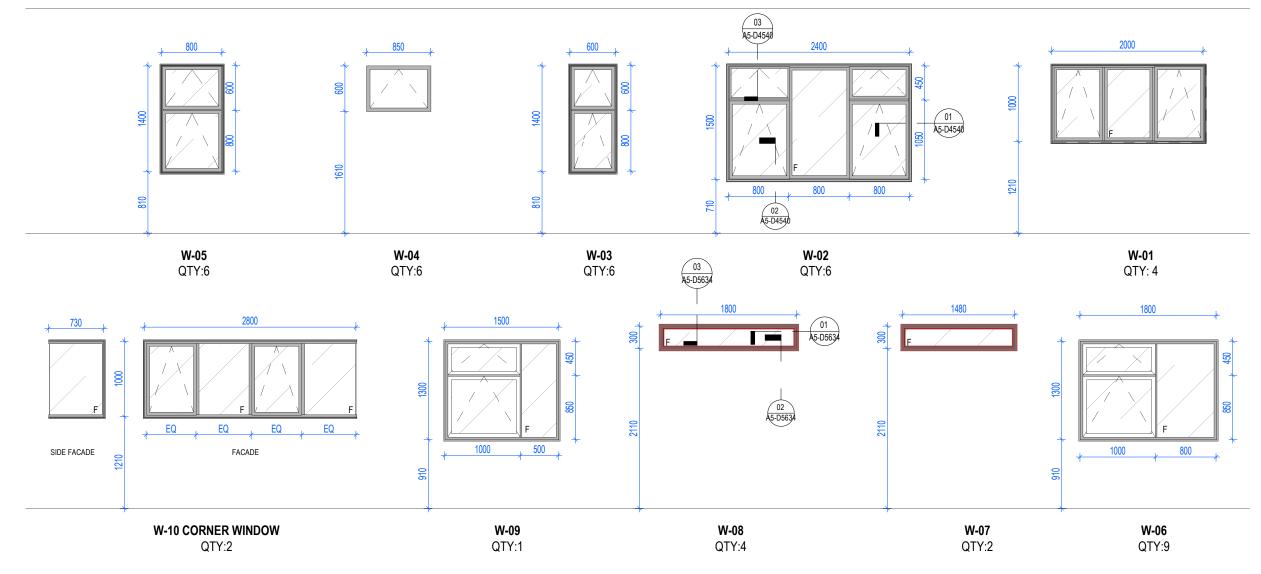
NOTE:

1. RESTRICTORS TO ALL OPERABLE SASHES ON GROUND FLOOR AND ANY SASH WITH SILL UNDER 1.5M ABOVE

2. DOUBLE TONGUE LATCHES REQUIRED FOR ALL OPENING SASHES.

NOTE: WINDOW AND DOOR MANUFACTURER IS RESPONSIBLE FOR THE PERFORMANCE, COMPLIANCE, CERTIFICATION, WARRANTIES AND ANY NECESSARY SHOP DRAWINGS OF PROPRIETARY UNITS - REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION

WINDOW ASSEMBLY TYPE



Young+ Richards+

4d Edwin Street, Mount Eden, Auckland 1024 NZ P.O. Box 8171, Symonds Street, Auckland 1150 NZ info@youngrichards.com www.youngrichards.com +64 9 520 6444



DOMINION

8-18 EDMONTON AVENUE

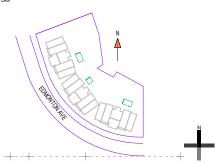
PROJECT ADDRESS

8-18 EDMONTON AVENUE, ONEHUNGA, AUCKLAND 1061

PROJECT NUMBER

200003

KEY PLAN



STAMP



WINDOW SCHEDULES, ASSEMBLY TYPES, **HARDWARE GROUPS**

PROJECT STATUS

BC-CONSTRUCTION-STAGE3

SHEET SCALE 1:50

SHEET SIZE A3=100%

A5-X4502